

*Revision

PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By Brent Wilkinson 7/14/16

*Revised ADA access from Abbey Place to the pool courtyard via a ramp rather than a HC lift as originally shown.

DEVELOPER

Spectrum Properties
210 South Tryon Street
Charlotte, NC 28202
(704)358-1000

LANDSCAPE ARCHITECT

LandDesign, Inc.
223 N. Graham Street
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(704)333-0325

CIVIL ENGINEER

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(704)334-1716

SURVEYOR

R.B. Pharr & Associates, P.A.
420 Hawthorne Lane
Charlotte, NC 28204
(704)376-2186

Abbey Place Apartments Multi-Family Development Construction Documents Charlotte, North Carolina									
Sheet Index:		Land Development 1st Submittal	Land Development 2nd Submittal	GMP Package	Land Development 3rd Submittal	Building Standards 1st Submittal	Land Development 4th Submittal	Building Standards 2nd Submittal	RTAP Land Development
Chapter 1 - Existing Conditions									
C1.0	Cover Sheet	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	November 17, 2015	May 2, 2016
C1.1	Rezoning Plan	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C1.2	Rezoning Plan	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C1.3	Rezoning Plan	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C1.4	Existing Conditions Plan	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C1.5	Demolition Plan	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	November 17, 2015	November 17, 2015
Chapter 2 - Site									
C2.0	Layout Plan	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 22, 2015	September 21, 2015	May 2, 2016
C2.1	Amenity Area Detail	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 22, 2015	September 21, 2015	May 2, 2016
C2.2	Amenity Area Detail	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 22, 2015	September 21, 2015	September 21, 2015
C2.3	Site Details	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C2.4	Site Details	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C2.5	Site Details	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C2.6	Site Details	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	January 5, 2016
C2.7	Site Details	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C2.8	Site Details	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	November 17, 2015
C2.9	Site Details	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	November 17, 2015
C2.10	Site Details	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	November 17, 2015
C2.11	Site Details	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	November 17, 2015
C2.12	Site Details	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	May 2, 2016
Chapter 3 - Grading									
C3.0	Overall Grading Plan	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 22, 2015	September 21, 2015	May 2, 2016
C3.1	Detailed Grading Plan	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 22, 2015	September 21, 2015	May 2, 2016
C3.2	Detailed Grading Plan	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 22, 2015	September 21, 2015	September 21, 2015
C3.3	Driveway Sight Distance	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 22, 2015	September 21, 2015	September 21, 2015
C3.4	Driveway Sight Distance	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 22, 2015	September 21, 2015	September 21, 2015
C3.5	Driveway Sight Distance	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 22, 2015	September 21, 2015	September 21, 2015
C3.6	Driveway Sight Distance	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 22, 2015	September 21, 2015	September 21, 2015
Chapter 4 - Erosion Control									
