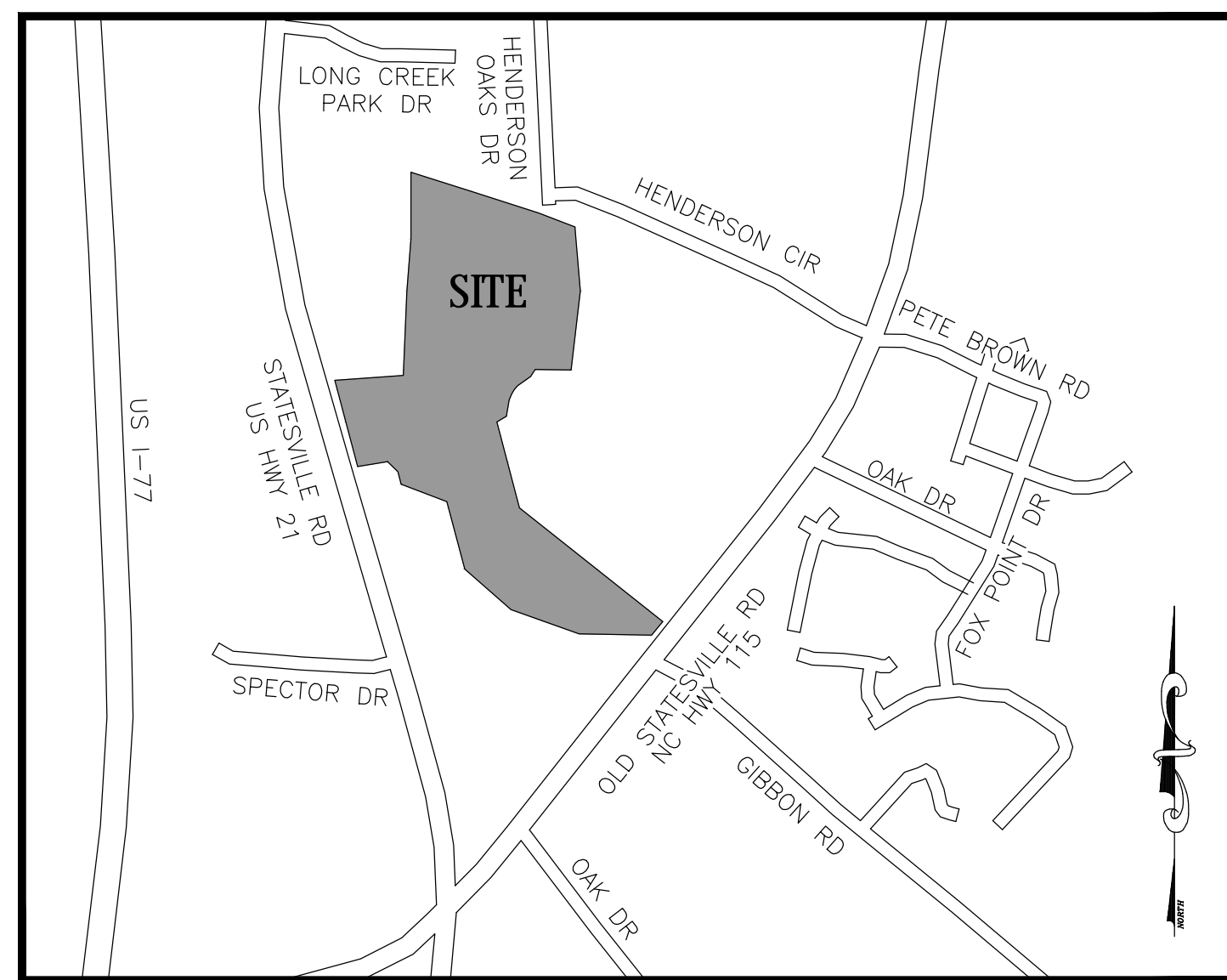
