

VICINITY MAP

. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH

5. DIRECT VEHICULAR ACCESS TO PLEASANT PLAINS ROAD FROM LOT

4. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITI

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SPECIFICATIONS FOR ROADS AND STRUCTURES UNLESS OTHERWISE S

6. ALL CURBS SHALL HAVE A 4.5' RADIUS AT THE BACK OF CURB

7. LAND DEVELOPMENT ENGINEER SHALL BE GIVEN 48 HOURS NOTICE

8. CONTRACTOR SHALL NOTIFY THE TOWN OF STALLINGS INSPECTOR I

9. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. FURTHER

2. DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM# 50.05 (9"

**GENERAL NOTES:** 

# LISMORE SUBDIVISION



FINAL **APPROVAL**  CHARLOTTE, NORTH CAROLINA

# **ENGINEERING** PCO / DETENTION / DRAINAGE PLAN

**EROSION CONTROL** 

# **URBAN FORESTRY**

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT http://development.charmeck.org

THE TOWN LIMITS.

**APPROVED** 

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By Brendan Smith at 2:09 pm, Jul 21, 2016

1. ALL CONCRETE SHALL BE CURED WITH 100% RESIN BASE. WHITE PIGMENTED CURING COMPOUND WHICH MEETS A.S.T.M. SPECIFICATIONS C-309, TYPE 1, APPLIED

12. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.

SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.

13. CURB AND GUTTER SHOWN ON PLANS ALONG MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.

MATERIAL SIAD MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.

17. ALL SUBGRADE FOR ROADS SHALL BE COMPACTED TO 100% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTER TEST.

19. CONTRACTOR SHALL MAINTAIN TWO WAY TRAFFIC AT ALL TIMES WHEN WORKING WITHIN EXISTING STREETS. THE CONTRACTOR SHALL PLACE AND MAINTAIN SIGNS, DANGER LIGHTS, BARRICADES, AND FURNISH WATCHMEN OR FLAGMEN TO DIRECT TRAFFIC IN ACCORDANCE WITH THE WORK AREA TRAFFIC CONTROL HANDBOOK

20. SIDEWALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3600 PSI CONCRETE AND SHALL BE FOUR (4) INCHES THICK, CONSTRUCTED ON AN ADEQUATELY

1. SUBGRADE FOR SIDEWALKS SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTER TEST. THE SURFACE OF THE SIDEWALK SHALL BE STEEL TROWEL AND LIGHT BROOM FINISHED AND CURED WITH AN ACCEPTABLE CURING COMPOUND. TOOLED JOINTS SHALL BE PROVIDED AT AN INTERVAL NOT LESS THAN FIVE (5) FEET AND EXPANSION JOINTS AT INTERVALS NOT MORE THAN 45 FEET. THE SIDEWALK SHALL HAVE A LATERAL SLOPE OF 1/4"

22. THE ELEVATION OF THE SIDEWALK SHALL BE RELATED TO THE ELEVATION OF THE CROWN OF THE ADJACENT ROADWAY. THE SIDEWALK SHALL BE NO LESS THAN SIX (6) INCHES OR MORE THAN 18 INCHES ABOVE THE ROADWAY CROWN, EXCEPT THAT THE CROSSWALK ELEVATIONS SHALL BE PROPERLY RELATED TO THE

23. UTILITY INSTALLATIONS MAY ONLY CROSS BUFFER AREAS AT INTERIOR ANGLES MEASURED AT PROPERTY LINES WHICH ARE NOT LESS THAN 75 DEGREES AND. TO THE EXTENT POSSIBLE, PATHS CLEARED FOR SUCH UTILITY LINES SHALL BE REPLANTED WITH PLANT MATERIALS FROM THE ORDINANCES APPROVED PLANT LIST.

24. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.

25. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.

26. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.

27. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.

28. ANY BUILDING WITHIN THE 100+1 STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200,8.

31. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.

29. ANY CONSTRUCTION OR USE WITHIN THE FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.

30. ALL OPENINGS (E.G., DOORS, WINDOWS, VENTS) IN STRUCTURES BUILT ON LOT 20 & 23 SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100+1 FLOOD ANALYSIS.)

32. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTYSUBDIVISION ORDINANCE.

33. PRIOR TO CO, SURVEYOR SEALED AS-BUILT DRAWINGS OF ALL WATER QUALITY BMP'S AND DETENTION SYSTEMS MUST BE PROVIDED.

34. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.

35. PER SECTION 18-175(E) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCCE) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

36. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60- 90 DAYS WILL BE REQ 701-336-8318 RELOCATION.

37. DEVELOPER SHALL BE RESPONSIBLE FOR ALC RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE

38. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025) OR VISIT HTTP: //WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREET+MAINTENANCE/HOME.HTM

39. NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, FTC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION NORTH CAROLINA DEPARTMENT OF

TRANSPORTATION BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT COOT AT (704) 336-3888.

40. ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE FOR LESS THAN 30 DAYS REQUIRES A R/W USE PERMIT. TRAFFIC CONTROL PLANS FOR ANY SIDEWALK OR TRAVEL LANE CLOSURES MUST BE SUBMITTED AS PART OF THE R/W USE PERMIT REQUEST. TRAFFIC CONTROL PLANS MUST BE IN ACCORDANCE WITH COOTS WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) AND MUST BE REVIEWED AND APPROVED. CONTRACTOR SHALL CONTACT CDOT AT LEAST 5 BUSINESS DAYS IN ADVANCE OF BEGINNING OF WORK AT (704) 432-1562.

1. CONSTRUCTION STAGING WITHIN CITY R/W LASTING MORE THAN 30 DAYS REQUIRES A R/W LEASE AGREEMENT. CONTRACTOR SHALL CONTACT CDOT AT (704)

42. RIGHT-OF-WAY CLOSURES LONGER THAN 30 DAYS REQUIRE A R/W LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLANS REQUIRED THROUGH A LEASE AGREEMENT MAY BE DIFFERENT FROM THE ONE REQUIRED DURING THE LAND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS. THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO START OF R/W CLOSURES. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-2562.

# APPROVED FOR CONSTRUCTION

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT BY: Joshua Weaver 8-1-2016

# By gturner at 9:49 am, Jul 15, 2016

BENSEVAL LANE

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### CONTACT INFORMATION

CLUB FOREST CALLONWOOD, LLC CONTACT: TOM SCOTT

ADDRESS: 500 NORTH BIRDNECK ROAD, SUITE 100 VIRGINIA BEACH, VA 23451 PHONE: (704) 248-2100 FAX: (704) 248-2101

**CIVIL ENGINEER & LANDSCAPE ARCHITECT URBAN DESIGN PARTNERS** CONTACT: BRIAN D. SMITH, PE ADDRESS: 1318-E6 CENTRAL AVENUE

CHARLOTTE, NC 28205 PHONE: 704-334-3303 FAX: 704-334-3305

## SHEET INDEX

C-1.0 COVER SHEET **EXISTING CONDITIONS** SITE PLAN

COMMON OPEN SPACE, TREE SAVE AREA & NATURAL AREA

GRADING PLAN

ROAD PROFILE - ARNOTT LANE & LONGWALL LANE ROAD PROFILE - BENSEVAL LANE

STORM DRAINAGE PLAN

FLOOD STUDY - CROSS SECTIONS

BMP PLAN & DETAILS - SAND FILTER #1 BMP PLAN & DETAILS - SAND FILTER #2

BMP PLAN & DETAILS - SAND FILTER #3

BMP PLAN & DETAILS - SAND FILTER #4

STORM DRAINAGE AREA MAP

BMP DRAINAGE AREA MAP

UTILITY PLAN - OVERALL

EROSION CONTROL PLAN - PHASE I **EROSION CONTROL PLAN - PHASE II** 

**EROSION CONTROL DETAILS** 

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SITE DETAILS & SPECIFICATIONS

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INTERSECTION SIGHT DISTANCE - LONGWALL LANE

C-8.1 INTERSECTION SIGHT DISTANCE - ARNOTT LANE 

LS-1.0 REQUIRED PLANTING PLAN

1 INCH = 100 FFFT