C4.0	Erosion Control Plan Phase 1	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C4.1	Erosion Control Plan Phase 2	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C4.2	Erosion Control Notes and Details	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
Chapter 5 - Storm Drainage									
C5.0A	50-50 Woods-Grass Pre-Developed Map	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C5.0	Post Developed Impervious Area Plan	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C5.1	Storm Drainage Plan	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C5.1A	Pool Storm Drainage Plan	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C5.2	Storm Drainage Area Plan	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C5.3	Storm Drainage Notes and Details	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C5.4	Storm Drainage Notes and Details	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C5.5	Sand Filter 1 Detail	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C5.6	Sand Filter 2 Detail	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C5.7	Sand Filter Riser Detail						September 21, 2015	September 21, 2015	September 21, 2015
Chapter 6 - Utility									
C6.0	Utility Plan	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	November 17, 2015	May 12, 2016
C6.0A	Sanitary Sewer Tap Profiles								December 8, 2015
C6.1	Utility Notes and Details	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C6.2	Utility Notes and Details	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
Chapter 7 - Planting Plan									
C7.0	Required Planting Plan	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	November 17, 2015	April 19, 2016
C7.1	Required Planting Plan	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	November 17, 2015	April 19, 2016
C7.2	Planting Plan			July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	May 2, 2016
C7.3	Detailed Planting Plan			July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	May 2, 2016
C7.4	Detailed Planting Plan			July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	May 2, 2016
C7.5	Detailed Planting Plan			July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	May 2, 2016
C7.6	Detailed Planting Plan			July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	May 2, 2016
C7.7	Detailed Planting Plan			July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	May 2, 2016
C7.8	Planting Plan Schedule			July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	May 2, 2016
Chapter 8 - Abbey Place Roadway Improvements									
C8.0	Abbey Place Roadway Plan and Profile	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C8.1	Abbey Place Cross Sections	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C8.2	Abbey Place Cross Sections	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C8.3	Abbey Place Cross Sections	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C8.4	Abbey Place Cross Sections	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C8.5	Abbey Place Cross Sections	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
C8.6	Traffic Control Plan	May 1, 2015	July 10, 2015	July 15, 2015	August 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015	September 21, 2015
Chapter 9 - Lighting									
E1.0	Site Lighting Plan					September 21, 2015	September 21, 2015	November 17, 2015	November 17, 2015
E1.1	Photometric Plan					September 21, 2015	September 21, 2015	November 17, 2015	November 17, 2015
E1.2	Pole Light Fixture							November 17, 2015	November 17, 2015
Chapter 10 - Elevations									
C-10.0	Pool Ramp Elevation								July 5, 2016
Chapter 11 - Architectural Elevations (Included for Land Development Review Only)									
A4.10	Building 1 Elevations						September 21, 2015		
A4.20	Building 2 Elevations						September 21, 2015		
A4.31	Building 3 Elevations						September 21, 2015		



