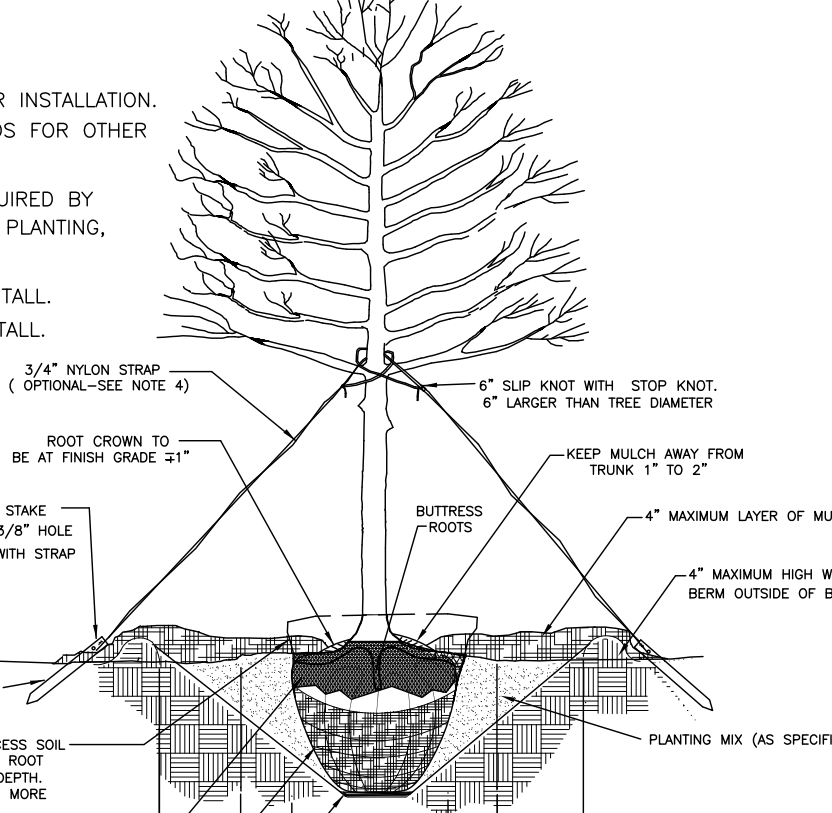


NOTES:

1. REMOVE WIRE OR NYLON TWINE FROM BALL.
2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
3. SEE ATTACHED LANDSCAPE CONSTRUCTION STANDARDS FOR OTHER PLANTING REQUIREMENTS.
4. STAKING REQUIRED FOR LEANING TREES OR AS REQUIRED BY CONTRACT. SEE GENERAL NOTES: SEC. 4100-TREE PLANTING, PART 3 PARAGRAPH 1.9.
5. MINIMUM TREE SIZE: SINGLE STEM 2" CALIPER; 6' TALL.
6. MINIMUM TREE SIZE: MULTI-STEM 3-5 STEMS; 8' TALL.



Use current Standard detail 40.01 (tree planting).

1. All trees are to be nursery grown, ball and burlap (B&B) preferred. Minimum tree size is 2" caliper (measured 6" above root ball), 8' minimum height.
2. Staking is optional. Rubber hose and rope or wire for staking is not recommended. No wire or rope is to be in direct contact with trunk. Remove all trunk wrap, tree straps, and staking wire or rope after one growing season.
3. Guy wires are not permitted in street right-of-way.
4. All trees shall meet American Standard for Nursery Stock (ANSI, 1990, Part 1, "Shade and Flowering Trees").