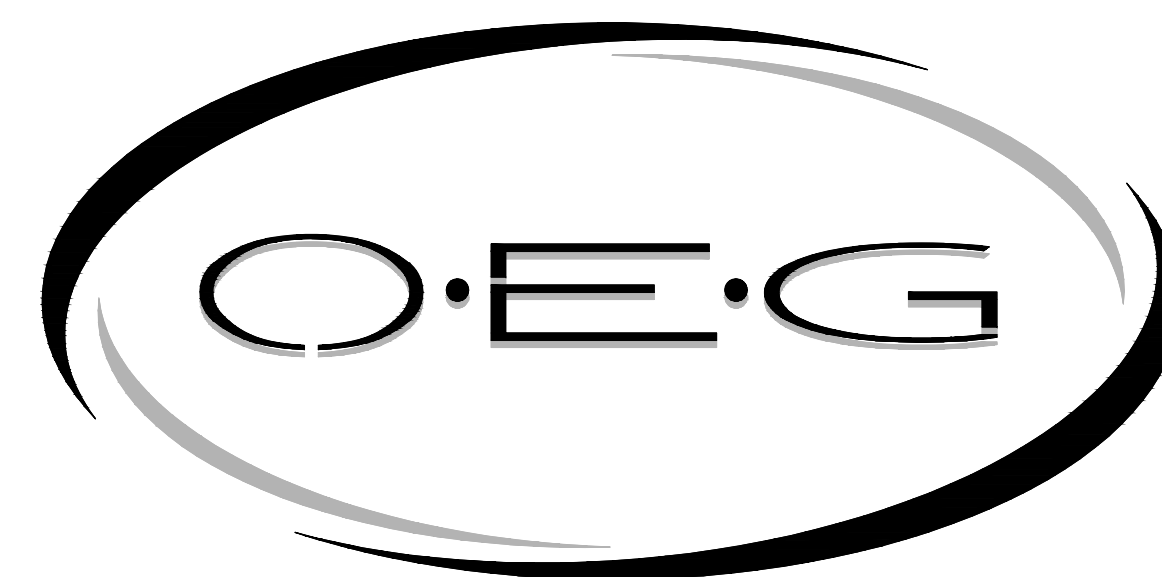


