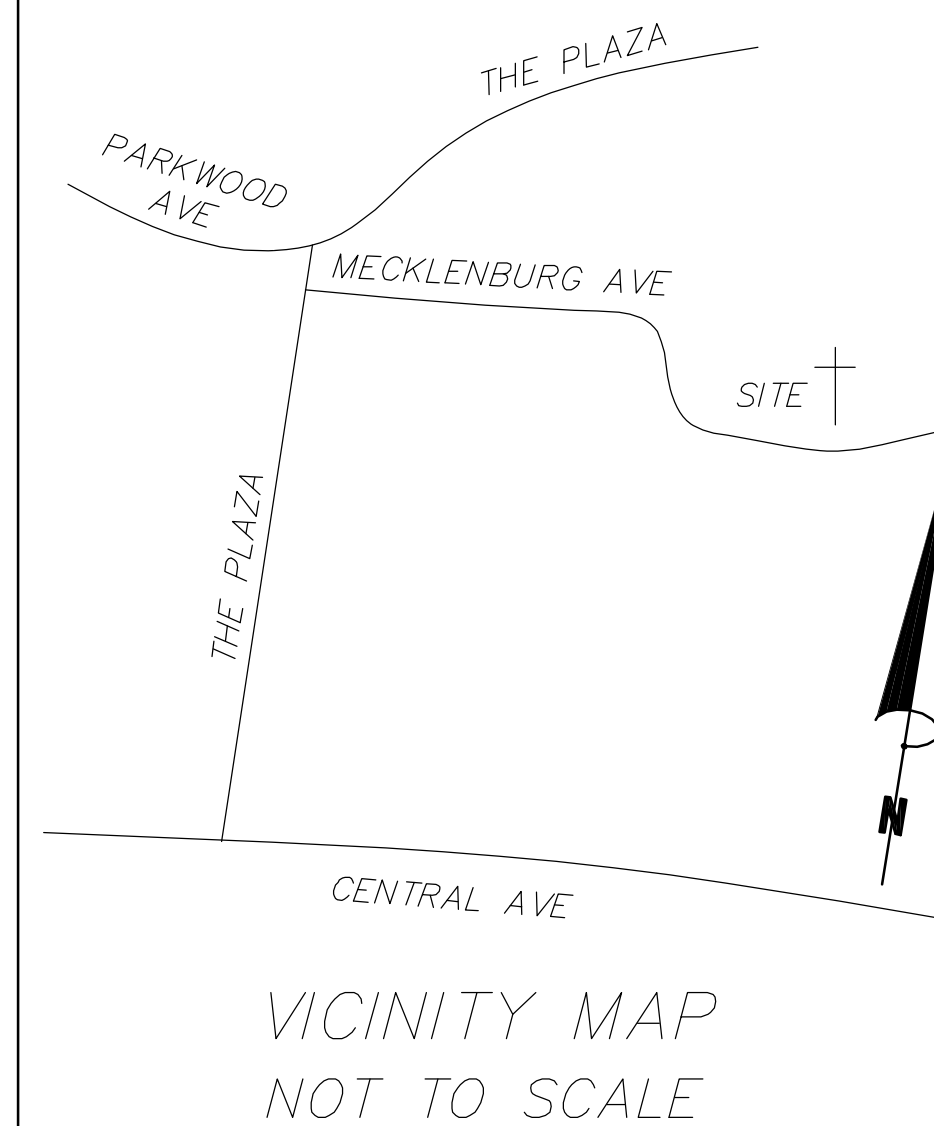


APPROVED FOR
CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 9-26-2016



**FULLER CONSULTING
SERVICES**



Wanda G. Fuller, PE
gmail.