FINAL
APPROVAL

ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY
TREE ORDINANCE

CDOT

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM AT <http://development.charmeck.org>

APPROVED
By Emily Chien at 3:31 pm, Jul 14, 2016

APPROVED

APPROVED
Gary Turner

APPROVED
Korv Hedrick

ABBEY PLACE APARTMENTS
SPECTRUM PROPERTIES RESIDENTIAL, INC.
1415 ABBEY PLACE, CHARLOTTE, NC 28209

COVER SHEET

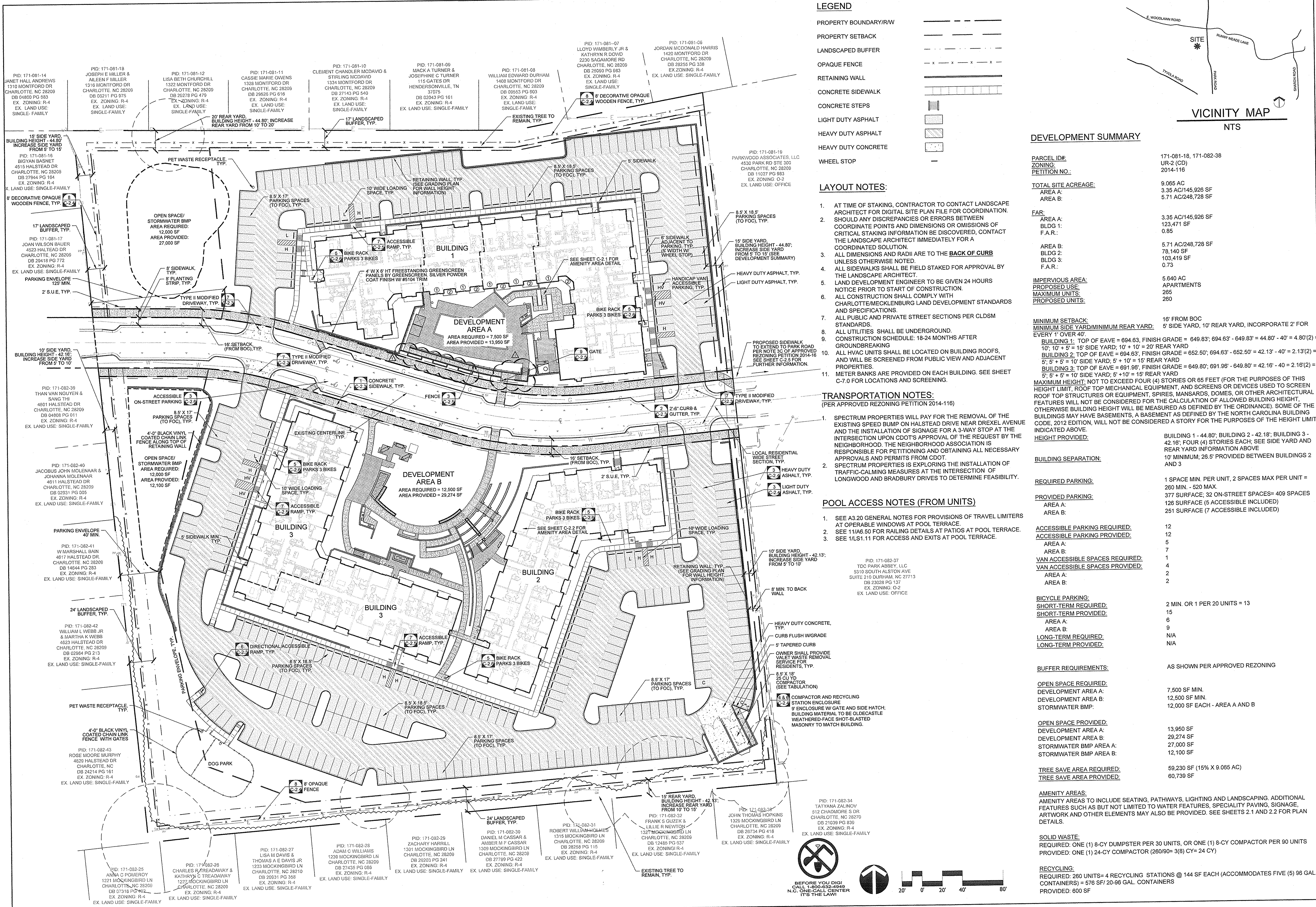
REVISIONS:
07/10/15 - PER CITY COMMENTS (1ST REVIEW)
07/15/15 - GMP PACKAGE
08/21/15 - PER CITY COMMENTS (2ND REVIEW)
09/21/15 - BUILDING PERMIT SUBMITTAL
05/02/16 - PER CITY COMMENTS (3RD REVIEW)
05/02/16 - RAMP AT POOL COURTYARD
REVISIONS

DATE: MAY 1, 2015
DESIGNED BY: RAK
DRAWN BY: RPK
CHECKED BY: RAK
SCALE: 1/8"=1'-0"
PROJECT #: 1014311
SHEET #:

