

SHEET NAME

**COVER SHEET** 

DEVELOPMENT DETAILS (SHEET 1 OF 3)
DEVELOPMENT DETAILS (SHEET 2 OF 3)

**OVERALL SITE PLAN** 

SITE PLAN (SHEET 2 OF 3)

SITE PLAN (SHEET 3 OF 3)

DENBUR DRIVE TURNING MOVEMENTS

**GRADING PLAN (SHEET 1 OF 3)** 

**GRADING PLAN (SHEET 2 OF 3)** 

**GRADING PLAN (SHEET 3 OF 3)** 

STORM DRAINAGE PROFILES (SHEET 5 OF 9)
STORM DRAINAGE PROFILES (SHEET 6 OF 9)

STORM DRAINAGE PROFILES (SHEET 7 OF 9)

STORM DRAINAGE PROFILES (SHEET 8 OF 9)

STORM DRAINAGE PROFILES (SHEET 9 OF 9)

STORM DRAINAGE AREA PLAN

OVERALL BMP AND STORMWATER MANAGEMENT PLAN

WET POND #1 PLAN AND DETAILS

WET POND #2 PLAN AND DETAILS

MAGNOLIA LILY AVE. ROAD PLAN AND PROFILE (SHEET 1 OF 3)

MAGNOLIA LILY AVE, ROAD PLAN AND PROFILE (SHEET 2 OF 3)

MAGNOLIA LILY AVE. ROAD PLAN AND PROFILE (SHEET 3 OF 3)

LILAC TREE AVE. ROAD PLAN AND PROFILE

SPRING SPRUCE LANE ROAD PLAN AND PROFILE

DENBUR DRIVE SIGHT DISTANCE PROFILES

MAGNOLIA LILY AVE. SIGHT DISTANCE PROFILES (SHEET 1 OF 2)

MAGNOLIA LILY AVE. SIGHT DISTANCE PROFILES (SHEET 2 OF 2)

**OVERALL EROSION CONTROL PLAN PHASE 1** 

**EROSION CONTROL PLAN PHASE 1 (SHEET 1 OF 3)** 

EROSION CONTROL PLAN PHASE 1 (SHEET 2 OF 3)
EROSION CONTROL PLAN PHASE 1 (SHEET 3 OF 3)

**OVERALL EROSION CONTROL PHASE 2** 

**EROSION CONTROL PLAN PHASE 2 (SHEET 1 OF 3)** 

EROSION CONTROL PLAN PHASE 2 (SHEET 2 OF 3)
EROSION CONTROL PLAN PHASE 2 (SHEET 3 OF 3)

**EROSION CONTROL DETAILS (SHEET 1 OF 3)** 

**EROSION CONTROL DETAILS (SHEET 2 OF 3)** 

**EROSION CONTROL DETAILS (SHEET 3 OF 3)** 

SIGNAGE PLAN

TREE PROTECTION AND PLANTING PLAN

PLANTING NOTES AND DETAILS

SHEET NO.

C1.2

C4.2

C5.3

C5.5

C5.13

C6.0

C6.2

C7.2

C7.3

C7.4

C7.5

C7.6

C7.7

C8.0

C8.1

C8.3

C8.7

C8.8

C8.9

C8.10

C10.0

C10.1

# WOODBURY PHASE 2

LOCATED IN CHARLOTTE, NORTH CAROLINA CHARLOTTE

FINAL APPROVAL

http://development.charmeck.org

## ENGINEERING

# **EROSION CONTROL**

NOTE: SCHEDULE PRE-CONSTRUCTION MEETIN AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT http://development.charmeck.org