TREE PLANTING-SINGLE STEM TREE

CMLDS STD. DETAIL 40.01

GENERAL NOTES:

1. BOUNDARY, EXISTING UTILITIES, AND OTHER EXISTING FEATURES TAKEN FROM BOUNDARY AND TOPO SURVEY BY EAGLE ENGINEERING, NCRLS # L-3661, DATED 11/16/06.
2. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR. ALL ROAD IMPROVEMENTS AT BROWNE ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
3. DEVELOPER WILL PROVIDE STREET SIGNS PER CMLDS# 60.06 (9' SIGNS ONLY).
4. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
5. DIRECT VEHICULAR ACCESS TO BROWNE ROAD FROM LOTS #1 & 28 IS PROHIBITED. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
6. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING. PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
7. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
8. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
9. CURB AND GUTTER SHOWN ON PLANS ALONG BROWNE ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
10. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
11. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED.
12. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
13. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
14. ANY BUILDING WITHIN THE 100'-1 BUILDING RESTRICTION FLOODING IS SUBJECT TO THE RESTRICTIONS OF THE CITY OF CHARLOTTE/MECKLENBURG COUNTY SUBDIVISION ORDINANCE, SECTION 7.200.8.
15. ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS COMMUNITY ENCROACHMENT (0.1) FLOODWAY ENCROACHMENT AREA IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
16. ALL OPENINGS (E.G., DOORS, WINDOWS, VENTS) IN STRUCTURES BUILT ON LOT #S 15-20, 32-39 SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100'-1 FLOOD ANALYSIS).
17. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
18. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
19. PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL.
20. PRIOR TO CO. SURVEYOR SEALED AS-BUILT DRAWINGS OF UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED.
21. NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
22. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
23. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
24. LOT DIMENSIONS ARE APPROXIMATE. REFERENCE RECORD PLAT FOR EXACT DIMENSIONS.
25. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
26. APPROXIMATE TIME OF COMPLETION OF INFRASTRUCTURE: 24 MONTHS.

NOTE:
Q₁₀ < 50cfs @ 2'.
NO FLOOD STUDY IS REQUIRED
SEE SITE CALCULATIONS

REV. 4

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REV. 4

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SITE DEVELOPMENT DATA

TAX PARCEL NO. 027-17-108 027-17-109 (PARTIAL)
027-17-136 027-17-137
027-17-138
PROPERTY OWNER: YOUNGS POND, LLC
ZONING: R-3
MINIMUM LOT WIDTH: 70'
MINIMUM SETBACK: 20' (TREE ORNANCE INCENTIVE)
MINIMUM SIDE YARD: 2' (TREE ORNANCE INCENTIVE)
MINIMUM REAR YARD: 45'
MINIMUM LOT AREA: 9,019 S.F. (MIN. REQ'D)
9,019 S.F. (MIN. PROPOSED)
10,800 S.F. (AVG. REQ'D)
11,888 S.F. (AVG. PROPOSED)
CITY OF CHARLOTTE
JURISDICTION: 17.16 AC
DENSITY ALLOWED: 32 DU/AC (51 DU)
DENSITY PROPOSED: 2.86 DU/AC (49 DU)

TREE SAVE CALCULATIONS

OVERALL SITE ACREAGE: 747.065 S.F.
MINUS EXT. ROAD ROW: -56,865 S.F.
MINUS BROWNE ROAD ROW: -11,817 S.F.
NET SITE ACREAGE: 67,858 S.F.
TREE SAVE REQUIRED (100%): 67,858 S.F.
TREE SAVE PROVIDED: 68,072 S.F. (10.16%)

NOTE: NO HERITAGE TREES HAVE BEEN OBSERVED ON SITE.

STREET TREE CALCULATIONS

FRONTAGE TREES REQ'D TREES PROV.
ALLEN A. BROWN ROAD: 2180' 44 (50' O.C.) 45
MERIDALE CROSSING DR: 2070' 42 (50' O.C.) 42
EVERSFIELD ROAD: 460' 10 (50' O.C.) 10

