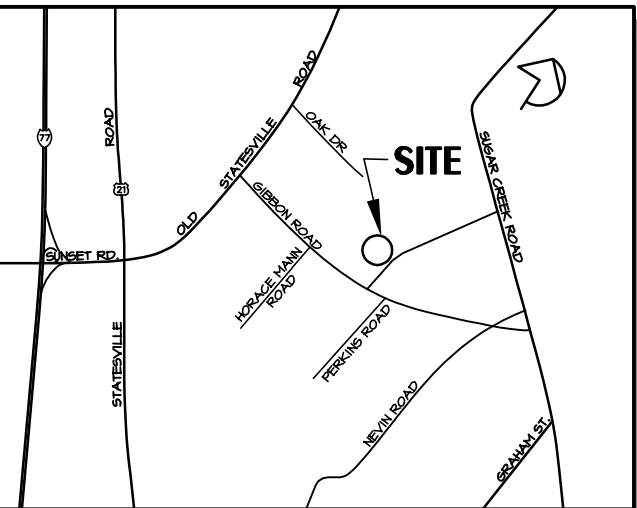


Sheet No.	Sheet Title
1	Cover Sheet
2	Preliminary Subdivision Site/Landscape Plan
3	Preliminary Subdivision Site/Landscape Plan
4	Storm Drainage and Grading Plan
5	Storm Drainage and Grading Plan
6	Erosion Control Plan (Pre)
7	Erosion Control Plan (Pre)
8	Erosion Control Plan (Post)
9	Erosion Control Plan (Post)
10	Roadway & Storm Drainage Profiles
11	Roadway & Storm Drainage Profiles
12	Site Construction Details
13	Drainage Area Map
14	BMP Plan and Details



**THIS IS A COVER SHEET
SEE SITE PLANS FOR
MORE SPECIFIC DETAIL**

ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

APPROVED
By mchapman at 11:14 am, Mar 08, 2016

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM AT <http://development.charmeck.org>

CDOT

NOTE: THIS PLAN APPROVAL DOES NOT INCLUDE COMMERCIAL ZONING. ALL BUILDING PERMITS AND ZONING APPROVALS CAN BE OBTAINED AT MECKLENBURG COUNTY CODE ENFORCEMENT. PLEASE CALL CTAC AT 704-336-3829 FOR MORE INFORMATION.

REVISION

APPROVED FOR
CONSTRUCTION

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

BY: Joshua Weaver 3-16-2016

THIS PRELIMINARY SUBDIVISION PLAN IS SUBMITTED, AND SHALL BE CONSTRUCTED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CHARLOTTE ZONING AND SUBDIVISION ORDINANCES, AND THE GEOTECHNICAL DEVELOPMENT STANDARDS MANUAL.

2. BOUNDARY SURVEY INFORMATION PER SURVEY PREPARED BY PHOENIX LAND SURVEYING.

3. TOPOGRAPHIC INFORMATION TAKEN FROM PHOTOGRAMMETRIC MAPPING BY CITY OF CHARLOTTE AND FIELD SHOTS BY PHOENIX LAND SURVEYING.

4. CHIEF SUBDIVISION INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

5. LOT DIMENSIONS ARE APPROXIMATE; REFERENCE RECORD PLAT FOR EXACT LOT DIMENSIONS.

6. ALL STORM DRAINAGE PIPE SHALL BE CLASS 9 REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED. PIPE LENGTHS INDICATED ON THE PLANS SHALL BE IN ACCORDANCE WITH THE CITY OF CHARLOTTE ZONING CONDITIONS.

7. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY AS DEEMED NECESSARY BY THE INSPECTOR.