PRELIMINARY SUBDIVISION PLAN
CEDAR VILLAGE
2245 MECKLENBURG AVENUE
CHARLOTTE, MECKLENBURG CO., NC

COVER SHEET



**FINAL
APPROVAL**

ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY

TREE ORDINANCE

CDOT

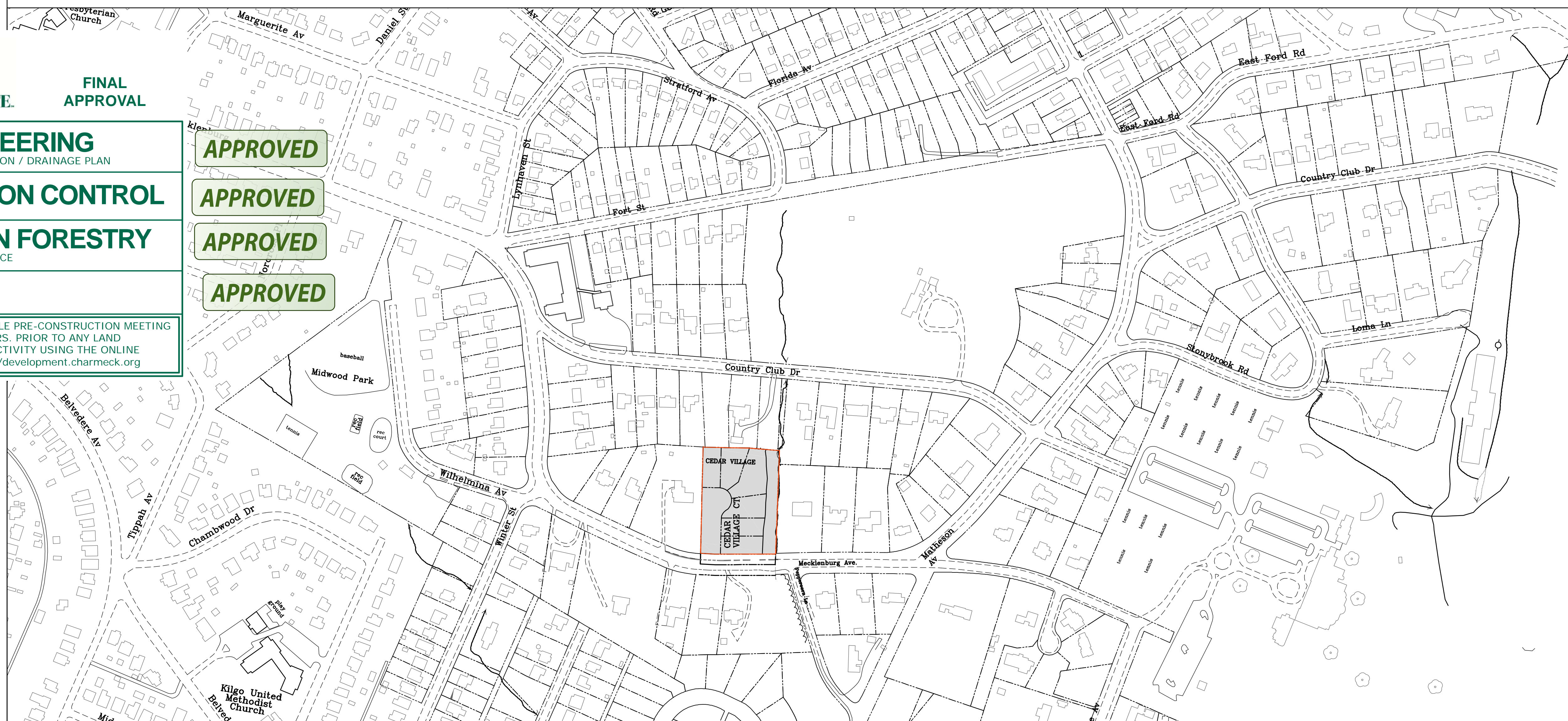
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM AT <http://development.charmeck.org>

APPROVED

APPROVED

APPROVED

APPROVED



INDEX OF SUBDIVISION PLANS: (20 SHEETS)

C-1.0	COVER SHEET
C-1.1	DEMOLITION AND EX. IMPERVIOUS AREA PLAN
C-1.2	SUBDIVISION PLAN
C-1.3	SUBDIVISION SITE PLAN AND PR. MAXIMUM IMPERVIOUS AREA
C-1.4	LANDSCAPE PLAN
C-1.5	UTILITY SERVICE PLAN
C-1.6	CEDAR VILLAGE CT. PLAN / PROFILE
C-1.7	MECKLENBURG AVE. SIGHT DISTANCE PLAN / PROFILE
C-2.0	GRADING PLAN
C-2.1	EROSION CONTROL PLAN - PHASE 1
C-2.2	EROSION CONTROL PLAN - PHASE 2
C-3.0	SITE DETAILS
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SURV	EX. BOUNDARY AND TOPOGRAPHIC SURVEY WITH CROSS SECTIONS

