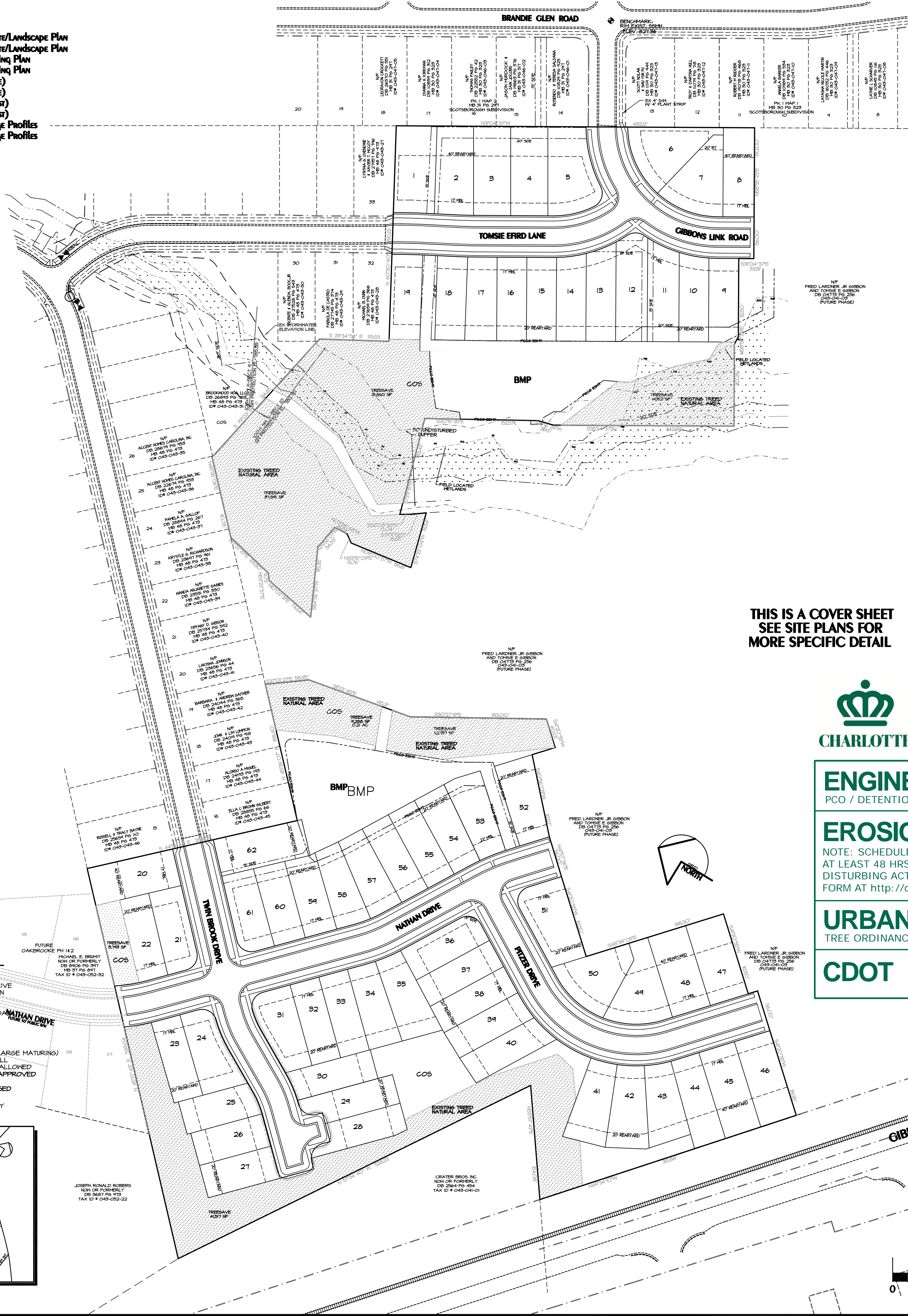


SHEET INDEX

Sheet No.	Sheet Title
1	COVER SHEET
2	Preliminary Subdivision Site/Landscape Plan
3	Preliminary Subdivision Site/Landscape Plan
4	Storm Drainage and Grading Plan
5	Storm Drainage and Grading Plan
6	Erosion Control Plan (Pre)
7	Erosion Control Plan (Pre)
8	Erosion Control Plan (Post)
9	Erosion Control Plan (Post)
10	Roadway & Storm Drainage Profiles
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13	Drainage Area Map
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THIS IS A COVER SHEET  
SEE SITE PLANS FOR  
MORE SPECIFIC DETAIL