APPROVED FOR
CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 8-3-2016 1 of 2



VICINITY MAP
NOT TO SCALE



ORSBORN ENGINEERING GROUP
610 EAST MOREHEAD STREET, SUITE 106
CHARLOTTE, NC 28202
P) 704-749-1432 • F) 704-749-1433

SHEET INDEX

| ABBREVIATIONS | |
|---------------|--|
| A | ALGEBRAIC DIFFERENCE |
| AC | ACRES |
| AC/FT | ACRE FOOT/FEET |
| ADT | AVERAGE DAILY TRAFFIC |
| ALT | ALTERNATE |
| APPROX | APPROXIMATE |
| ASPH | ASPHALT |
| AVE | AVENUE |
| AVG | AVERAGE |
| BFP | BACKFLOW PREVENTER |
| BL | BASLINE |
| BLDG | BUILDING |
| BLVD | BOULEVARD |
| BM | BENCHMARK |
| BO | BLOWOFF |
| BOC | BACK OF CURB |
| BTM | BOTTOM |
| C | CHORD LENGTH |
| CATV | CABLE TELEVISION |
| CB | CATCH BASIN |
| CDOT | CHARLOTTE, DEPARTMENT OF TRANSPORTATION |
| C&G | CURB AND GUTTER |
| CJ | CONSTRUCTION JOINT |
| CLDSM | CHARLOTTE LAND DEVELOPMENT |
| CMP | CORRUGATED METAL PIPE |
| CO | CLEANOUT |
| COL | COLUMN |
| CONC | CONCRETE |
| CONST | CONSTRUCTION |
| CY | CUBIC YARD |
| D | DEGREE OF CURVATURE |
| DBL | DOUBLE |
| DCB | DOUBLE CATCH BASIN |
| DEPT | DEPARTMENT |
| DET | DETAIL |
| DI | DROP INLET |
| DM | DIMENSION |
| DIP | DUCTILE IRON PIPE |
| DWG | DRAWING |
| E | EAST |
| ELEC | ELECTRIC |
| ELEV | ELEVATION |
| EOP | EDGE OF PAVEMENT |
| EQUIP | EQUIPMENT |
| EW | EACH WAY |
| EXIST | EXISTING |
| EJ | EXPANSION JOINT |
| FG | FINISHED GRADE |
| FH | FIRE HYDRANT |
| FM | FORCE MAIN |
| FT | FOOT/FEET |
| GALV | GALVANIZED |
| GV | GATE VALVE |
| HDPE | HIGH DENSITY POLYETHYLENE |
| HW | HEADWALL |
| HWY | HIGHWAY |
| HORIZ | HORIZONTAL |
| ID | INSIDE DIAMETER |
| IN | INCHES |
| INVT | INVERT |
| JB | JUNCTION BOX |
| JCT | JUNCTION |
| K | RATE OF VERTICAL CURVATURE |
| L | LENGTH |
| LAT | LATITUDE |
| LB | POUND |
| LF | LINEAR FOOT/FEET |
| LPI | LIGHT POLE |
| LONG | LONGITUDE |
| LT | LEFT |
| MATL | MATERIAL |
| MAX | MAXIMUM |
| MECH | MECHANICAL |
| MFR | MANUFACTURER |
| MH | MANHOLE |
| MJ | MINIMUM |
| MISC | MISCELLANEOUS |
| MN | MECHANICAL JOINT |
| MPH | MILES PER HOUR |
| N | NORTH |
| NCDEM | NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES |
| NCDOT | NORTH CAROLINA DEPARTMENT OF TRANSPORTATION |
| NO OR # | NUMBER |
| NOM | NOMINAL |
| NTS | NOT TO SCALE |
| OC | ON CENTER |
| OGB | OFFSET CATCH BASIN |
| OCS | OUTLET CONTROL STRUCTURE |
| OD | OUTSIDE DIAMETER |
| OEG | OVERHEAD ENGINEERING GROUP |
| OWHD | OVERHEAD |
| P | POINT OF CURVATURE |
| PCC | POINT OF COMPOUND CURVATURE |
| PD | PEDESTAL |
| PI | POINT OF INTERSECTION |
| P/L | PROPERTY LINE |
| PGB | POINT OF BEGINNING |
| PP | POWER POLE |
| PROJ | PROJECT |
| PROP | PROPOSED |
| PT | POINT OF TANGENCY |
| PVC | POLYVINEYL CHLORIDE |
| PVMT | PAVEMENT |
| R | RADIUS |
| RCP | REINFORCED CONCRETE PIPE |
| RD | ROAD |
| RECO | REQUIRED |
| REV | REVISION |
| RR | RAILROAD |
| RT | RIGHT |
| R/W | RIGHT-OF-WAY |
| S | SOUTH |
| SAN | SANITARY SEWER |
| SCDOT | SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION |
| SCH | SCHEDULE |
| SEC | SECTION |
| SPEC | SPECIFICATION |
| STD | STANDARD |
| STS | STORM SEWER |
| T | TANGENT |
| TC | TIME OF CONCENTRATION |
| TOC | TEMPORARY CONSTRUCTION EASEMENT |
| TDM | TOTAL DYNAMIC HEAD |
| TEMP | TEMPORARY |
| TOP | TOP OF BANK |
| TOC | TOP OF CURB |
| TYF | TYPICAL |
| UD | UNDERDRAIN |
| UG | UNDERGROUND |
| V | VERTICAL |
| VCP | VERTIFIED CLAY PIPE |
| VERT | VERTICAL |
| VPC | VERTICAL POINT OF CURVE |
| VPI | VERTICAL POINT OF INTERSECTION |
| VPT | VERTICAL POINT OF TANGENCY |
| YR | YEAR |
| & | AND |
| ° | DEGREE |
| AT | AT |
| Δ | DELTA |

DATE






JOB #

15029

DATE

04/29/16

COVER C0.0

| | | | | | |
|---|------|---|---|---|---|
|  | DATE |  |  |  |  |
| JOB # | | 15029 | | DATE: 04/29/16 | |
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SITE NOTES

1. PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN ARE BASED ON A SURVEY PREPARED BY R.B. PHARR & ASSOCIATES, DATED DECEMBER 9, 2015
2. ALL ROAD IMPROVEMENTS AT STATESVILLE ROAD & OLD STATESVILLE ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
3. DEVELOPER WILL PROVIDE STREET SIGNS PER CDDM# 50.05 (9" SIGNS ONLY)
4. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
5. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
6. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
7. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
8. NON-STANDARD ITEMS (E. PAVES, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT CDDT AT (704) 336-3888.
9. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
10. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4225) OR VISIT <http://www.charmeck.org/Departments/Transportation/Street+Maintenance/home.htm>
11. SIDEWALK WITHIN THE CITY'S R/W THAT REQUIRES REPLACEMENT AS PART OF THE DEVELOPMENT AND/OR STREET IMPROVEMENTS SHOULD BE PHASED IN SUCH A WAY AS TO MINIMIZE THE DURATION OF THE SIDEWALK CLOSURE TO THE EXTENT FEASIBLE. THE DEVELOPER SHOULD MAKE EVERY ATTEMPT TO HAVE SIDEWALK REPAIRED AND REOPENED FOR PUBLIC USE WITHIN 30 DAYS OF REMOVAL.
12. ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE FOR LESS THAN 30 DAYS REQUIRES A R/W USE PERMIT. TRAFFIC CONTROL PLANS FOR ANY SIDEWALK OR TRAVEL LANE CLOSURES MUST BE SUBMITTED AS PART OF THE R/W USE PERMIT REQUEST. TRAFFIC CONTROL PLANS MUST BE IN ACCORDANCE WITH CDDT'S WORK AREA TRAFFIC CONTROL HANDBOOK (WATON) AND MUST BE REVIEWED AND APPROVED. CONTRACTOR SHALL CONTACT CDDT AT LEAST 5 BUSINESS DAYS IN ADVANCE OF BEGINNING OF WORK AT (704) 432-1562.
13. CONSTRUCTION STAGING WITHIN CITY R/W LASTING MORE THAN 30 DAYS REQUIRES A R/W LEASE AGREEMENT. CONTRACTOR SHALL CONTACT CDDT AT (704) 336-2562.
14. RIGHT-OF-WAY CLOSURES LONGER THAN 30 DAYS REQUIRE A R/W LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLANS REQUIRED THROUGH A LEASE AGREEMENT MAY BE DIFFERENT FROM THE ONE REQUIRED DURING THE LAND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS. THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO START OF R/W CLOSURES. CONTRACTOR SHALL CONTACT CDDT AT (704) 336-2562.
15. PER SECTION 18-175(c) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS EASEMENT (PCE) ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENT (PCE) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
16. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING BENCHMARKS AND OTHER REFERENCE POINTS THROUGHOUT THE CONSTRUCTION PERIOD.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF ALL CONSTRUCTION ELEMENTS. ALL DISCREPANCIES IN DIMENSIONING SHALL BE REPORTED TO THE ENGINEER AND OWNER IMMEDIATELY.
18. DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE SHOWN. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
19. WHEN DETAILS ARE PROVIDED, CONTRACTOR SHALL CONSTRUCT JOB PER SPECIFIC DETAILS, AND NOT BY SCALING FROM THESE PLANS.
20. ALL IMPROVEMENTS AND WORK SHALL BE IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE STATE AND LOCAL STANDARDS. IN THE ABSENCE OF SPECIFIC PRODUCT SPECIFICATIONS OR CONSTRUCTION PROCEDURE, CONTRACTOR SHALL REFER TO THE 2012 NCDOT STANDARD SPECIFICATIONS FOR THE ENGINEER FOR APPROVAL.
21. IF A CONFLICT EXISTS BETWEEN SPECIFICATIONS ON THESE PLANS AND SPECIFICATIONS REFERENCED ON THESE PLANS, CONTRACTOR WILL BE HELD TO THE STRICTER SPECIFICATION.
22. IF A CONFLICT EXISTS BETWEEN SPECIFICATIONS AND DETAILS ON THESE PLANS AND MANUFACTURERS RECOMMENDATIONS, THE CONTRACTOR WILL BE HELD TO THE STRICTER SPECIFICATION.
23. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE IN A MANNER SUCH THAT WORKERS, OWNER REPRESENTATIVES, AND THE GENERAL PUBLIC IS PROTECTED FROM HARM. CONTRACTOR MAY INSTALL TEMPORARY PERMITTER FENCING AS APPROVED BY OWNER. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO INSTALLATION OF FENCING.
24. ROADWAY MARKING, STRIPING, SIGNS AND OTHER TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" (MUTCD) AND SUBSEQUENT REVISIONS AND ADDENDUMS, AS PUBLISHED BY NCDOT AND CDDT.
25. UNLESS OTHERWISE INDICATED, ALL PAVEMENT MARKINGS MUST BE PAINT INSTALLED PER NCDOT STD. SPEC. SECTION 1205.