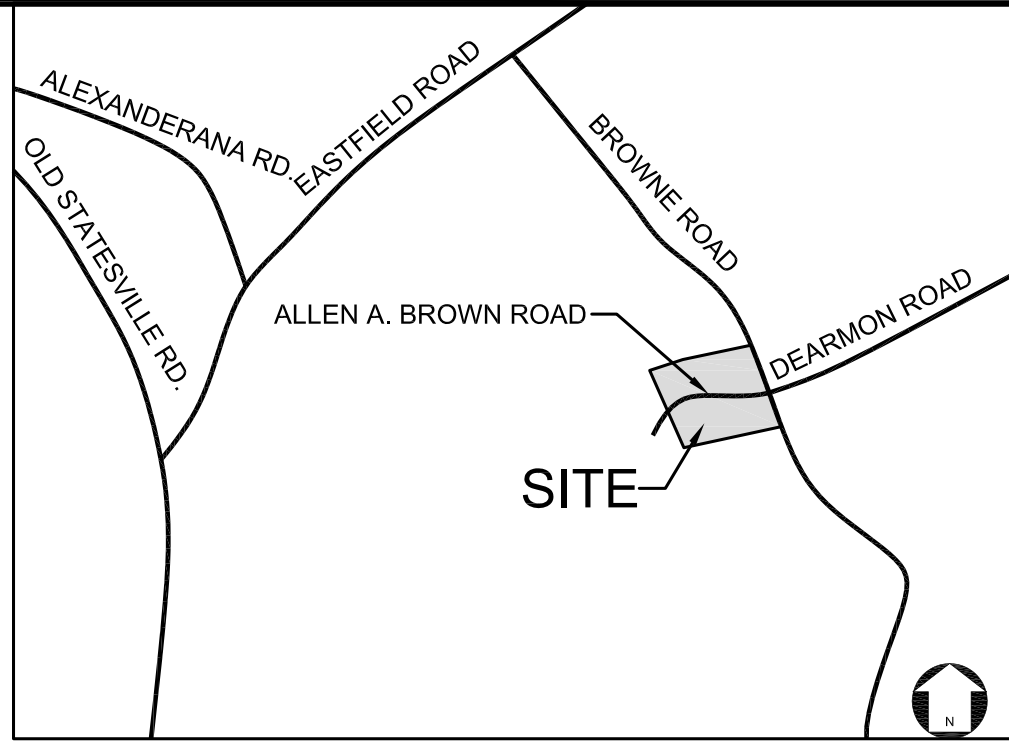
TREE PLANTING NOTES

1. ALL TREES SHALL BE PLANTED PER CMLDS 40.01 AND 40.09.
2. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM THE ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
3. LARGE MATURING TREES MAY NOT BE PLANTED WHERE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES EXIST. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL THE URBAN FORESTER BEFORE PLANTING.
4. ADJUST TREE-PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES.
5. NEW TREES SHALL BE A MINIMUM 2" CALIPER FOR STREET TREE REQUIREMENTS.
6. SEE TREE PRESERVATION NOTES ON GRADING AND EROSION CONTROL SHEETS.
7. PROPOSED STREET TREES SHALL BE 2" CALIPER, LARGE MATURING, AND SHALL BE SELECTED FROM THE CITY OF CHARLOTTE APPROVED PLANTING LIST. COORDINATE WITH OWNER.
8. STREET TREE SPACING: 40'-50' O.C.
9. PROPOSED STREET TREES SHALL BE GENETIC CLONES (CULTIVARS), SELECTED FOR UNIFORMITY. TREES SHALL MEET REQUIREMENTS OF AMERICAN STANDARDS FOR NURSERY STOCK FOR THEIR GIVEN SPECIES AND SHALL BE SINGLE-STEM, WITH A STRONG CENTRAL LEADER.
10. STREET TREES PLANTED WITHIN THE INTERSECTION SIGHT TRIANGLES SHALL BE 12'-14" MIN. HT. AT PLANTING, WITH NO BRANCHES BELOW 6' ABOVE ADJACENT GRADE.