FINAL  
APPROVAL

<http://development.charmeck.org>

ENGINEERING  
PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING  
AT LEAST 48 HRS. PRIOR TO ANY LAND  
DISTURBING ACTIVITY USING THE ONLINE  
FORM AT <http://development.charmeck.org>

URBAN FORESTRY  
TREE ORDINANCE

CDOT

APPROVED  
By mchapman at 9:14 am, Jun 02, 2016

APPROVED  
By Stan Armstrong at 3:22 pm, May 31, 2016

as noted on  
sheets 2 & 3.

DEVELOPMENT DATA

TAX PARCEL NO.: 043-041-02(P) & 03(P)  
ZONING CLASSIFICATION: R-4 (DEVELOPED AS R-5 CLUSTER)\*\*  
ZONING JURISDICTION: CITY OF CHARLOTTE  
SITE ACRES: 15.21 AC  
NO. OF UNITS ALLOWED BY ZONING: 15.21 x 4 = 61.0  
AREA IN EASEMENTS/R/W: 0.00 AC  
NET TOTAL SITE AREA: 15.21 AC

TREE SAVE REQUIRED: 10% x 15.21 AC = 1.521 AC  
ADDITIONAL LOTS FOR TREE INCENTIVE IN COS: 3-82 (25.02%) AC x 4 = 15.2 LOTS  
NO. OF UNITS ALLOWED/PROPOSED: 54.7 + 15.2 = 70.0  
COMMON OPEN SPACE REQUIRED: 10% x 15.21 AC = 1.521 AC  
COMMON OPEN SPACE PROVIDED: 5.33 AC = 35.10%

LOTS 25-30 AND 34-46  
THE MAXIMUM BUA IS 2083 SF PER LOT

LOTS 1-24, 31-33 AND 41-62  
THE MAXIMUM BUA IS 2,200 SF PER LOT

R-5 CLUSTER LOT DATA\*\*  
MIN. LOT SIZE = 4,500 SF  
MIN. LOT WIDTH = 40'  
MIN. SETBACK = 17'  
MIN. SIDE YARD = 5'  
MIN. REAR YARD = 20' INTERNAL, 40' EXTERNAL

\* 20' GARAGE SETBACK FROM BACK OF 5/4 OR R/W, WHICHEVER IS GREATER  
\*\* PER TREE ORDINANCE INCENTIVE

BUILT-UPON AREA (BUA) MEANS THAT PORTION OF A PROPERTY THAT IS COVERED BY IMPERVIOUS OR PARTIALLY IMPERVIOUS SURFACE INCLUDING, BUT NOT LIMITED TO, BUILDINGS, PAVEMENT AND GRAVEL AREAS SUCH AS ROADS, PARKING LOTS, AND PATHS, AND RECREATION FACILITIES SUCH AS TENNIS COURTS (ACTIVITY FIELDS THAT HAVE BEEN DESIGNED TO ENHANCE PLACEMENT OF RANGE, SHOOTING AND GRADING OR INSTALLATION OF SODDED TURF, AND UNDERGROUND CONSIDERED BUILT-UPON AREA). BUILT-UPON AREA DOES NOT INCLUDE A WOODEN SLATED DECK OR THE WATER AREA OF A SWIMMING POOL.

