

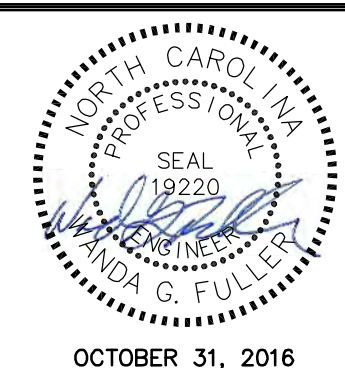
A vicinity map showing the site location relative to surrounding streets. The map is enclosed in a rectangular border. The streets shown are PARKWOOD AVE (top left), THE PLAZA (top and left), MECKLENBURG AVE (top and middle), and CENTRAL AVE (bottom). A crosshair marks the 'SITE' location, which is situated between MECKLENBURG AVE and CENTRAL AVE, and between THE PLAZA and PARKWOOD AVE. A north arrow is located in the bottom right corner, pointing upwards and slightly to the right, with the letter 'N' at its base. Below the map, the text 'VICINITY MAP' and 'NOT TO SCALE' is written in a large, stylized font.

**FULLER CONSULTING SERVICES**

3655 Winding Tr.  
Matthews, NC 28105  
(704) 845-2869  
cell (704) 602-4520  
Firm License # 719196  
wanda@fullerconsult.com

Civil Engineering  
Site Design  
Stormwater  
Management  
Coordination  
Permitting  
Contract Work

*Wanda G. Fuller, PE*



**CLASSICA**  
HOMES DESIGNED FOR LIVING

PRELIMINARY SUBDIVISION PLAN  
CEDAR VILLAGE  
2245 MECKLENBURG AVENUE  
CHARLOTTE, MECKLENBURG CO., NC  
COVER SHEET

REVISIONS		
NO.	DATE	
-		
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-		
△		
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△		
△	10/31/16	REVISION TO APPROVED PLAN

	DRAWN BY: WGF	
	CHECKED BY: WGF	
	APPROVED BY: WGF	
	JOB NO. MECK. AVE.	
	DATE: APRIL 18, 2016	

SHEET NO.

C-1.0 OF 21

REVISION

APPROVED FOR  
CONSTRUCTION

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

By: Joshua Weaver 12-8-2016



**FINAL  
APPROVAL**

## ENGINEERING

# EROSION CONTROL

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## URBAN FORESTRY

TREE ORDINANCE

CDOT

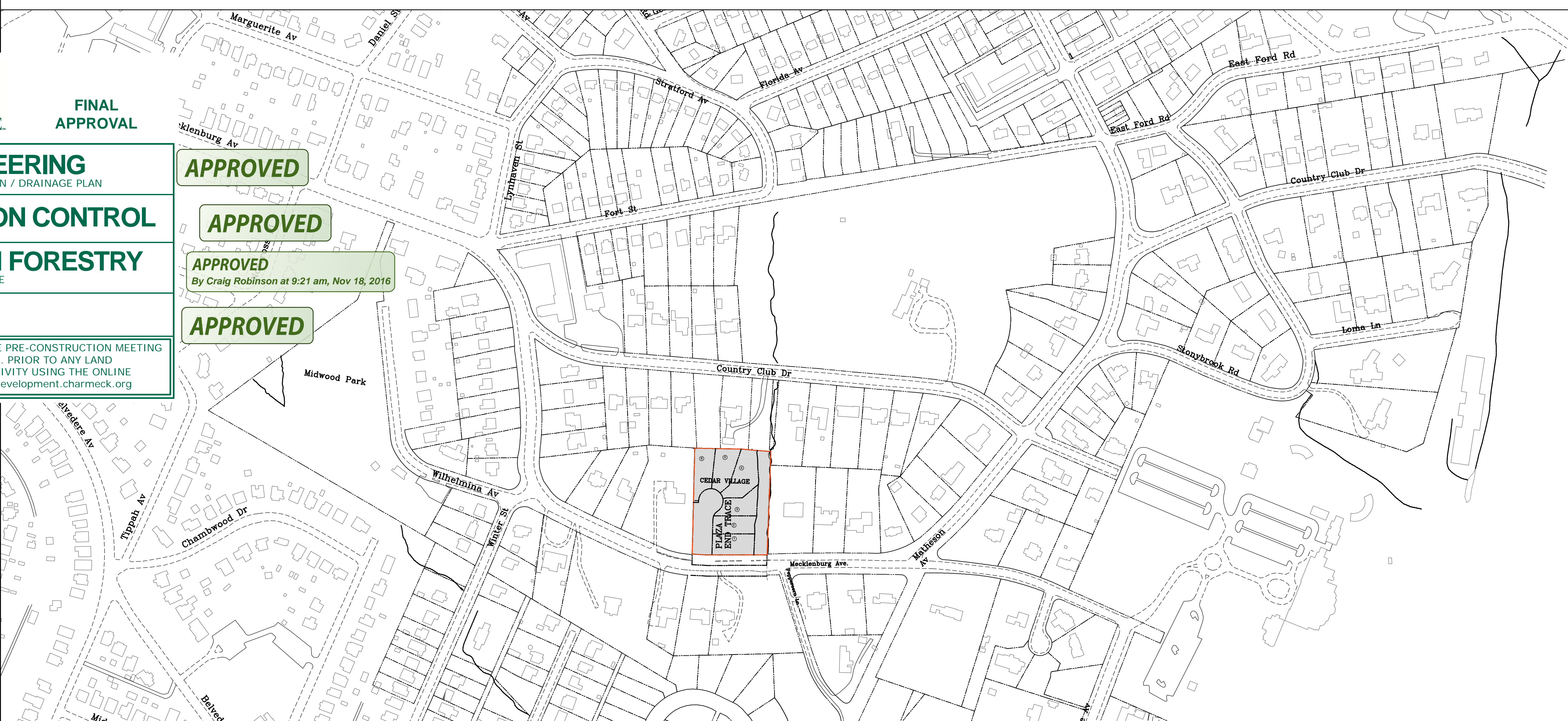
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