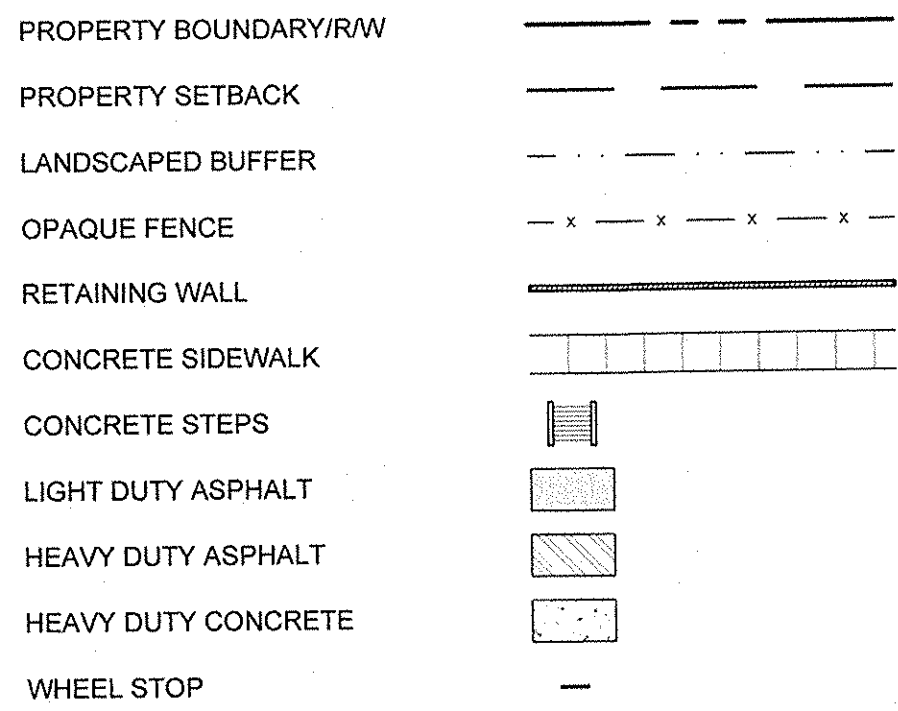
C-1.0

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License #C-0658





LEGEND



LAYOUT NOTES:

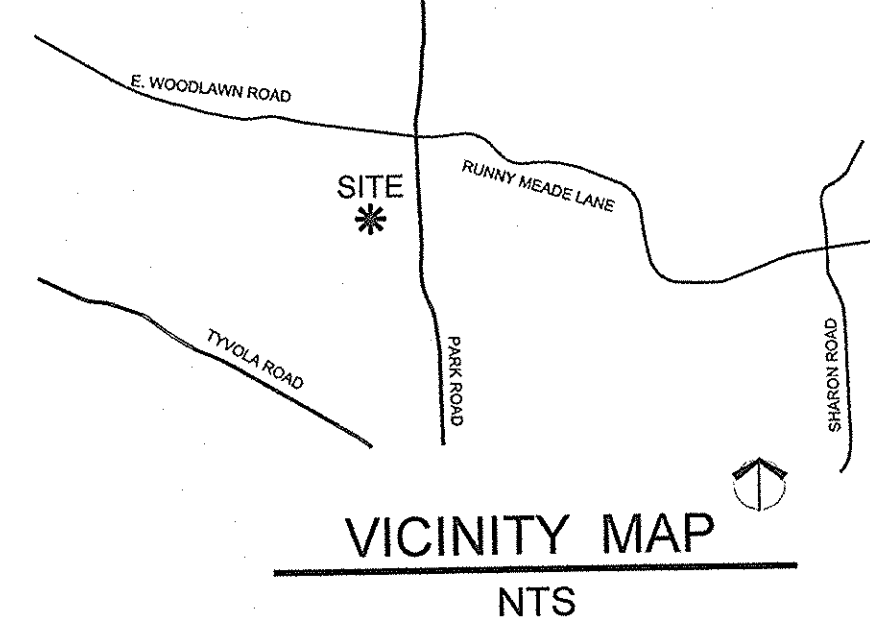
- AT TIME OF STAKING, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR DIGITAL SITE PLAN FILE FOR COORDINATION.
- SHOULD ANY DISCREPANCIES OR ERRORS BETWEEN COORDINATE POINTS AND DIMENSIONS OR OMISSIONS OF CRITICAL STAKING INFORMATION BE DISCOVERED, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR A COORDINATED SOLUTION.
- ALL DIMENSIONS AND RADII ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL SIDEWALKS SHALL BE FIELD STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL COMPLY WITH CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS AND SPECIFICATIONS.
- ALL PUBLIC AND PRIVATE STREET SECTIONS PER CLDSM STANDARDS.
- ALL UTILITIES SHALL BE UNDERGROUND.
- CONSTRUCTION SCHEDULE: 18-24 MONTHS AFTER GROUND BREAKING.
- ALL HVAC UNITS SHALL BE LOCATED ON BUILDING ROOFS, AND WILL BE SCREENED FROM PUBLIC VIEW AND ADJACENT PROPERTIES.
- METER BANKS ARE PROVIDED ON EACH BUILDING. SEE SHEET C-7.0 FOR LOCATIONS AND SCREENING.

