

VICINITY MAP

GENERAL NOTES:

- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM# 50.05 (9" SIGNS ONLY).
- DIRECT VEHICULAR ACCESS TO PLEASANT PLAINS ROAD FROM LOTS 1 & 7 IS PROHIBITED.
- ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL (CLDSM).
- ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES UNLESS OTHERWISE SPECIFIED IN THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
- ALL CURBS SHALL HAVE A 4.5' RADIUS AT THE BACK OF CURB UNLESS OTHERWISE NOTED.
- LAND DEVELOPMENT ENGINEER SHALL BE GIVEN 48 HOURS NOTICE PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY THE TOWN OF STALLINGS INSPECTOR BOBBY JACKSON @ 704-441-8443, 48 HOURS PRIOR TO ANY WORK WITHIN THE TOWN LIMITS.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. FURTHER REQUIREMENTS MAY BE MADE BY THE CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDOT).
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3600 P.S.I. AT 28 DAYS AND SHALL COMPLY WITH SECTION 1000 OF THE NCDOT STANDARD SPECIFICATIONS.
- ALL CONCRETE SHALL BE CURED WITH 100% RESIN BASE, WHITE PIGMENTED CURING COMPOUND WHICH MEETS A.S.T.M. SPECIFICATIONS C-309, TYPE 1, APPLIED AT ONE GALLON TO 400 SF WITHIN 24 HOURS OF PLACEMENT OF CONCRETE.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- CURB AND GUTTER SHOWN ON PLANS ALONG MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- ALL CURB AND GUTTER SHALL BE BACKFILLED WITH SOIL APPROVED BY THE INSPECTOR 48 HOURS AFTER CONSTRUCTION TO PREVENT EROSION.
- BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIAL, OR OTHER OBJECTIONABLE MATERIAL. SIAD MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- ALL SUBGRADE FOR ROADS SHALL BE COMPACTED TO 100% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTER TEST.
- ALL TESTS SHALL BE PERFORMED BY THE DEVELOPER AT NO COST TO THE CITY.
- CONTRACTOR SHALL MAINTAIN TWO WAY TRAFFIC AT ALL TIMES WHEN WORKING WITHIN EXISTING STREETS. THE CONTRACTOR SHALL PLACE AND MAINTAIN SIGNS, DANGER LIGHTS, BARRICADES, AND FURNISH WATCHMEN OR FLAGMEN TO DIRECT TRAFFIC IN ACCORDANCE WITH THE WORK AREA TRAFFIC CONTROL HANDBOOK (W.A.T.C.H.).
- SIDEWALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3600 PSI CONCRETE AND SHALL BE FOUR (4) INCHES THICK, CONSTRUCTED ON AN ADEQUATELY GRADED BASE, EXCEPT WHERE A SIDEWALK CROSSES A DRIVEWAY IT SHALL BE SIX (6) INCHES THICK.
- SUBGRADE FOR SIDEWALKS SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTER TEST. THE SURFACE OF THE SIDEWALK SHALL BE STEEL TROWEL AND LIGHT BROOM FINISHED AND CURED WITH AN ACCEPTABLE CURING COMPOUND. TOOLED JOINTS SHALL BE PROVIDED AT AN INTERVAL NOT LESS THAN FIVE (5) FEET AND EXPANSION JOINTS AT INTERVALS NOT MORE THAN 45 FEET. THE SIDEWALK SHALL HAVE A LATERAL SLOPE OF 1/4" PER FOOT.