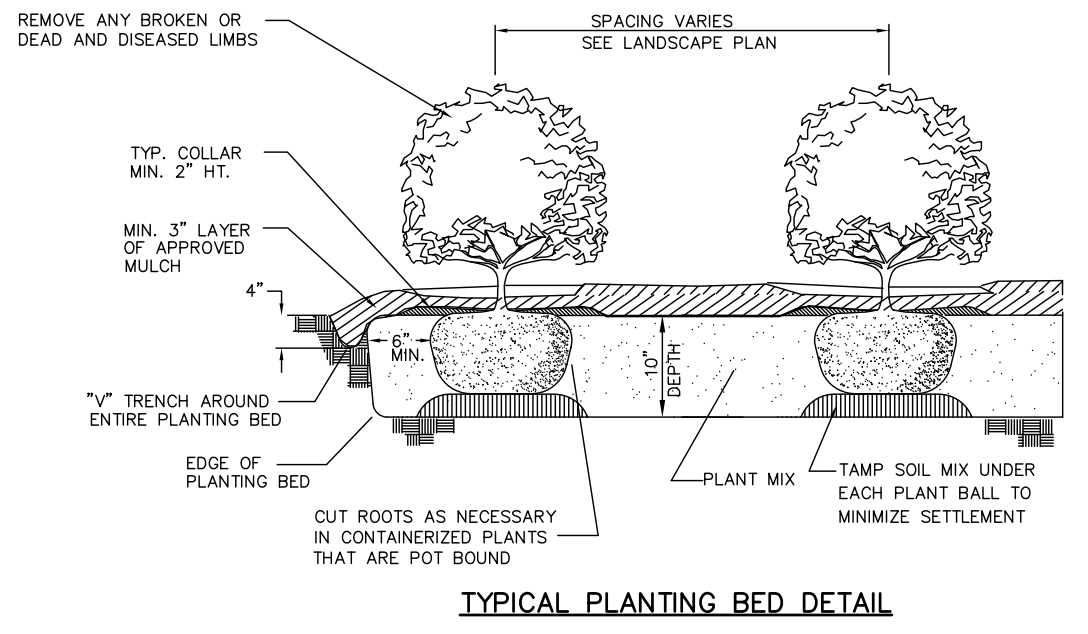
TS AREA	PROPOSED (REVISION 4)	PREVIOUSLY APPROVED
TS AREA #1	31,105 S.F.	31,105 S.F.
TS AREA #2	34,926 S.F.	34,744 S.F.
TS AREA #3	3,041 S.F.	2,878 S.F.
TOTAL:	69,072 S.F.	68,727 S.F.

REVISION NOTE

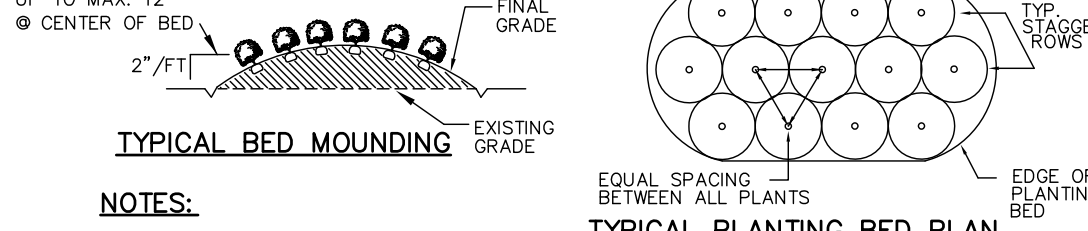
REVISION #1 OF MERIDALE PHASE 1 HAS BEEN DONE TO ADD THE LEFT TURN LANE WIDENING OF BROWNE ROAD TO THE PHASE 1 DOCUMENTS. SEE SHEETS RW-1 THROUGH RW-6.