CHARLOTTE MECKLENBURG WATER (4 SHEETS)

COVER SHEET
WATER AND SEWER PLAN SHEET
SEWER PLAN AND PROFILE
WATER AND SEWER DETAILS

PCCO SUMMARY			
Original Parcel ID Number(s):	# 09504409		
Development Type	Single-Family		
Subject to PCCO? Y/N	Y		
if NO, why?	-- Click for Dropdown --		
Watershed?	Central Catawba		
Disturbed Area (ac)	1.62 AC		
Site Area (ac)	2.03 AC.		
	D#1	D#2	
Total on-site Drainage Area (ac):	1.34		
Existing Built-upon-area (SF):	14,707		
Existing BUA to be removed (SF):	14,707		
Existing BUA to remain (SF) (Providing 65% TSS @ 0.05)	14,707		
Proposed New BUA (SF):	41,758		
Proposed % BUA:	47.23%		
Density (High / Low)	High / 58		
Total Post-Project BUA for site	41,758		
Development or Redevelopment?	Development		
Natural Area Required (ac):	0.2		
Natural Area provided, total (ac):	0.28		
Undisturbed Treed Natural Area Preserved (ac):	0.28		
Total stream buffer protected on-site (ac):	0.28		
Transit Station Area? Y/N	NO		
Distressed Business District? Y/N	YES		
Mitigation Type (if applicable)	Payment in-lieu		
Natural Area mitigation? Y/N	NO		
Buffer Mitigation? Y/N	NO		
Total Phosphorous Mitigation? Y/N	NO		

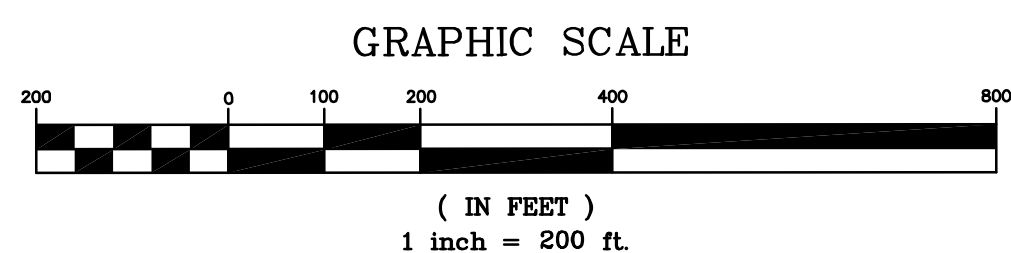
REVISONS		
NO.	DATE	
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△		
②	08/03/16	REVPER 2ND REVIEW COMMENTS
①	06/17/16	REVPER 1ST REVIEW COMMENTS
DRAWN BY: WGF		
CHECKED BY: WGF		
APPROVED BY: WGF		
JOB NO. MECK. AVE.		
DATE: APRIL 18, 2016		

PERMIT STATUS				
DATE	SUBMITTED TO	SUBMITTED FOR	APPROVED	PROJECT/PERMIT NO.
2/15/16	Charlotte Planning	SKETCH PLAN	COMMENTS	SDSKSF-2016-0002
4/22/16	Accela-Subdivision	Preliminary Subdivision	1st Submit	SDRSF-2016-00031
05/27/16	Accela-Subd.	Preliminary Subd.	RECD	1st Review Comments
06/22/16	Accela-Subd.	Preliminary Subd.	Resubmit	2nd Resubmittal
08/03/16	Accela-Subd.	Preliminary Subd.	Resubmit	3rd Resubmittal
-	-	-	-	-
-	-	-	-	-

ZONING CODE SUMMARY

PROJECT NAME: CEDAR VILLAGE SUBDIVISION PARCEL #: 09504409
CLIENT: RED CEDAR CO. - STEVEN STAWICK PHONE # 704-560-2052
PLANS PREPARED BY: FULLER CONSULTING SERVICES PHONE: 704-622-6520 or 704-845-2860
ZONING: R-3 JURISDICTION: CITY OF CHARLOTTE
PROPOSED USE: RESIDENTIAL CLUSTER SUBDIVISION
BUILDING HEIGHT: MAX. 40' Feet STORIES: 1 - 3
LOT SIZE: 2.03 AC. Sq. Ft./Acres NUMBER OF UNITS/SUITES: 6 LOTS