TRANSPORTATION NOTES:
(PER APPROVED REZONING PETITION 2014-116)

- SPECTRUM PROPERTIES WILL PAY FOR THE REMOVAL OF THE EXISTING SPEED BUMP ON HALSTEAD DRIVE NEAR DREXEL AVENUE AND THE INSTALLATION OF SIGNAGE FOR A 3-WAY STOP AT THE INTERSECTION UPON CDOT'S APPROVAL OF THE REQUEST BY THE NEIGHBORHOOD. THE NEIGHBORHOOD ASSOCIATION IS RESPONSIBLE FOR PETITIONING AND OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM CDOT.
- SPECTRUM PROPERTIES IS EXPLORING THE INSTALLATION OF TRAFFIC-CALMING MEASURES AT THE INTERSECTION OF LONGWOOD AND BRADBURY DRIVES TO DETERMINE FEASIBILITY.

POOL ACCESS NOTES (FROM UNITS)

- SEE A3.20 GENERAL NOTES FOR PROVISIONS OF TRAVEL LIMITERS AT OPERABLE WINDOWS AT POOL TERRACE.
- SEE 11/A6.50 FOR RAILING DETAILS AT PATIOS AT POOL TERRACE.
- SEE 1/L5.11 FOR ACCESS AND EXITS AT POOL TERRACE.



DEVELOPMENT SUMMARY

PARCEL ID#:	171-081-18, 171-082-38
ZONING:	UR-2 (CD)
PETITION NO.:	2014-116
TOTAL SITE ACREAGE:	9.065 AC
AREA A:	3.35 AC/145,926 SF
AREA B:	5.71 AC/248,728 SF
FAR:	
AREA A:	3.35 AC/145,926 SF
BLDG 1:	123,471 SF
F.A.R.:	0.85
AREA B:	5.71 AC/248,728 SF
BLDG 2:	78,140 SF
BLDG 3:	103,419 SF
F.A.R.:	0.73
IMPERVIOUS AREA:	5,640 AC
PROPOSED USE:	APARTMENTS
MAXIMUM UNITS:	265
PROPOSED UNITS:	260
MINIMUM SETBACK:	16' FROM BOC
MINIMUM SIDE YARD/MINIMUM REAR YARD:	5' SIDE YARD, 10' REAR YARD, INCORPORATE 2' FOR EVERY 1' OVER 40'
BUILDING 1:	TOP OF EAVE = 694.63, FINISH GRADE = 649.83'; 694.63' - 649.83' = 44.80' - 40' = 4.80'(2) = 10'; 10' + 5' = 15' SIDE YARD; 10' + 10' = 20' REAR YARD
BUILDING 2:	TOP OF EAVE = 694.63'; FINISH GRADE = 652.50'; 694.63' - 652.50' = 42.13' - 40' = 2.13'(2) = 5'; 5' + 5' = 10' SIDE YARD; 5' + 10' = 15' REAR YARD
BUILDING 3:	TOP OF EAVE = 691.96'; FINISH GRADE = 649.80'; 691.96' - 649.80' = 42.16' - 40' = 2.16'(2) = 5'; 5' + 5' = 10' SIDE YARD; 5' + 10' = 15' REAR YARD
MAXIMUM HEIGHT:	NOT TO EXCEED FOUR (4) STORIES OR 65 FEET (FOR THE PURPOSES OF THIS HEIGHT LIMIT, ROOF TOP MECHANICAL EQUIPMENT, AND SCREENS OR DEVICES USED TO SCREEN ROOF TOP STRUCTURES OR EQUIPMENT, SPIRES, MANSARDS, DOMES, OR OTHER ARCHITECTURAL FEATURES WILL NOT BE CONSIDERED FOR THE CALCULATION OF ALLOWED BUILDING HEIGHT; OTHERWISE BUILDING HEIGHT WILL BE MEASURED AS DEFINED BY THE ORDINANCE). SOME OF THE BUILDINGS MAY HAVE BASEMENTS, A BASEMENT AS DEFINED BY THE NORTH CAROLINA BUILDING CODE, 2012 EDITION, WILL NOT BE CONSIDERED A STORY FOR THE PURPOSES OF THE HEIGHT LIMIT INDICATED ABOVE.