8. REFERENCE SHEETS 6-4 FOR EROSION CONTROL DETAILS, AND SHEET 7 FOR EROSION CONTROL DETAILS.

9. REFERENCE SHEET 12 FOR EROSION CONTROL DETAILS.

10. CONSTRUCTION OF ALL DEVELOPMENT IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CHARTLOTTE DEVELOPMENT STANDARDS MANUAL AND STANDARDS MANUAL. REFERENCE SHEET 12 FOR SITE DETAILS. THE FOLLOWING ADDITIONAL DETAILS ARE INCLUDED BY REFERENCE:

ITEM	CLINCHING DETAIL NO.
CURB AND GUTTER	10/1
CATCH BASIN TRANSITION	10/18
CATCH BASIN LOCATION	10/21, 10/30
(C) BRICK, CATCH BASIN	04/021 = 04/022
(C/D) DOUBLE CATCH BASIN	20/03 = 20/04
STREET NAME SIGN	20/03
CONCRETE MONUMENT	50/03
SIDEWALK	10/22
BARBICADE	50/07 & 50/08 (A & B)

10. APPROXIMATE COMPLETION TIME IS 55 SPRING 2015.

11. WATER AND SANITARY SEWER SERVICE SHALL BE PROVIDED BY EXTENSION OF THE EXISTING CHARLOTTE-MECKLENBURG UTILITY SYSTEM.

12. SIDEWALK NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE SUBDIVISION INSPECTOR FOR LATEST REVISION OF HANDICAP PARKING DETAILS) PRIOR TO CONSTRUCTION OF ANY HIC RAMP.

13. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL, IN AN UNOBTURATED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.

14. DRAINAGE EASEMENTS INDICATED AS SDE (STORM DRAINAGE EASEMENT) ARE EASEMENTS WHICH ARE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.

15. DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM 50/05 (4" SIGNS ONLY).

16. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH THE CITY INSPECTOR.

17. NON-STANDARD ITEMS (IE. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.

18. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/ COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/ COUNTY SUBDIVISION ORDINANCES.

19. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.

20. SOLLING AND HILLS TERRAINS, SHEEPING OF THE STONE BASE AND/OR APPLICATION OF TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS MUST BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.

21. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED ADJACENT PROPERTY OWNER.

22. SITE BENCHMARK FOR PROJECT IS THE RAMP OF AN EXISTING SAN. SW. 18 IN BRANDIE GLEN RD., ELEV.: 8273.6 (NVD 1488)

23. THE CITY OF CHARLOTTE WILL NOT BE RESPONSIBLE FOR THE GROUNDS WITHIN THE PERMITTED STORM DRAINAGE EASEMENT NOR FOR ANY OF THE OBSTRUCTIONS IN THAT AREA.

24. COMMON OPEN SPACE TO BE GIVEN TO THE HOWNERS ASSOCIATION IN ACCORDANCE WITH THE CHARLOTTE ZONING ORD. 4.205

25. PE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER FOR REVIEW AND APPROVAL.

26. TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORD. GUIDELINES STD.

27. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY STAFF.

28. NO SOIL, DISTURBANCE OR COMPACTION, CONSTRUCT, MATLS, TRAFFIC, BURIAL PITS, OR OTHER LAND DISTURBANCE SHALL BE ALLOWED IN TREE SAVES.

29. VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.

30. NO DEMOLITION LANDFILLS WILL BE LOCATED ON THIS SITE.

31. THE DEVELOPER SHALL CONTACT THE CITY DEPARTMENT OF TRANSPORTATION (GUS JORD, 336-1086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELOCATION COSTS AND/OR ANY REPAIR COSTS CAUSED BY THE CONTRACTOR/DEVELOPER.

32. COMMON OPEN SPACE / TREES/VEGETATION TO REMAIN IN A NATURAL STATE. AREAS TO BE CLEANED OF TRASH AND DEBRIS.

33. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR. BACKFILL SHALL BE PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR. BACKFILL SHALL BE PLACED TO THE PUBLIC STREET RIGHT-OF-WAY.

34. PRIOR TO PLAT RECORDATION, OFFSITE RAIN AND/OR CONSTRUCTION EASEMENTS REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE RAIN ACQUISITION PROCESS".

35. THE DEVELOPER SHALL RECORD CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.

36. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. THE DEVELOPER SHALL CONTACT THE CITY DEPARTMENT OF TRANSPORTATION (GUS JORD, 336-1086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELOCATION COSTS AND/OR ANY REPAIR COSTS CAUSED BY THE CONTRACTOR/DEVELOPER.