LOT SIZE: 2.03 AC. Sq. Ft./Acres NUMBER OF UNITS/SUITES: 6 LOTS



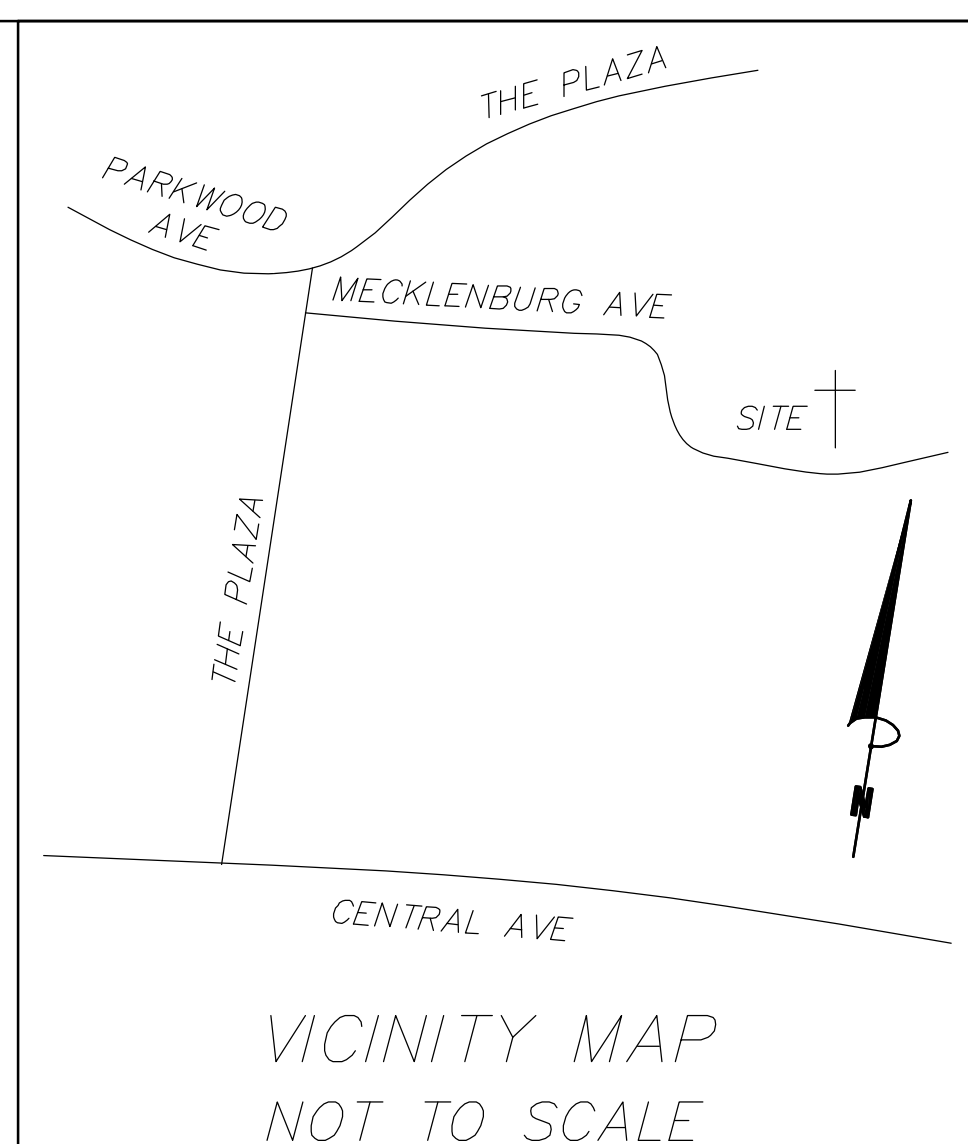