SINGLE FAMILY LOT SIZE (SF)	MAX. BLDG COVERAGE
UP TO 4,500	30%
4,501 - 6,500	40%
6,501 - 8,500	40%
8,501 - 10,000	30%
10,001 OR GREATER	30%

GENERAL NOTES

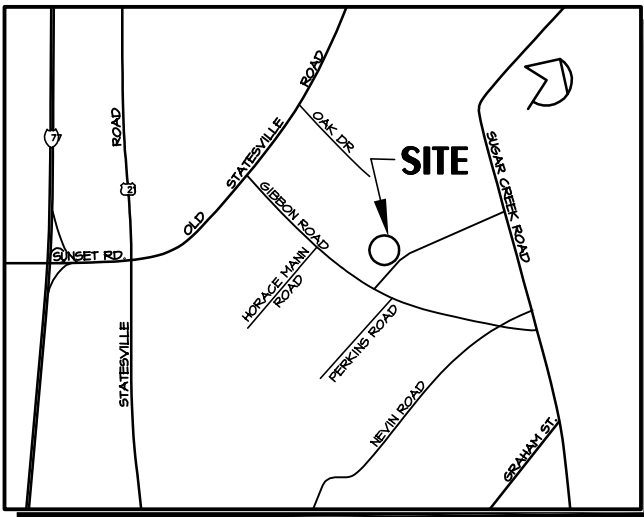
- THIS PRELIMINARY SUBDIVISION PLAN IS SUBMITTED, AND SHALL BE CONSTRUCTED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CHARLOTTE ZONING AND SUBDIVISION ORDINANCES, AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
- BOUNDARY SURVEY INFORMATION PER SURVEY PREPARED BY PHOENIX LAND SURVEYING.
- TOPOGRAPHIC INFORMATION TAKEN FROM PHOTOGRAMMETRIC MAPPINGS BY CITY OF CHARLOTTE AND FIELD SHOTS BY PHOENIX LAND SURVEYING.
- CHIEF SUBDIVISION INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- LOT DIMENSIONS ARE APPROXIMATE, REFERENCE RECORD PLAT FOR EXACT LOT DIMENSIONS.
- ALL STORM DRAINAGE PIPE SHALL BE CLASS 3 REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED. PIPE LENGTHS INDICATED ON THE PLANS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE DUE TO FIELD CONDITIONS.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY AS DEEMED NECESSARY BY THE INSPECTOR.
- REFERENCE SHEETS 6-14 FOR EROSION CONTROL PLAN AND NOTES, REFERENCE SHEET 12 FOR EROSION CONTROL DETAILS.
- CONSTRUCTION OF ALL DEVELOPMENT IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL. REFERENCE SHEET 12 FOR SITE DETAILS. THE FOLLOWING ADDITIONAL DETAILS ARE INCLUDED BY REFERENCE:  
ITEM: CLD/NCDDOT STD. NO.  
CURB AND GUTTER: 10:11  
CURB TRANSITION: 10:14  
CATCH BASIN LOCATION: 10.24 + 10.30  
(C) BRICK CATCH BASIN: 840.01 + 840.02  
(DC) DOUBLE CATCH BASIN: 20.03 + 20.04  
STREET NAME SIGN: 50.05  
CONCRETE MONUMENT: 50.03  
SIDEWALK: 10.22  
BARRICADE: 50.07 + 50.09 (A & B)
- APPROXIMATE COMPLETION TIME IS SPRING 2015.
- MATER AND SANITARY SEWER SERVICE SHALL BE PROVIDED BY EXTENSION OF THE EXISTING CHARLOTTE-MECKLENBURG UTILITY SYSTEM.
- SIDEWALK NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE SUBDIVISION INSPECTOR FOR LATEST REVISION OF HANDICAP RAMP DETAIL(S) PRIOR TO PLACEMENT OF ANY H/C RAMPS AND/OR SIDEWALK.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, JUNK AND OTHER ACCUMULATIONS.
- DRAINAGE EASEMENTS INDICATED AS SDE (STORM DRAINAGE EASEMENT) ARE EASEMENTS WHICH ARE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM# 50.05 (1" SIGNS ONLY).
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH THE CITY INSPECTOR.
- NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE) DEPARTMENT OF TRANSPORTATION/ NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- "AS-BUILT" DRAINAGE AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/ COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/ COUNTY SUBDIVISION ORDINANCE.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- IN ROLLING AND HILLY TERRAINS, SHEEPING OF THE STONE BASE AND/OR APPLICATION OF JACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- SITE BENCHMARK FOR PROJECT IS THE RM OF AN EXISTING SAN. SWR. MH IN BRANDIE GLEN RD. ELEV. = 827.36 (NAD 1983)
- THE CITY OF CHARLOTTE WILL NEITHER BE RESPONSIBLE FOR THE GROUNDS WITHIN THE PERMANENT STORM DRAINAGE EASEMENT NOR REMOVAL OF ANY OBSTRUCTIONS IN THAT AREA.
- COMMON OPEN SPACE TO BE CONVEYED TO THE HOMEOWNERS ASSOCIATION IN ACCORDANCE WITH THE CHARLOTTE ZONING ORD. 8.2.09
- PE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORD. GUIDELINES STD.
- TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY STAFF.
- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCT. MATLS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREA.
- VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
- NO DEMOLITION LANDFILLS WILL BE LOCATED ON THIS SITE.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (604-336-1066), 530-1066 TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-40 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COSTS AND/OR ANY REPAIR COSTS CAUSED BY THE CONTRACTOR/DEVELOPER.
- COMMON OPEN SPACE/ TREESAVE AREA TO REMAIN IN A NATURAL STATE. AREAS TO BE CLEARED OF TRASH AND DEBRIS.
- THE PURPOSE OF THE STORM DRAINAGE ESMT. (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPERE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- SIGHT TRIANGLES SHOWN ARE MINIMUM REQUIRED.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- PRIOR TO FLAT RECONSTRUCTION OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESSES". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 14 DAYS PROCESSING FOR PERMITS. FOR INFORMATION CONTACT CDOT (704-336-4025) OR VISIT <http://www.charmtrb.com/gis/portal/charmtrb/charmtrb/charmtrb/charmtrb.htm>
- PER SECTION 10-115 (E) OF THE CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REGD NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (C/S) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- TREESAVE AREA MUST HAVE INVASIVE PLANTS INCLUDING ENGLISH IVY REMOVED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY BEING ISSUED. ANY GAPS IN THE EXISTING TREESAVE AREA WILL BE PLANTED WITH 2" CALIPER LARGE MATURING TREES FROM THE APPROVED SPECIES LIST. COORDINATE WITH URBAN FORESTRY SPECIALIST.
- DIRECT VEHICULAR ACCESS TO GIBSON ROAD FROM ANY LOT IS PROHIBITED.