**APPROVED**

**APPROVED**

**APPROVED**  
By Craig Robinson at 9:21 am, Nov 18, 2016

**APPROVED**



**INDEX OF SUBDIVISION PLANS: (20 SHEETS)**

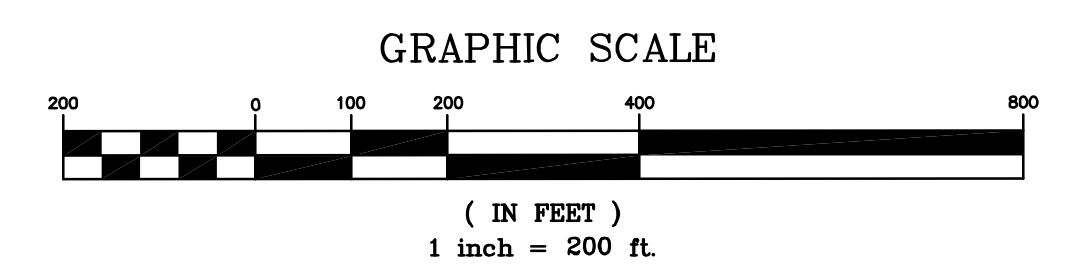
C-1.0	COVER SHEET
C-1.1	DEMOLITION AND EX. IMPERVIOUS AREA PLAN
C-1.2	SUBDIVISION PLAN
C-1.3	SUBDIVISION SITE PLAN AND PR. MAXIMUM IMPERVIOUS AREA
C-1.4	LANDSCAPE PLAN
C-1.5	UTILITY SERVICE PLAN
C-1.6	CEDAR VILLAGE CT. PLAN / PROFILE
C-1.7	MECKLENBURG AVE. SIGHT DISTANCE PLAN /PROFILE
C-2.0	GRADE PLAN
C-2.1	EROSION CONTROL PLAN - PHASE 1
C-2.2	EROSION CONTROL PLAN - PHASE 2
C-3.0	SITE DETAILS
C-3.1	SITE AND LANDSCAPE DETAILS
C-3.2	STORM DRAINAGE AND EROSION CONTROL DETAILS
C-3.3	EROSION CONTROL DETAILS
C-4.0	100 + 1 DRAINAGE AREA MAP
C-4.1	100 + 1 CROSS SECTIONS
DR-1	EXISTING DRAINAGE AREA MAP
DR-2	PROPOSED STORM DRAINAGE AREA MAP
DR-3	PROPOSED TRAIL DRAINAGE AREA MAP
SURV	EX. BOUNDARY AND TOPOGRAPHIC SURVEY WITH CROSS SECTIONS.

CHARLOTTE MECKLENBURG WATER (4 SHEETS)  
COVER SHEET  
WATER AND SEWER PLAN SHEET  
SEWER PLAN AND PROFILE  
WATER AND SEWER DETAILS