26. UNLESS OTHERWISE INDICATED, PARKING STALLS SHALL BE 4" WHITE LINES.
27. CONTRACTOR SHALL VERIFY THAT ALL REQUIRED ENCROACHMENT PERMITS ARE IN PLACE BEFORE WORKING IN ANY EASEMENTS AND RIGHT-OF-WAYS. CONTRACTOR SHALL ADHERE TO ALL CONDITIONS AND PROVISIONS OF THE ENCROACHMENT DOCUMENTS. CONTRACTOR SHALL CONTACT BOB STALEY WITH CDDT AT 704-432-1562 PRIOR TO CONSTRUCTION TO OBTAIN THE NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITIES WITHIN THE PUBLIC RIGHT OF WAY.
28. CONTRACTOR SHALL ADHERE TO ALL CONDITIONS AND PROVISIONS OF THE PROJECT PERMITS AND APPROVALS INCLUDING BUT NOT LIMITED TO DRIVEWAY PERMITS AND "APPROVED AS NOTED" COMMENTS. CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN CONDITIONS/PROVISIONS AND CONSTRUCTION DOCUMENTS TO ENGINEER AND OWNER.
29. THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
30. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
31. ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
32. TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704) 336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704) 336-6992 FOR REQUIRED PERMITS.
33. BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. ITS THE LAW.
34. CONTRACTOR SHALL INSTALL PVC SLEEVES UNDER PAVED AREAS FOR UTILITY AND IRRIGATION BEING INSTALLED AFTER PAVING OPERATIONS COMMENCE. COORDINATE WITH EACH UTILITY AND IRRIGATION INSTALLER FOR NUMBER OF SLEEVES, LOCATION, AND SIZE REQUIRED.
35. CONTRACTOR SHALL REVIEW COMPLETE SET OF PLANS FOR COORDINATION BETWEEN CIVIL, ARCHITECTURAL, LANDSCAPE, MEP, ETC. PRIOR TO CONSTRUCTION.
36. ALL WALKS AND OTHER PAVED AREAS SHALL COMPLY WITH ADA CODE FOR LONGITUDINAL SLOPE AND CROSS SLOPE. WALK SLOPES SHALL NOT EXCEED 5% AND SHALL NOT EXCEED 2% CROSS SLOPE UNLESS OTHERWISE NOTED.

TREE SAVE AREA REQUIREMENTS:

15% OF SITE PRESERVED OR REPLANTED FOR TREE SAVE
101.36 ACRES x 15% = 15.20 ACRES REQUIRED (PARCEL 5 NOT INCLUDED)
PROVIDED: 15.49 ACRES IN 5 AREAS INCLUDES
4.15 ACRES PRESERVED
11.34 ACRES REPLANTED @ 36 TREES/AC = 408 TREES PROVIDED

ZONING CODE SUMMARY

PROJECT NAME: METROLINA PARK
PROJECT ADDRESS: STATESVILLE ROAD
OWNER: BEACON PARTNERS
OWNER ADDRESS: 610 EAST MOREHEAD ST., CHARLOTTE, NC 28202
PLANS PREPARED BY: ORSBORN ENGINEERING GROUP
ZONING: I-1
PROPOSED USE: INDUSTRIAL
AVERAGE BUILDING HEIGHT: <40 FEET
BUILDING COVERAGE: 1,563,205 SQ. FT.
OVERALL LOT SIZE: 95.67 SQ. FT./ACRES
TAX PARCEL: 03720317, 03720319, 03720343, 03720341
PHONE #: (704) 749-1432
JURISDICTION: CHARLOTTE
1 EXISTING
5 PROPOSED RATIO: 0.38:1
NUMBER OF BUILDINGS: 5
NUMBER OF LOTS: 7

YARD REQUIREMENTS:

SETBACK (FRONT): 20 FT.
SETBACK (SIDE): 10 FT.
SIDE YARD: 5 FT.
REAR YARD: 10 FT.