TREE REQUIREMENTS

FRONTAGE LF (2 SIDES)	LG TREES	SM TREES	STREET NAME
650	20	0	TWIN BROOK DRIVE
650	13	0	TOMISIE EFFORD LN
1050	23	0	Nathan Drive
450	20	0	FITZERS DRIVE
500	11	0	GIBBONS LINK ROAD
4000	81	0	TOTAL

SEE DEVELOPMENT DATA FOR BREAKDOWN

ROAD FRONTAGE: 4000 LF  
STREET TREES REQUIRED: 4000 / 50 = 80 (LARGE MATURING)  
STREET TREES PROPOSED: 81 LARGE, 0 SMALL  
\* USE EXISTING TREES THAT QUALIFY, WHERE ALLOWED  
(1) LARGE MATURING TREES SHALL BE FROM APPROVED URBAN FORESTRY SPECIES LIST.  
DIFFERENT SPECIES OF TREES SHALL BE USED ON DIFFERENT STREET  
NO HERITAGE TREES EXIST ON THIS PROPERTY

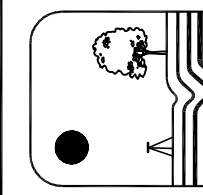


VICINITY MAP

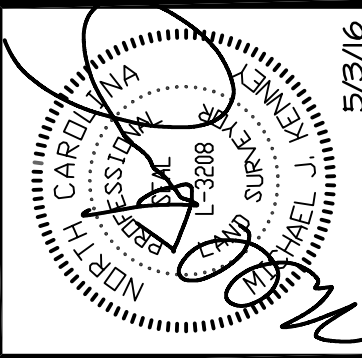
KENNEY DESIGN  
GROUP, PA

C-1966