- THE ELEVATION OF THE SIDEWALK SHALL BE RELATED TO THE ELEVATION OF THE CROWN OF THE ADJACENT ROADWAY. THE SIDEWALK SHALL BE NO LESS THAN SIX (6) INCHES OR MORE THAN 18 INCHES ABOVE THE ROADWAY CROWN, EXCEPT THAT THE CROSSWALK ELEVATIONS SHALL BE PROPERLY RELATED TO THE EXISTING OR PROPOSED ROADWAY CURB.
- UTILITY INSTALLATIONS MAY ONLY CROSS BUFFER AREAS AT INTERIOR ANGLES MEASURED AT PROPERTY LINES WHICH ARE NOT LESS THAN 75 DEGREES AND, TO THE EXTENT POSSIBLE, PATHS CLEARED FOR SUCH UTILITY LINES SHALL BE REPLANTED WITH PLANT MATERIALS FROM THE ORDINANCES APPROVED PLANT LIST.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- ANY BUILDING WITHIN THE 100+1 STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.B.
- ANY CONSTRUCTION OR USE, WITHIN THE FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
- ALL OPENINGS (E.G., DOORS, WINDOWS, VENTS) IN STRUCTURES BUILT ON LOT 20 & 23 SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100+1 FLOOD ANALYSIS).
- PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTYSUBDIVISION ORDINANCE.
- PRIOR TO CO, SURVEYOR SEALED AS-BUILT DRAWINGS OF ALL WATER QUALITY BMP'S AND DETENTION SYSTEMS MUST BE PROVIDED.
- PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- PER SECTION 18-175(E) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCEE) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60- 90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION.
- DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025) OR VISIT [HTTP://WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREET+MAINTENANCE/HOME.HTM](http://www.charmeck.org/departments/transportation/street+maintenance/home.htm)
- NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT CDOT AT (704) 336-3888.
- ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE FOR LESS THAN 30 DAYS REQUIRES A R/W USE PERMIT. TRAFFIC CONTROL PLANS FOR ANY SIDEWALK OR TRAVEL LANE CLOSURES MUST BE SUBMITTED AS PART OF THE R/W USE PERMIT REQUEST. TRAFFIC CONTROL PLANS MUST BE IN ACCORDANCE WITH CDOT'S WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) AND MUST BE REVIEWED AND APPROVED. CONTRACTOR SHALL CONTACT CDOT AT LEAST 5 BUSINESS DAYS IN ADVANCE OF BEGINNING OF WORK AT (704) 432-1562.
- CONSTRUCTION STAGING WITHIN CITY R/W LASTING MORE THAN 30 DAYS REQUIRES A R/W LEASE AGREEMENT. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-2562.
- RIGHT-OF-WAY CLOSURES LONGER THAN 30 DAYS REQUIRE A R/W LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLANS REQUIRED THROUGH A LEASE AGREEMENT MAY BE DIFFERENT FROM THE ONE REQUIRED DURING THE LAND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS. THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO START OF R/W CLOSURES. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-2562.