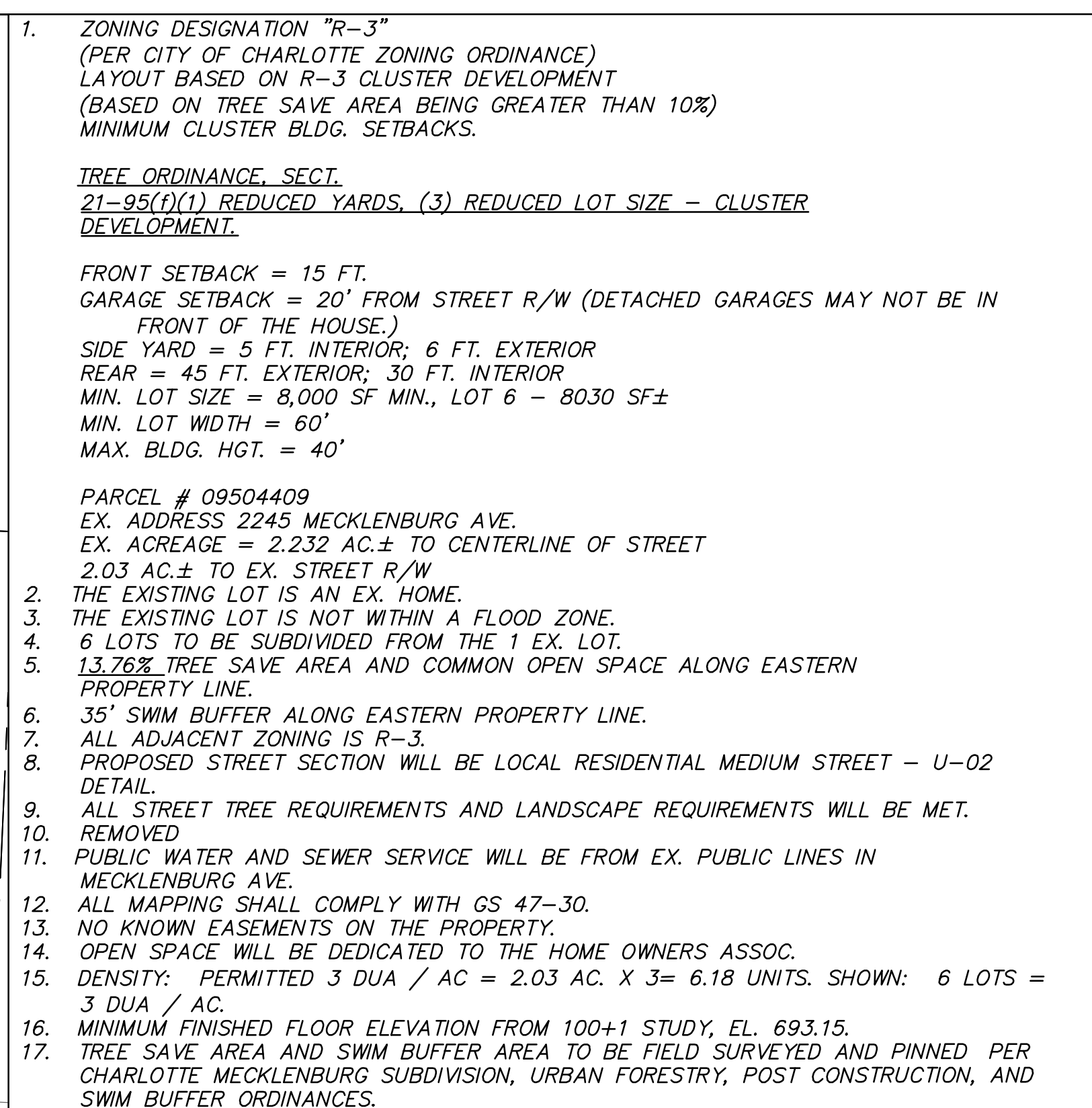
Know what's below. **Call** before you dig.