1216 PARSONS TRAIL  
DENVER, NORTH CAROLINA 28037  
PH: 704/377-6099  
EMAIL: KENNEY@KENNEYDESIGN.COM



Revisions:  
1. 04/20/15: REVISED PER CDOT AND CDOT REVIEW  
2. 04/20/15: REVISED PER CDOT AND CDOT REVIEW  
3. 04/20/15: REVISED PER CDOT AND CDOT REVIEW  
4. 04/20/15: REVISED PER CDOT AND CDOT REVIEW  
5. 04/20/15: REVISED PER CDOT AND CDOT REVIEW  
6. 04/20/15: REVISED PER CDOT AND CDOT REVIEW



Scale: 1"=80'  
Date: 11/15/14  
Drawn By: MK  
Designed By: MK  
Job No.: 0612

Cover SHEET  
**Gibbon Woods**  
City of Charlotte, Mecklenburg County, North Carolina  
Orisa Holdings, LLC, 608 Briar Patch Ter., Waxhaw, NC 28173

Sheet No.

1

of 14

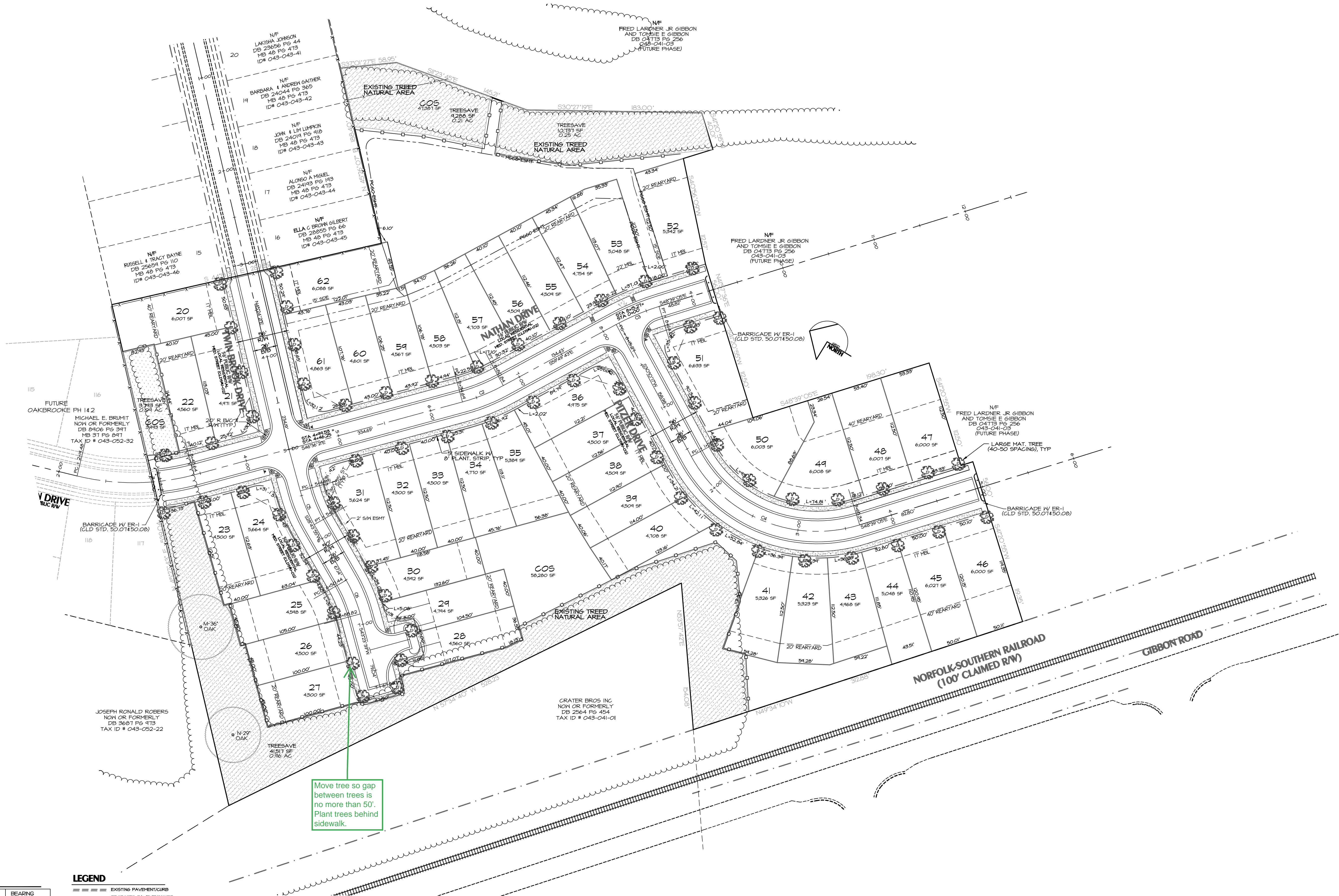
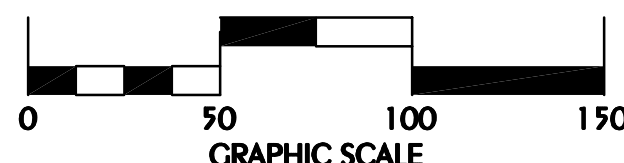