LISMORE SUBDIVISION

CHARLOTTE, NORTH CAROLINA

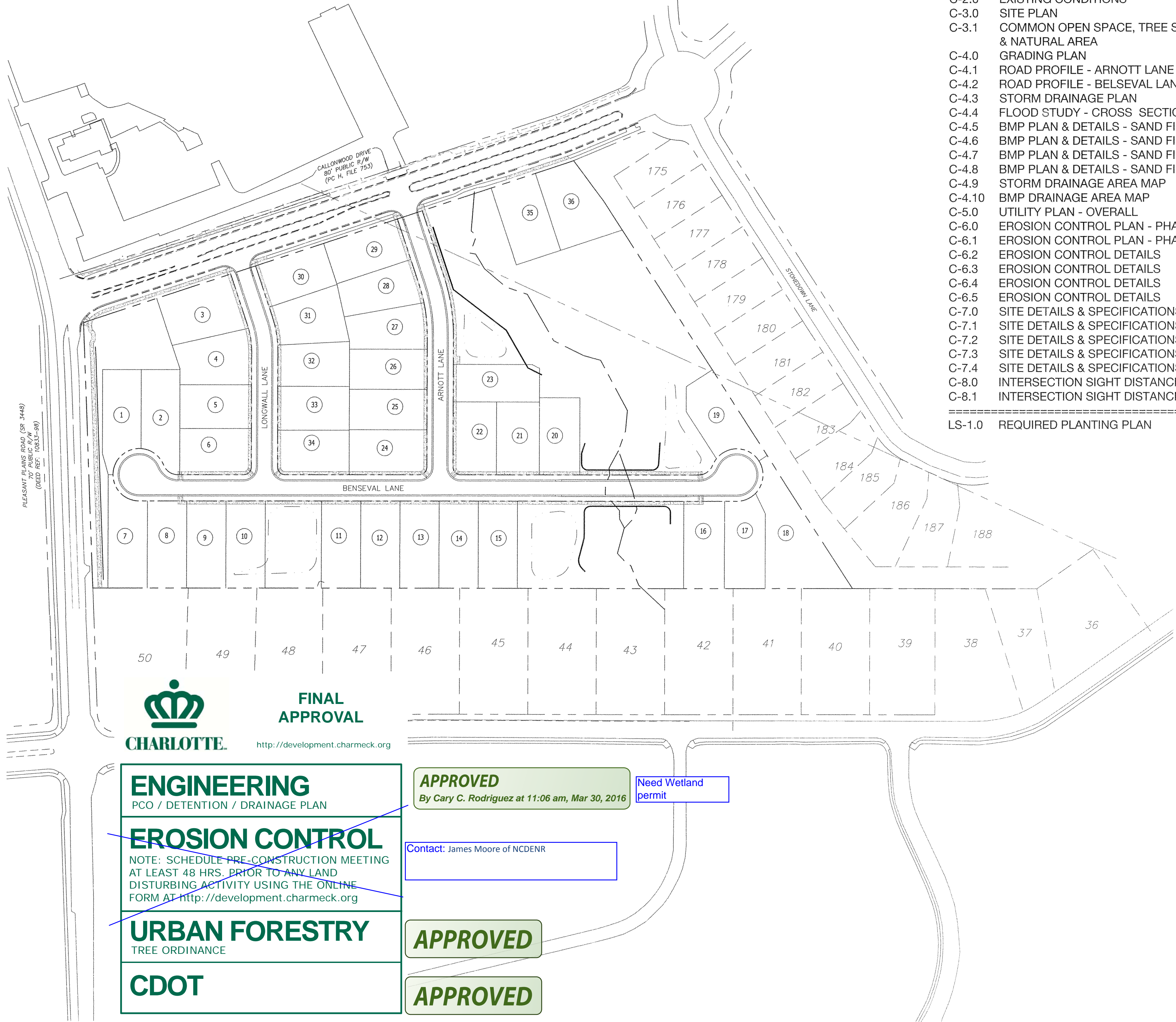
APPROVED FOR
CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 3-30-2016

CONTACT INFORMATION

OWNER:
CLUB FOREST CALLONWOOD, LLC
CONTACT: TOM SCOTT
ADDRESS: 500 NORTH BIRDNECK ROAD, SUITE 100
VIRGINIA BEACH, VA 23451
PHONE: (704) 248-2100 FAX: (704) 248-2101
CIVIL ENGINEER & LANDSCAPE ARCHITECT:
URBAN DESIGN PARTNERS
CONTACT: BRIAN D. SMITH, PE
ADDRESS: 1318-E6 CENTRAL AVENUE
CHARLOTTE, NC 28205
PHONE: 704-334-3303 FAX: 704-334-3305

SHEET INDEX

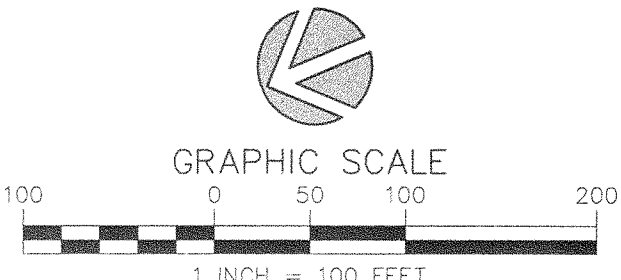
- C-1.0 COVER SHEET
- C-2.0 EXISTING CONDITIONS
- C-3.0 SITE PLAN
- C-3.1 COMMON OPEN SPACE, TREE SAVE AREA & NATURAL AREA
- C-4.0 GRADING PLAN
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- C-4.2 ROAD PROFILE - BELSEVAL LANE
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- C-7.4 SITE DETAILS & SPECIFICATIONS
- C-8.0 INTERSECTION SIGHT DISTANCE - LONGWALL LANE
- C-8.1 INTERSECTION SIGHT DISTANCE - ARNOTT LANE
- =====
- LS-1.0 REQUIRED PLANTING PLAN



CHARLOTTE
FINAL APPROVAL
<http://development.charmeck.org>

ENGINEERING
PCO / DETENTION / DRAINAGE PLAN
EROSION CONTROL
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>
URBAN FORESTRY
TREE ORDINANCE
CDOT