REQUIRED SCREENING:

REAR: NO / YES
REAR: NO / YES

SIDE (L): NO / YES
SIDE (R): NO / YES

PARKING ONLY: NO / YES

LANDSCAPING REQUIREMENTS:

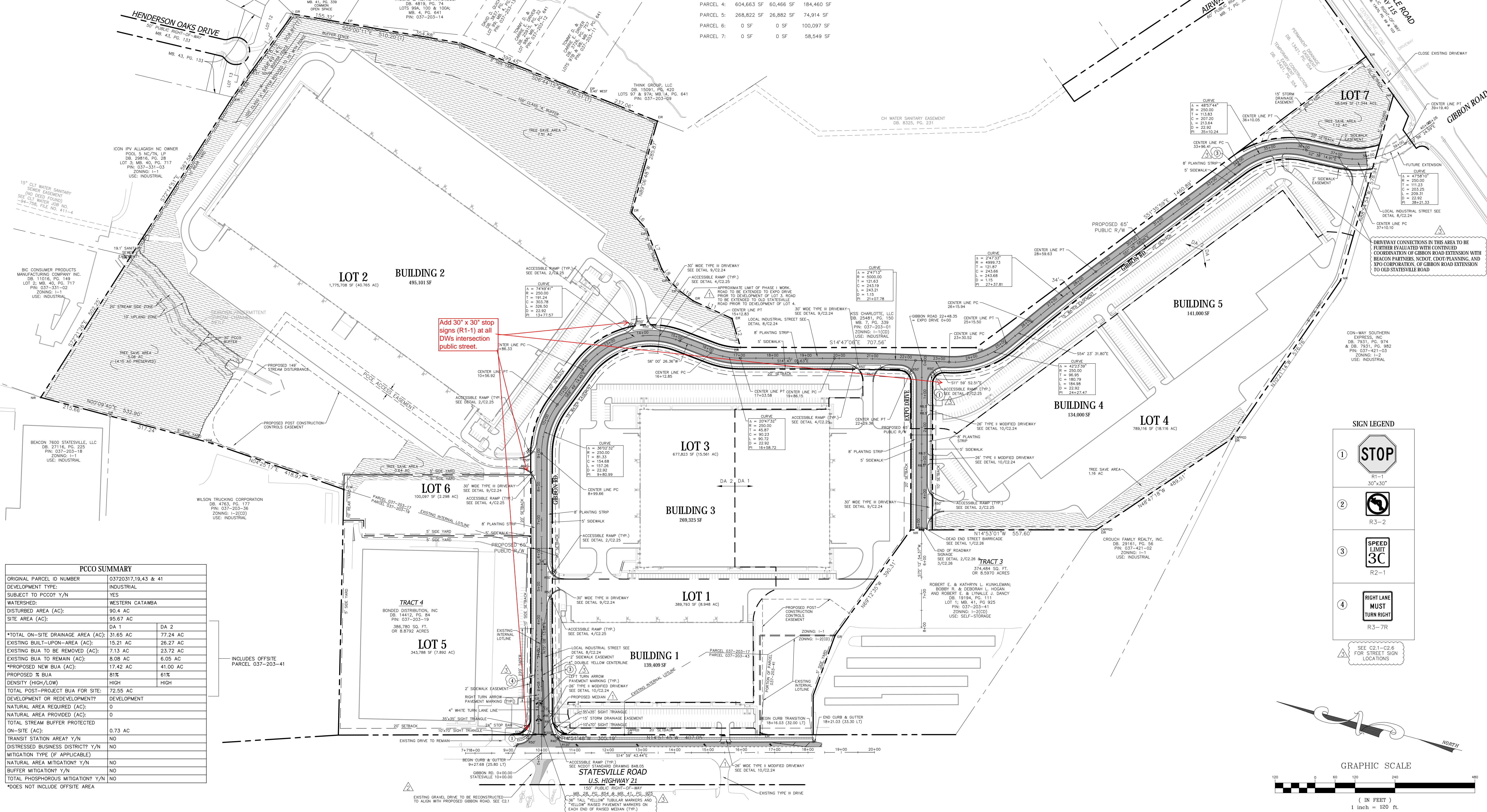
| | IMPERVIOUS COVERAGE | INTERIOR LANDSCAPING REQUIRED | INTERIOR LANDSCAPING PROVIDED |
|-----------|---------------------|-------------------------------|-------------------------------|
| PARCEL 1: | 200,594 SF | 20,594 SF | 129,684 SF |
| PARCEL 2: | 929,247 SF | 92,925 SF | 846,461 SF |
| PARCEL 3: | 485,041 SF | 48,504 SF | 189,586 SF |
| PARCEL 4: | 604,663 SF | 60,466 SF | 184,460 SF |
| PARCEL 5: | 268,822 SF | 26,882 SF | 74,914 SF |
| PARCEL 6: | 0 SF | 0 SF | 100,097 SF |
| PARCEL 7: | 0 SF | 0 SF | 58,549 SF |