ALL
UNSUBSCRIBERS
MUST BE
CONTACTED
DIRECTLY.

OWNER:
William Harry Jr. & Rose Marie Shaia
2245 Mecklenburg Ave.
Charlotte, NC 28205

DEVELOPER:
RED CEDAR CO.
2020 South Tryon St., Suite 2A
Charlotte, NC 28203
Mr. Steven Stawick
Phone: 704-560-2052
Email: steve@redcedarco.com

C-1.0 OF 21



The diagram illustrates a standard cul-de-sac layout. Key features include a 2' valley gutter (typical) on the left, a 58' right-of-way (R/W) at the entrance, a 30' radius curve, a 41' R/W at the end of the curve, a 3' pavement width, a 30' R/W at the end of the curve, a 2' valley gutter (typical) on the right, a 3' accessible ramp (typical), a planting strip (typical), a sidewalk easement (S.W.A.), and a concrete sidewalk (typical). The diagram is labeled 'STANDARD CUL-DE-SAC' at the bottom.

NOTES:

1. ALTERNATIVE CUL-DE-SAC DESIGNS, INCLUDING ISLANDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND CDOT FOR REVIEW AND APPROVAL.
2. THE CROWN FOR PAVEMENT SHALL BE 1/4" PER FT FROM THE CENTER OF THE CUL-DE-SAC.
3. REFER TO NCDOT STANDARDS FOR DITCH TYPE STREETS IN ETJ.
4. SIDEWALK MAY BE REQUIRED TO EXTEND AROUND CUL-DE-SAC BULB WHERE PARKS OR SCHOOLS HAVE FRONTAGE TO THE END OF THE CUL-DE-SAC.

NOTE: THIS DETAIL IS NOT FOR USE IN ETJ, OR ON NCDOT-MAINTAINED STREETS. REFER TO NCDOT SUBDIVISION ROADS MINIMUM CONSTRUCTION STANDARDS MANUAL.

SECTION A-A

APPLICABLE WHEN NO SIDEWALK PRESENT.
PLEASE NOTE: DRIVEWAY STANDARD.
MAX. SLOPES AND BREAKERS APPLY

RIGHT-OF-WAY LINE

MAIL CBU

58' R/W

30' R

3' PAVEMENT

41' R/W

30' R/W

2' VALLEY GUTTER (TYP.)

2' VALLEY GUTTER (TYP.)

30' R

3' ACCESSIBLE RAMP (TYP.)

PLANTING STRIP (TYP.)

SIDEWALK ESMT.

CONC. SIDEWALK (TYP.)

STANDARD CUL-DE-SAC

Q

R/W

4.5'

3.5'

4%

2:1 CUT MAX

3:1 FILL MAX

SECTION A-A

APPLICABLE WHEN NO SIDEWALK PRESENT.

PLEASE NOTE: DRIVEWAY STANDARD.