APPROVED
By Cary C. Rodriguez at 11:06 am, Mar 30, 2016
Need Wetland permit
Contact: James Moore of NCDENR
APPROVED
APPROVED



URBAN
DESIGN
PARTNERS
1318-e6 central ave. P 704.334.3303
charlotte, nc 28205 F 704.334.3305
urbandesignpartners.com

SEAL
27890
ENGINEER
BRIAN D. SMITH
3/28/16

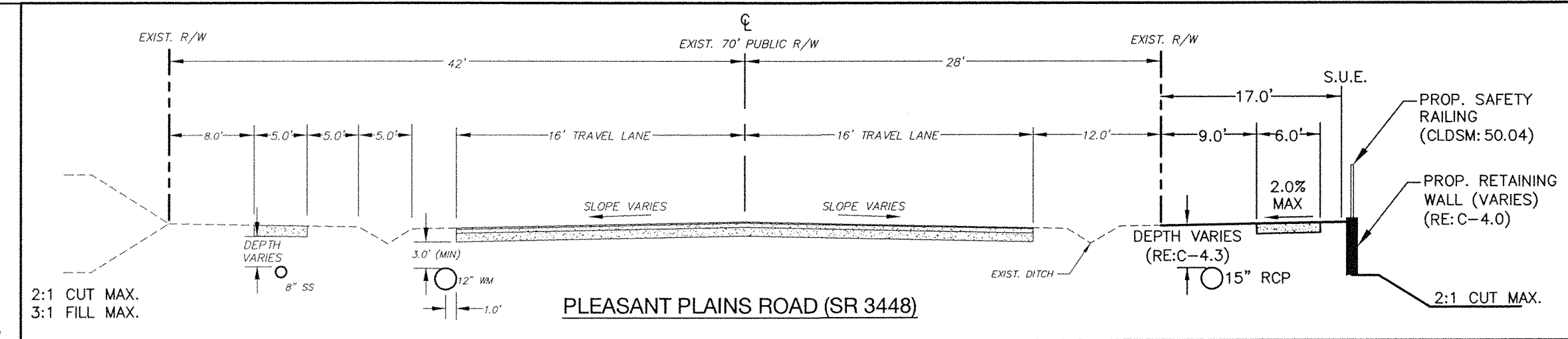
Club Forest
Callonwood, LLC
Tom Scott
500 North Birdneck Road, Suite 100
Virginia Beach, VA 23451

Lismore
Cover Sheet
Charlotte, NC

NO.	DATE	BY	REVISIONS:
1	12.08.15	UDP	PER CITY COMMENTS
2	12.14.15	UDP	PER STALLINGS COMMENTS
3	01.08.16	UDP	PER NGDENR COMMENT
4	02.18.16	UDP	PER CITY COMMENTS
5	03.03.16	UDP	PER CITY COMMENTS
6	03.17.16	UDP	PER CITY COMMENTS
7	03.28.16	UDP	PER CITY COMMENTS

Project No: 15-093
Date: October 20, 2015
Designed by: UDP
Drawn by: JAP
Scale: 1" = 100'
Sheet No:
C-1.0

- NOTES:**
- BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY:
PITMAN PROFESSIONAL LAND SURVEYING
314 TOM HALL STREET
FORT MILL, SC 29716
(803) 547-7369
 - CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
 - ALL DEVELOPMENT CREATING A TOTAL 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
 - TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY OF CHARLOTTE LANDSCAPE MANAGEMENT AT 704-336-4282. ALL TREES OVER 8-INCHES IN DIAMETER (4.5-FT ABOVE GROUND) IN SETBACK AREA ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY ENGINEERING AT 704-336-6692.
 - DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. CURB RADII SHALL MEASURE 4.5' AT BACK OF CURB UNLESS OTHERWISE NOTED.
 - DIRECT VEHICULAR ACCESS TO LOTS 1 & 7 FROM PLEASANT PLAINS ROAD IS PROHIBITED.
 - ALL OPENINGS (E.G., DOORS, WINDOWS, VENTS) IN STRUCTURES BUILT ON LOT 20 & 23 SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100+1 FLOOD ANALYSIS.)