VICINITY MAP



TYPICAL PLANTING BED DETAIL



TYPICAL PLANTING BED PLAN

SHRUB PLANTING BED

NOT TO SCALE

DRAWING INDEX

SHEET #	DESCRIPTION
L2.0	SITE PLAN
L3.0	GRADING
L3.1	STORM DRAINAGE AREAS
L3.2	SEDIMENT BASIN AREAS
L4.0	EROSION CONTROL INITIAL
L4.1	EROSION CONTROL FINAL
L5.0	ROAD PROFILES
L5.1	ROAD PROFILES
L6.0	DETAILS
L6.1	DETAILS
RW-1	BROWNE ROAD IMPROVEMENTS
RW-2	BROWNE ROAD TRAFFIC CONTROL
RW-3	BROWNE ROAD IMP. PROFILE
RW-4	BROWNE ROAD IMP. X-SECTIONS
RW-5	BROWNE ROAD IMP. X-SECTIONS
RW-6	BROWNE ROAD IMP. X-SECTIONS



ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY

TREE ORDINANCE

CDOT

NOTE: THIS PLAN APPROVAL DOES NOT INCLUDE COMMERCIAL ZONING. ALL BUILDING PERMITS AND ZONING APPROVALS CAN BE OBTAINED AT MECKLENBURG COUNTY CODE ENFORCEMENT. PLEASE CALL C.T.A.C. AT 704-314-CODE (2633) FOR MORE INFORMATION.

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 148 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

APPROVED
By mchapman at 1:50 pm, Aug 16, 2016

APPROVED
By Stan Armstrong at 1:58 pm, Aug 11, 2016

REVISION #2
APPROVED FOR CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 8-25-2016

REVISION SUMMARY

THIS REVISION OF "MERIDALE - PHASE 1" INCLUDES THE FOLLOWING CHANGES:

1. REVISE LOT LINE LOCATIONS BETWEEN LOT #S 16-17 AND 18-19.
2. REVISE SQUARE FOOTAGE OF LOT #S 16, 17 & 18.
3. REVISE LIMITS AND SQUARE FOOTAGE OF TREE SAVE AREA #2 AND #3, ON LOT #S 16, 17, 18, & 36-40.
4. REVISE LIMITS OF WETLANDS PER UPDATED WETLAND DELINEATION BY L. RIDNER, PWS, AND WETLAND SURVEY DATED 10-7-13 BY SOUTHEAST GROUP.
5. CITY PERMIT REFERENCES: SDRSP-2008-0004 (MERIDALE PH1-REVISION #1) LDC-2008-0017 (MERIDALE PH1-LOT GRADING)

THE FOLLOWING LOTS ARE OWNED BY MERIDALE LOTS LLC:

LOT #	TAX ID
16	02717534
17	02717533
18	02717532
36	02717524
37	02717523
38	02717422
39	02717521
40	02717520

LEGEND

1 GDUE

2 DETAIL KEY

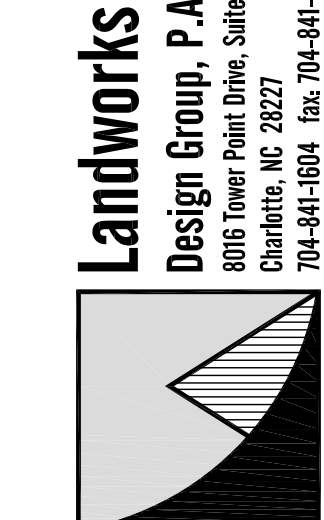
3 DETAILS

4 SHEETS

5 PHASE LINE

0 50' 100' 200'

1" = 50'



REVISION #2 TO APPROVED SUBDIVISION
MERIDALE PHASE 1
CURRENT OWNER: MERIDALE LOTS LLC
(ORIGINAL DEVELOPER: YOUNGS POND, LLC)
CHARLOTTE, NC

SITE PLAN

seals



Description	By	Date
PER CITY REVIEW COMMENTS	SSW	1-3-20-07
REVISED TO INCLUDE BROWNE ROAD WIDENING	SSW	2-3-16-08
TO PHASE 1 PLANS	SSW	3-6-11-08
LOT 16 REVISION	SSW	4-7-16-16
SUBDIVISION REVISION #2: LOT LINES AND TREE SAVE AT LOT #S 16, 17, & 18; TREE SAVE AT LOT #S 36-40	SSW	3-6-16

Project Manager: SSW

Drawn By: SH, TMM

Checked By: TMM

Date: 01-31-07

Project Number: 06019

Sheet Number:

L2.0