MAX. SLOPES AND BREAKERS APPLY

CITY OF CHARLOTTE

LAND DEVELOPMENT STANDARDS

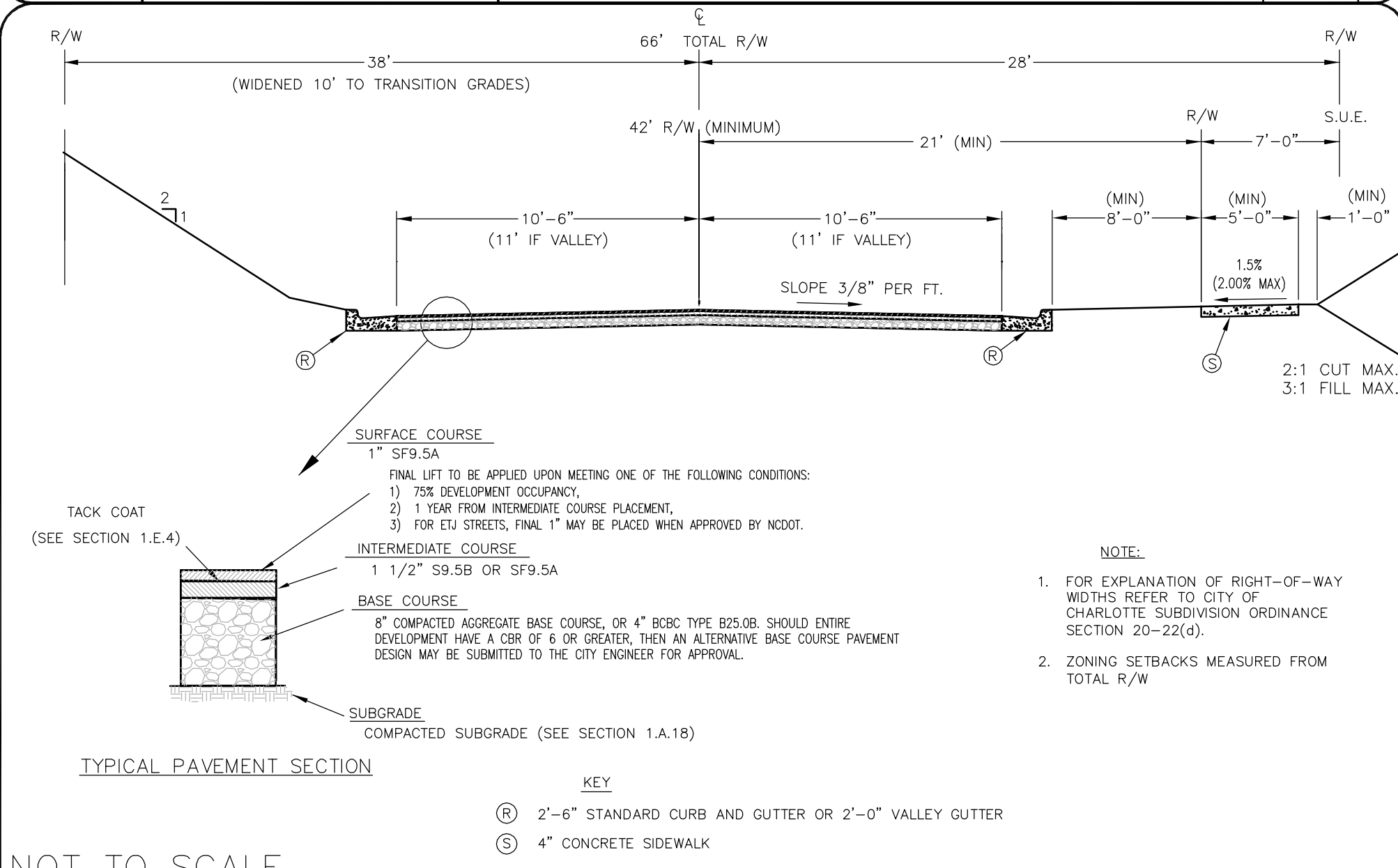
CITY OF CHARLOTTE RESIDENTIAL

CUL-DE-SAC DETAIL

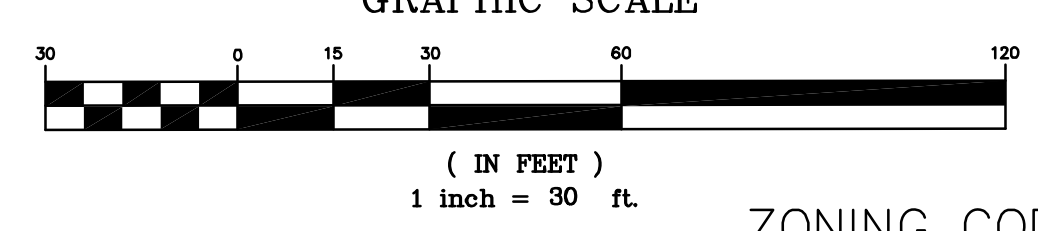
NOT TO SCALE

STD. NO. 13

REV. 1



CURVE TABLE				
CURVE	RADIUS	LENGTH	BEARING	CHORD
	468.79	49.00	S83°31'47"W	48.98



1 inch = 30 ft.

ZONING CODE SUMMARY

PROJECT NAME: CEDAR VILLAGE

CLIENT: RED CEDAR CO. - Steven STAWICK PHONE # 704-560-2052

PLANS PREPARED BY: FULLER CONSULTING SERVICES PHONE: 704-622-6520 or 704-845-286

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PROPOSED USE: RESIDENTIAL CLUSTER SUBDIVISION

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OWNER:
William Harry Jr. & Rose Marie Shaia
2245 Mecklenburg Ave.
Charlotte, NC 28205

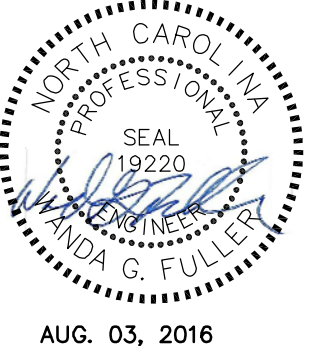
DEVELOPER:
RED CEDAR CO.
 2020 South Tryon St., Suite 2A
 Charlotte, NC 28203
 Mr. Steven Stawick
 Phone: 704-560-2052
 Email: steve@redcedarco.com

**FULLER CONSULTING
SERVICES**

3055 Windward
Matthews, NC
(704)845
(704)825
cell (704)225
firm License #
windwardg@
gmail.com

Civil Engineering
Site Design
Stormwater
Inspections
Erosion
Promotion
Permitting
Contract Work