PARKING DATA:

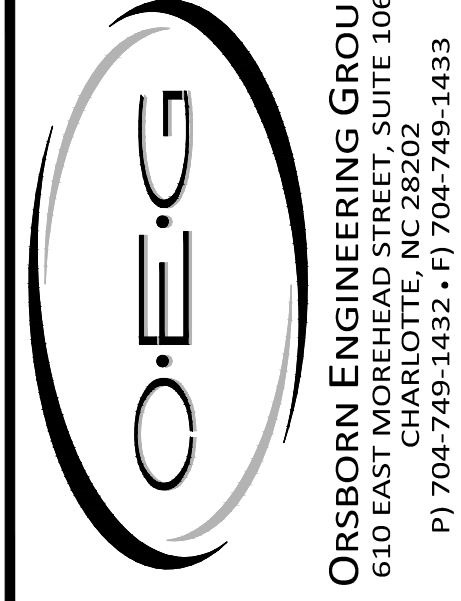
| AUTOMOBILE: | | |
|--|--|--|
| REQUIRED: | 1 SPACE/4000 SF OF WAREHOUSE USE + 1 SPACE/400 SF OF OFFICE USE | |
| PARCEL 1: | REQUIRED: 44 SPACES PROVIDED: 123 SPACES | PARCEL 4: REQUIRED: 54 SPACES PROVIDED: 406 SPACES |
| PARCEL 2: | REQUIRED: 142 SPACES PROVIDED: 165 SPACES | PARCEL 5: REQUIRED: 53 SPACES PROVIDED: 53 SPACES |
| PARCEL 3: | REQUIRED: 86 SPACES PROVIDED: 246 SPACES | PARCEL 6: REQUIRED: 0 SPACES PROVIDED: 0 SPACES |
| BICYCLE: | | |
| REQUIRED (SHORT TERM) = 1% OF AUTO SPACES REQUIRED | | |
| REQUIRED (LONG TERM) = 1/40,000 SF | | |
| PARCEL 1: | REQUIRED (SHORT TERM): 0 SPACES PROVIDED (SHORT TERM): 0 SPACES REQUIRED (LONG TERM): 3 SPACES PROVIDED (LONG TERM): 3 SPACES | PARCEL 5: EXISTING BUILDING |
| PARCEL 2: | REQUIRED (SHORT TERM): 1 SPACES PROVIDED (SHORT TERM): 2 SPACES REQUIRED (LONG TERM): 12 SPACES PROVIDED (LONG TERM): 12 SPACES | PARCEL 6: REQUIRED (SHORT TERM): 0 SPACES REQUIRED (LONG TERM): 0 SPACES |
| PARCEL 3: | REQUIRED (SHORT TERM): 1 SPACES PROVIDED (SHORT TERM): 2 SPACES REQUIRED (LONG TERM): 7 SPACES PROVIDED (LONG TERM): 7 SPACES | INSIDE BUILDING |
| PARCEL 4: | REQUIRED (SHORT TERM): 1 SPACES PROVIDED (SHORT TERM): 2 SPACES REQUIRED (LONG TERM): 7 SPACES PROVIDED (LONG TERM): 7 SPACES | INSIDE BUILDINGS |

LOADING:

| | | | | | |
|-----------|---|-----------|---|-----------|--------------------|
| PARCEL 1: | REQUIRED: 5 SPACES PROVIDED: 26 SPACES | PARCEL 4: | REQUIRED: 6 SPACES PROVIDED: 44 SPACES | PARCEL 7: | REQUIRED: 0 SPACES |
| PARCEL 2: | REQUIRED: 8 SPACES PROVIDED: 91 SPACES | PARCEL 5: | REQUIRED: 8 SPACES PROVIDED: 18 SPACES | | |
| PARCEL 3: | REQUIRED: 6 SPACES PROVIDED: 34 SPACES | PARCEL 6: | REQUIRED: 0 SPACES | | |