PCCO SUMMARY		
Original Parcel ID Number(s):	# 09504409	
Development Type:	Single-Family	
Subject to PCCO? Y/N	Y	
# NO, why?	-- Click for Dropdown --	
Watershed	Central Catawba	
Disturbed Area (ac):	1.62 AC	
Site Area (ac):	2.03 AC	
	DA#1	DA#2
Total on-site Drainage Area (ac):	1.34	
Existing Built-upon-area (SF):	14,707	
Existing BUA to be removed (SF):	14,707	
Existing BUA to remain (SF) (Providing 85% TSS):	0	
Proposed New BUA (SF):	41,758	
Proposed % BUA:	47.23%	
Density (High / Low)	High	
Total Post-Project BUA for site:	41,758	
Development or Redevelopment?	Development	
Natural Area Required (ac):	0.2	
Natural Area provided, total (ac):	0.28	
Undisturbed Treed Natural Area Preserved (ac):	0.28	
Total stream buffer protected on-site (ac):	0.28	
Transit Station Area? Y/N	NO	
Distressed Business District? Y/N	YES	
Mitigation Type (if applicable)	Payment in-lieu	
Natural Area mitigation? Y/N	NO	
Buffer Mitigation? Y/N	NO	
Total Phosphorous Mitigation? Y/N	NO	

## ZONING CODE SUMMARY

PROJECT NAME:           CEDAR VILLAGE SUBDIVISION           PARCEL # :           09504409            
CLIENT:           CLASSICA HOMES - RICK JASINSKI           PHONE #           704-940-3918            
PLANS PREPARED BY:           FULLER CONSULTING SERVICES           PHONE:           704-622-6520           or           704-845-2860            
ZONING:           R-3           JURISDICTION:           CITY OF CHARLOTTE            
PROPOSED USE:           RESIDENTIAL CLUSTER SUBDIVISION            
BUILDING HEIGHT:           MAX. 40'           Feet STORIES:           1 - 3            
LOT SIZE:           2.03 AC.           Sq. Ft./AcreS NUMBER OF UNITS/SUITES:           6 LOTS          



Know what's **below**.  
**Call** before you dig.

**OWNER / DEVELOPER:**  
**RICK JASINSKI**  
**V.P. LAND ACQUISITION & DEVELOPMENT**  
***Classica Homes***  
 2215 AYSRLEY TOWN BLVD., SUITE G  
 CHARLOTTE, NC 28273  
 (w) 704-940-3918  
 (m) 704-201-8976  
[rjasinski@classicahomes.com](mailto:rjasinski@classicahomes.com)

## PERMIT STATUS

DATE	SUBMITTED TO	SUBMITTED FOR	APPROVED	PROJECT/PERMIT NO.
2/15/16	Charlotte Planning	SKETCH PLAN	COMMENTS	SDSKSF-2016-0002
4/22/16	Accela-Subdivision	Preliminary Subdivision	1st Submit	SDRSF-2016-00031
05/27/16	Accela-Subd.	Preliminary Subd.	REC'D	1st Review Comments
06/22/16	Accela-Subd.	Preliminary Subd.	Resubmit	2nd Resubmittal
08/03/16	Accela-Subd.	Preliminary Subd.	Resubmit	3rd Resubmittal
08/30/16	Accela-Subd.	Preliminary Subd.	Approved	09-26-16