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TAX PARCEL NO.: 043-0142-02P & 039P
 ZONING CLASSIFICATION: R-2 (DEVELOPED) AS R-5 CLUSTER**
 ZONING JURISDICTION: CITY OF CHARLOTTE
 SITE ADDRESS: 1412 AC
 NO. OF UNITS ALLOWED BY ZONING: 14.92 X 4 = 54.1
 AREA IN EASEMENTS/RM1: 0.00 AC
 NET TOTAL SITE AREA: 14.92 AC

 TREE SAVES REQUIRED: 106 X 14.92 AC 1.492 AC
 ADDL LOTS FOR 25% TREE INCENTIVE IN CDS: 3.174 (25.04%) AC X 4 = 14.9 LOTS
 NO. OF UNITS ALLOWED PROPOSED: 54.1 = 14.9 / 14.62
 COMMON OPEN SPACE REQUIRED: 106 X 14.92 AC 1.44 AC
 COMMON OPEN SPACE PROVIDED: 4.98 AC = 33.40%
 LOTS 25-30 AND 31-46
 THE MAXIMUM RUA IS 22.00 SF PER LOT
 LOTS 1-24, 31-36 AND 47-62
 THE MAXIMUM RUA IS 22.00 SF PER LOT
 R-5 CLUSTER LOT DATA**:
 MIN. LOT AREA = 4,500 SF
 MIN. LOT WIDTH = 40'
 MIN. SETBACK = 17'
 MIN. SIDE YARD = 5'
 MIN. REAR YARD + 20' INTERNAL, 40' EXTERNAL
 * 20' TREE SETBACK FROM BACK OF 5/8" OR R/W, WHICHEVER IS GREATER
 ** PER TREE ORDINANCE INCENTIVE
 BUILT-UPON AREA (BUA) MEANS THAT PORTION OF A PROPERTY THAT
 IS SERVED BY INTERVENEING OPEN SPACE OR INTERVENEING SURFACE
 INCLUDING, BUT NOT LIMITED TO, BUILDINGS, PAVEMENT AND GRAVEL
 AREAS SUCH AS ROADS, PARKING LOTS, DRIVEWAYS AND RECREATION
 FACILITIES SUCH AS TENNIS COURTS (ACTIVITY FIELDS) THAT HAVE BEEN
 DESIGNED TO ENHANCE DISPERSEMENT OF RUNOFF, SUCH AS CORRELATION
 AND/OR CONSTRUCTION OR INSTALLATION OF SOFTED CURBS AND UNDERGROUND
 CONSIDERED BUILT-UPON AREA. BUILT-UPON AREA DOES NOT INCLUDE
 UNIMPAVED UNUTILIZED DEEDS OR UNIMPAVED AREA OF A BUILDING FOOT

SINGLE FAMILY LOT SIZE (SF)	MAX. BLDG COVERAGE
UP TO 4,000	50%
4,001 - 6,500	45%
6,501 - 8,500	40%
8,501 - 15,000	35%
15,001 OR GREATER	30%



**KENNEY DESIGN
GROUP, PA**

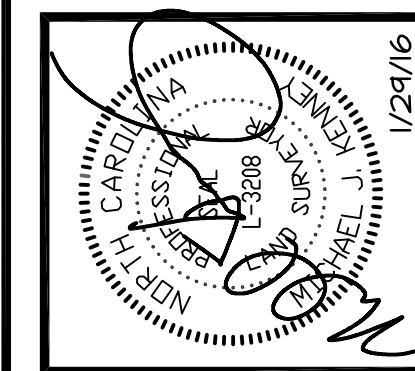
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**1216 PARSONS TRAIL
DENVER, NORTH CAROLINA 28037
TEL: 704/377-6099
EMAIL: KENNEY@KENNEYDESIGN.COM**

**Engineering
Land Planning
Land Surveying**

Revisions:

1. 2/24/15 REVISED PER CHFC, CED AND CDOT REVIEW
2. 4/21/15 REVISED PER CED AND CDOT REVIEW
3. 4/23/15 CHANGED FRED GIBSON LN TO NATHAN DR
4. 1/29/16 REVISED CALCULATIONS FOR BUA TO ALLOW 2,000 SF



Scale:	1"=80'
Date:	11/15/14
Drawn By:	MJK
Designed By:	MJK
Job No.:	0612

COVER SHEET

Gibbon Woods

CITY OF CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA
ORISA HOLDINGS, LLC, 608 BRIAR PATCH TER., WAXHAW, NC 28173

Sheet No. **14** of