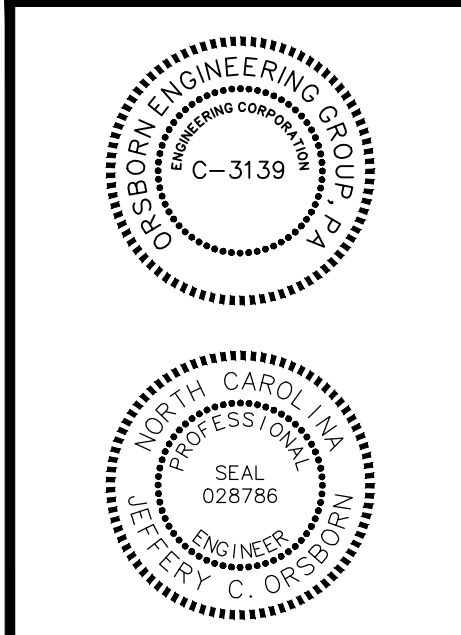


| PCCO SUMMARY | | | |
|---|---------------------|----------|--|
| ORIGINAL PARCEL ID NUMBER | 03720317,19,43 & 41 | | |
| DEVELOPMENT TYPE: | INDUSTRIAL | | |
| SUBJECT TO PCCOT Y/N | YES | | |
| WATERSHED: | WESTERN CATAWBA | | |
| DISTURBED AREA (AC): | 90.4 AC | | |
| SITE AREA (AC): | 95.67 AC | | |
| | DA 1 | DA 2 | |
| *TOTAL ON-SITE DRAINAGE AREA (AC): | 31.65 AC | 77.24 AC | |
| EXISTING BUILT-UPON AREA (AC): | 15.21 AC | 26.27 AC | |
| EXISTING BUA TO BE REMOVED (AC): | 7.13 AC | 23.72 AC | |
| EXISTING BUA TO REMAIN (AC): | 8.08 AC | 6.05 AC | |
| *PROPOSED NEW BUA (AC): | 17.42 AC | 41.00 AC | |
| PROPOSED % BUA: | 81% | 61% | |
| DENSITY (HIGH/LOW) | HIGH | HIGH | |
| TOTAL POST-PROJECT BUA FOR SITE: | 72.55 AC | | |
| DEVELOPMENT OR REDEVELOPMENT? | DEVELOPMENT | | |
| NATURAL AREA REQUIRED (AC): | 0 | | |
| NATURAL AREA PROVIDED (AC): | 0 | | |
| TOTAL STREAM BUFFER PROTECTED ON-SITE (AC): | 0.73 AC | | |
| TRANSIT STATION AREA? Y/N | NO | | |
| DISTRESSED BUSINESS DISTRICT? Y/N | NO | | |
| MITIGATION TYPE (IF APPLICABLE) | | | |
| NATURAL AREA MITIGATION? Y/N | NO | | |
| BUFFER MITIGATION? Y/N | NO | | |
| TOTAL PHOSPHOROUS MITIGATION? Y/N | NO | | |
| *DOES NOT INCLUDE OFFSITE AREA | | | |



SUBDIVISION PLAN
FOR
METROLINA PARK
CHARLOTTE, NORTH CAROLINA

BEACON PARTNERS
610 E. MOREHEAD ST.
CHARLOTTE, NC 28202



| REVISIONS | DATE | BY | DESCRIPTION |
|-----------|----------|-----|----------------------------|
| 1 | 07/26/16 | JAW | REVISED PER COMMENTS |
| 2 | 07/19/16 | JAW | REVISED PER NCDOT COMMENTS |
| 3 | 06/22/16 | JCO | REVISED PER COMMENTS |

| | |
|--------------|-----------|
| JOB # | 15029 |
| DATE: | 04/29/16 |
| SCALE: | 1" = 120' |
| DRAWN BY: | JAW |
| APPROVED BY: | JCO |
| C2.0 | |