Wanda G. Fuller, PE



Red Cedar
CAPITAL PARTNERS

PRELIMINARY SUBDIVISION PLAN
CEDAR VILLAGE
2245 MECKLENBURG AVENUE
CHARLOTTE, MECKLENBURG CO., NC
SUBDIVISION PLAN

REVISIONS		
NO.	DATE	
-		
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2	08/03/16	REV.PER REVIEW COMMENTS
1	06/17/16	REV.PER REVIEW COMMENTS

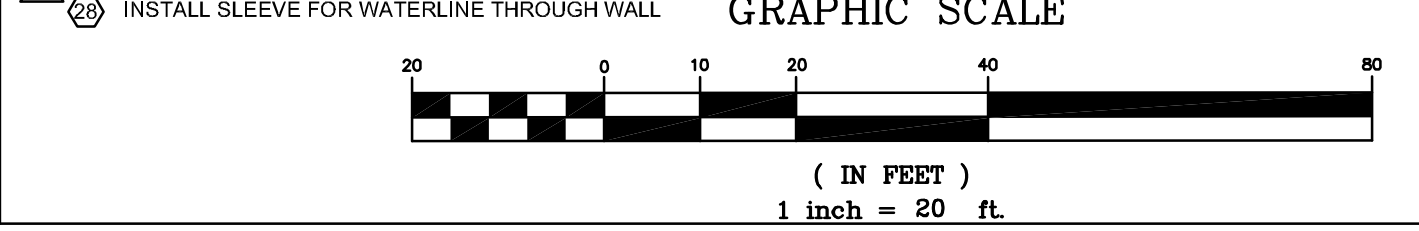
DRAWN BY: WGF
CHECKED BY: WGF
APPROVED BY: WGF
JOB NO. MECK. AVE.
DATE: APRIL 18, 2016

SHEET NO.

C-1.2 OF 21



SITE TAGS:		
1	50' X 50' SIGHT TRIANGLES FROM PROPOSED CURB LINE AND EX. CURB LINE.	
2	5' CONCRETE SIDEWALK (10.22)	
3	6" PLANTING STRIP, MINIMUM	
4	2' VALLEY CURB AND GUTTER (10.17)	
5	2' VALLEY CURB TRANSITION TO 2'-6" CURB AND GUTTER (10.29)	
6	CATCH BASIN PLACEMENT AT INTERSECTIONS (10.30)	
7	WHEELCHAIR RAMP (10.33A & 10.33B)	
8	TRUNCATED DOME DETAIL (10.35B)	
9	SAW CUT ALL PAVEMENT AND CONCRETE WHERE BUTTING UP TO NEW PAVEMENT AND/OR CONCRETE.	
10	30" HIGH MODULAR BLOCK WALL. (DESIGN BY OTHERS)	
11	MONUMENT SIGN, BY OTHERS	
12	RESIDENTIAL MEDIAN STREET SECTION (U-02)	
13	RESIDENTIAL CUL DE SAC (11.16)	
14	SWIM BUFFER	
15	TREE SAVE AREA AND COMMON OPEN SPACE	
16	PROPOSED TREELINE	
17	EX. CREPE MYRTLE, TO REMAIN	
18	DELETED	
19		
20		
21		
22		
23		
24	STREET SIGN (50.05A & B)	
25	STOP SIGN	
26	MAIL BOX (CBU)	
27		
28	2'-6" CURB AND GUTTER (10.17)	
29	3' WIDE SIDEWALK EASEMENT	
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SITE LEGEND	Existing	Proposed
CONTOUR		
TREELINE		
SWIM BUFFER HATCH		
RIGHT OF WAY		
BUILDING		
CONCRETE		
PROPERTY LINE/LOT LINE	_____	_____
RIGHT OF WAY	_____	_____
EDGE OF PAVEMENT (EOP)	_____	_____
CURB AND GUTTER		
SIDEWALK		
GAS	_____	_____
WATER	_____	_____ W _____
SANITARY SEWER	_____	_____
POWER	_____ OH-P _____	_____ P _____
STORM DRAIN LINE	_____	_____ SD _____
CATCH BASIN		CB-1
DROP INLET		DI-1
SEWER MANHOLE		
WATER METER		
SWIM BUFFER HATCH		

PRELIMINARY SUBDIVISION PLAN
CEDAR VILLAGE
2245 MECKLENBURG AVENUE
CHARLOTTE, MECKLENBURG CO., NC
SUBDIVISION SITE PLAN AND
PROP. MAX. IMPERVIOUS AREA