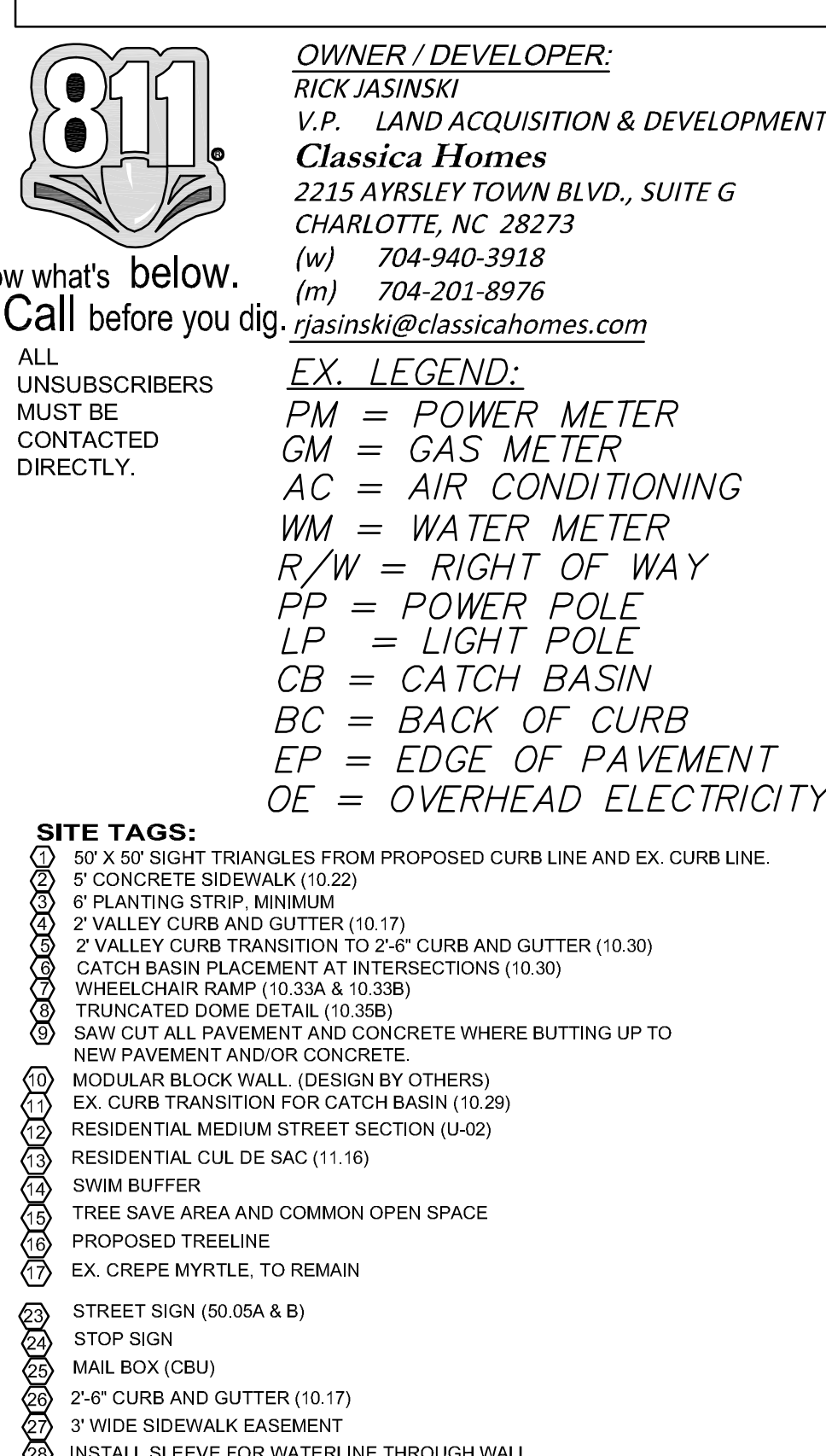
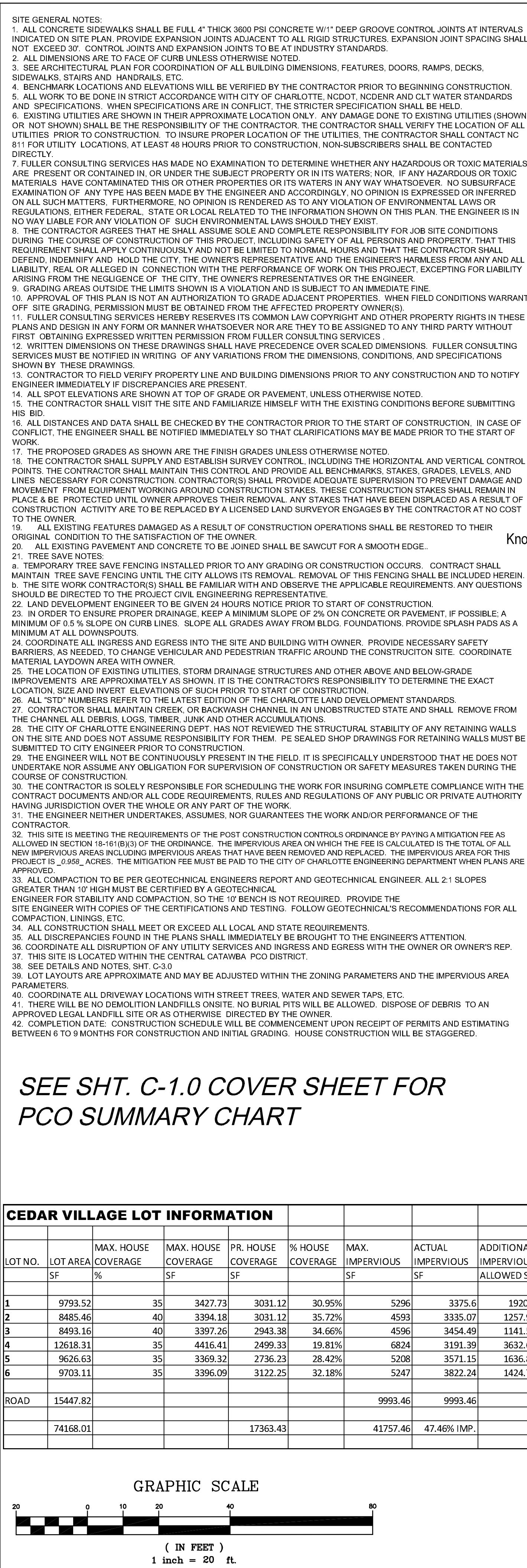
08/30/16	Accela-Su
<b><u>REVISION TO APPROVED PLAN</u></b>	

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