LEGEND:

- PROP. TREE SAVE, PCO NATURAL AREA & COMMON OPEN SPACE (± 58,240 SF)
- PROP. PCO NATURAL AREA & COMMON OPEN SPACE (± 9,938 SF)
- PROP. COMMON OPEN SPACE (± 64,046 SF)

DEVELOPMENT SUMMARY

TAX PARCEL ID #: 231-214-02 (MECK. COUNTY)
07144004B (UNION COUNTY)

SITE AREA: MECK. COUNTY: 12.11 AC
UNION COUNTY: 1.46 AC
TOTAL SITE AREA: 13.57 AC

EXISTING ZONING: R-3 (MECK. COUNTY)
MECKLENBURG COUNTY
CLUSTER DEVELOPMENT OPTION

BUILT UPON AREA (BUA)
EXISTING: 1%
BUILDINGS: 4,038 SF

PROPOSED:
LOT IMPERVIOUS: 52%
ASPHALT/ROAD: 181,456 SF (60% LOT AREA)
SIDEWALK: 77,119 SF
TOTAL: 17,309 SF
275,884 SF

UNION COUNTY EXISTING: 0 %

PROPOSED:
LOT IMPERVIOUS: 20%
LOT IMPERVIOUS: 12,568 SF (60% LOT AREA)

SETBACKS:
FRONT: 22' (27' GARAGE)
SIDE: 6'
REAR: 45' (30' INTERNAL)
CORNER SIDE YARD: 17'

MINIMUM LOT SIZE
WIDTH: 60'
AREA: 8,000 SF

PROPOSED USE: SINGLE-FAMILY RESIDENTIAL

DENSITY
MECKLENBURG COUNTY
MAX. ALLOWED: 36 LOTS @ 3 LOTS/ACRE
PROPOSED: 34 LOTS

COMMON OPEN SPACE:
MECKLENBURG COUNTY
REQUIRED: 52,751 SF (527,509 SF @ 10%)
PROPOSED: 132,224 SF (25 %)
UNION COUNTY
REQUIRED: N/A

TREE SAVE AREA:
MECKLENBURG COUNTY
REQUIRED: 52,751 SF (527,509 SF @ 10%)
PROPOSED: 58,240 SF (11 %)
UNION COUNTY
REQUIRED: N/A

PCO NATURAL AREA:
MECKLENBURG COUNTY
REQUIRED: 52,751 SF (527,509 SF @ 10%)
PROPOSED: 68,178 SF (13 %)
UNION COUNTY
REQUIRED: N/A



Maximum Built-Upon Area Per Lot			
Lot #	Total Lot Area (sf)	BUA @ 60% (sf)	
1	8,778	5,267	
2	9,103	5,462	
3	10,703	6,422	
4	9,322	5,593	
5	8,050	4,830	
6	8,428	5,057	
7	9,527	5,716	
8	8,823	5,294	
9	8,824	5,294	
10	8,825	5,295	
11	8,827	5,296	
12	8,828	5,297	
13	8,829	5,297	
14	8,830	5,298	
15	8,831	5,299	
16	9,211	5,527	
17	9,269	5,561	
18	15,884	9,590	
19	9,368	5,621	
20	8,056	4,834	
21	8,070	4,842	
22	8,056	4,834	
23	8,290	4,974	
24	8,925	5,355	
25	8,084	4,850	
26	8,084	4,850	
27	8,177	4,906	
28	8,149	4,889	
29	8,553	5,132	
30	8,693	5,216	
31	8,814	5,288	
32	8,005	4,803	
33	8,053	4,832	
34	8,128	4,877	
35	9,735	5,841	
36	11,142	6,685	

BEFORE YOU DIG!
CALL 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!

GRAPHIC SCALE
0 25 50 100
1 INCH = 50 FEET

URBAN DESIGN PARTNERS
1318-e6 central ave. p. 704.334.3303
charlotte, nc 28205 p. 704.334.3305
urbandesignpartners.com

Club Forest Callonwood, LLC
Tom Scott
500 North Birdneck Road, Suite 100
Virginia Beach, VA 23451

Lismore Site Plan
Charlotte, NC

REVISIONS:

NO.	DATE	BY	REVISIONS
1	12/08/15	UDP	PER CITY COMMENTS
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