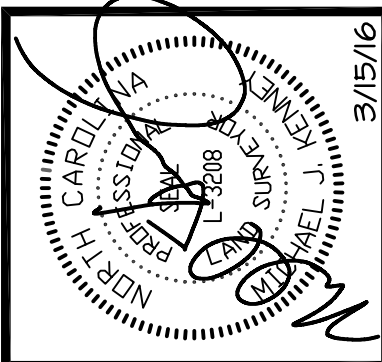
CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	BEARING
C1	125.85	250.00	124.52	S37°10'06"E
C2	46.06	200.00	46.02	S33°13'02"E
C3	48.77	250.00	48.69	N54°14'24"W
C4	206.36	150.00	190.47	S09°14'24"E
C5	38.39	150.00	38.28	S36°03'47"W
C6	38.39	150.00	38.28	N36°03'47"E
C7	21.22	500.00	21.22	S29°54'40"E
C8	111.87	150.00	109.30	S52°26'36"E
C9	234.68	150.00	216	S3°46'58"W
C10	50.89	150.00	50.64	S48°55'19"W

LEGEND	
	EXISTING PAVEMENT/CURB
	PROPOSED PAVEMENT/CURB
	ADJOINING PROPERTY LINES
	EXISTING BUILDINGS
	PROPOSED 5' SIDEWALK
	TREE PROTECTION FENCE
	PROPOSED TREE SAVE AREA
	UNDISTURBED NATURAL AREA PER POGO
	STOP SIGN (R-1)

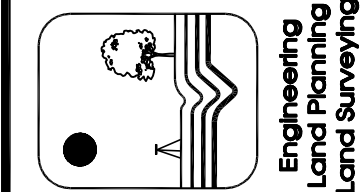


Preliminary Subdivision Site/Landscape Plan  
**Gibbon Woods**  
City of Charlotte, Mecklenburg County, North Carolina  
Orisa Holdings, LLC, 608 Briar Patch Ter., Waxhaw, NC 28173

Scale:	1"=50'
Date:	11/5/14
Drawn By:	MK
Designed By:	MK
Job No.:	0612



PARSONS:  
1. 2/24/05 REVISED PER CIRC, CED AND CDDT REVIEW  
2. 4/20/06 REVISED PER CED AND CDDT REVIEW  
3. 5/15/06 REVISED PER CDDT REVIEW  
4. 5/15/06 REVISED PER CDDT REVIEW  
5. 5/15/06 REVISED PER CDDT REVIEW  
6. 5/15/06 REVISED PER CDDT REVIEW



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