HEIGHT PROVIDED:	BUILDING 1 - 44.80'; BUILDING 2 - 42.18'; BUILDING 3 - 42.16'; FOUR (4) STORIES EACH; SEE SIDE YARD AND REAR YARD INFORMATION ABOVE
BUILDING SEPARATION:	10' MINIMUM; 26.5' PROVIDED BETWEEN BUILDINGS 2 AND 3
REQUIRED PARKING:	1 SPACE MIN. PER UNIT, 2 SPACES MAX PER UNIT = 260 MIN. - 520 MAX.
PROVIDED PARKING:	377 SURFACE, 32 ON-STREET SPACES= 409 SPACES
AREA A:	126 SURFACE (5 ACCESSIBLE INCLUDED)
AREA B:	251 SURFACE (7 ACCESSIBLE INCLUDED)
ACCESSIBLE PARKING REQUIRED:	12
ACCESSIBLE PARKING PROVIDED:	12
AREA A:	5
AREA B:	7
VAN ACCESSIBLE SPACES REQUIRED:	1
VAN ACCESSIBLE SPACES PROVIDED:	4
AREA A:	2
AREA B:	2
BICYCLE PARKING:	2 MIN. OR 1 PER 20 UNITS = 13
SHORT-TERM REQUIRED:	15
SHORT-TERM PROVIDED:	6
AREA A:	9
AREA B:	N/A
LONG-TERM REQUIRED:	N/A
LONG-TERM PROVIDED:	N/A
BUFFER REQUIREMENTS:	AS SHOWN PER APPROVED REZONING
OPEN SPACE REQUIRED:	7,500 SF MIN.
DEVELOPMENT AREA A:	12,500 SF MIN.
DEVELOPMENT AREA B:	12,000 SF EACH - AREA A AND B
STORMWATER BMP:	
OPEN SPACE PROVIDED:	13,950 SF
DEVELOPMENT AREA A:	29,274 SF
DEVELOPMENT AREA B:	27,000 SF
STORMWATER BMP AREA A:	12,100 SF
STORMWATER BMP AREA B:	
TREE SAVE AREA REQUIRED:	59,230 SF (15% X 9.065 AC)
TREE SAVE AREA PROVIDED:	60,739 SF
AMENITY AREAS:	AMENITY AREAS TO INCLUDE SEATING, PATHWAYS, LIGHTING AND LANDSCAPING. ADDITIONAL FEATURES SUCH AS BUT NOT LIMITED TO WATER FEATURES, SPECIALITY PAVING, SIGNAGE, ARTWORK AND OTHER ELEMENTS MAY ALSO BE PROVIDED. SEE SHEETS 2.1 AND 2.2 FOR PLAN DETAILS.
SOLID WASTE:	REQUIRED: ONE (1) 8-CY DUMPSTER PER 30 UNITS, OR ONE (1) 8-CY COMPACTOR PER 90 UNITS
PROVIDED:	ONE (1) 24-CY COMPACTOR (260/90= 3(8) CY= 24 CY)
RECYCLING:	REQUIRED: 260 UNITS= 4 RECYCLING STATIONS @ 144 SF EACH (ACCOMMODATES FIVE (5) 96 GAL. CONTAINERS) = 576 SF/ 20-96 GAL. CONTAINERS
PROVIDED:	600 SF

LandDesign

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License #C-0658

LANDDESIGN, INC.

CORPORATE SEAL

W. NORTH CAROLINA

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
No. 10797
5.2.16
KEITH W. LARSON, W. MEMPHIS

ABBEE PLACE APARTMENTS

SPECTRUM PROPERTIES RESIDENTIAL, INC.

1415 ABBEY PLACE, CHARLOTTE, NC 28209

LAYOUT PLAN

REVISIONS:

07/19/15 - CDP PACKAGE
08/21/15 - PER CITY COMMENTS (2ND REVIEW)
09/21/15 - BUILDING PERMIT SUBMITTAL
09/22/15 - PER CITY COMMENTS (3RD REVIEW)
09/22/16 - RAMP AT POOL COURTYARD

DATE: MAY 2, 2015
DRAWN BY: PKM
CHECKED BY: AWB
Q.C. BY: AWB
SCALE: 1"=40'
PROJECT #: 1014311

REVISIONS

BEFORE YOU DIG!
CALL 1-800-632-4949
NC ONE-CALL CENTER
IT'S THE LAW!

C-2.0