URBAN FORESTRY

CDOT

**APPROVED** 

**APPROVED** 

**APPROVED** 

By Brendan Smith at 12:23 pm, Sep 29, 2015

**APPROVED** 

APPROVED FOR
CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTM

## 08/26/2015 07/06/2015 08/26/2015 08/26/2015 08/26/2015 08/26/2015 07/06/2015 08/26/2015

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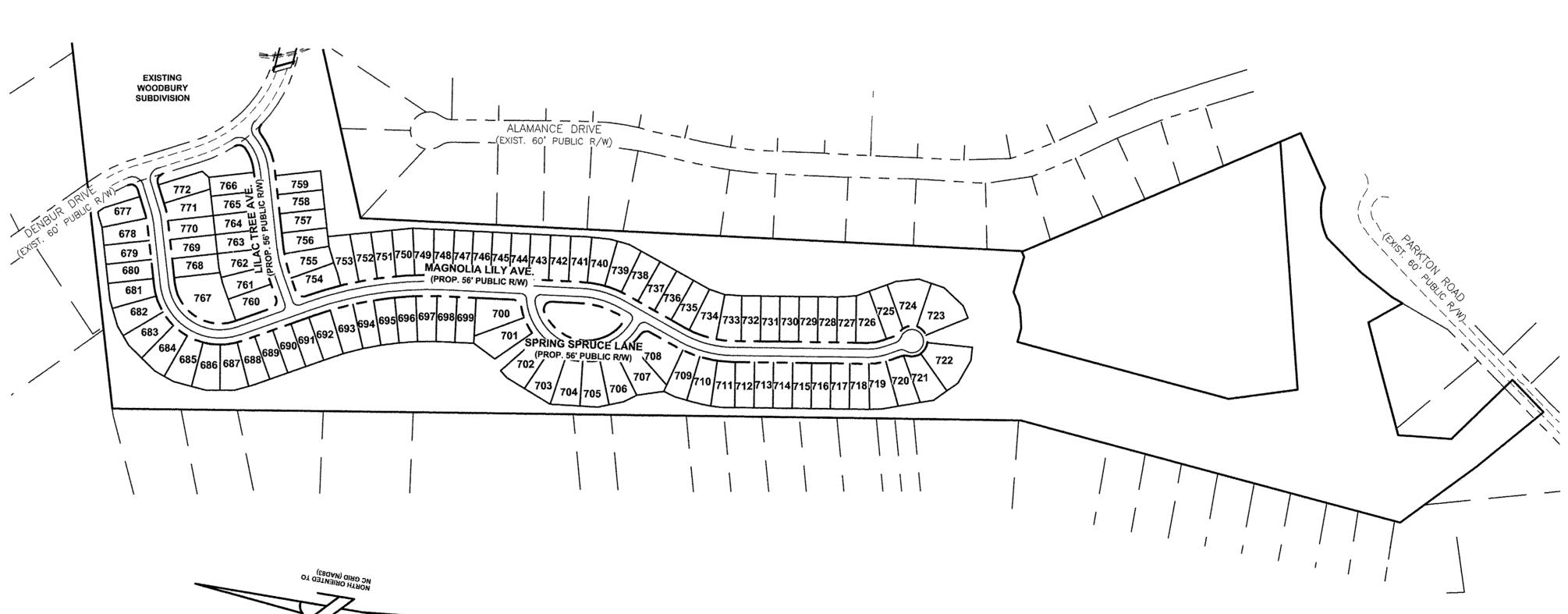
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05/05/15

ORIGINAL DATE REVISED DATE



ELOPMENT INFORMATION

NAME: WOODBURY PHASE

SE: SINGLE FAMILY RESIDENTIAL

ZONING: R-3 (R-

(R-4 CLUSTER STANDARDS PER TREE ORDINANCE INCENTIVES)

PROPERTY OWNER: CENTEX HOMES
DB 19979 PG. 925
TAX PARCEL ID# 111-10-117

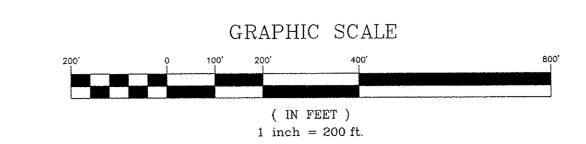
DEVELOPER: PULTE HOME CORP.
11121 CARMEL COMMONS BLVD., SUTE 450

ENGINEER: ESP ASSOCIATES, P.A. DANIS E. SIMMONS, PE

P.O. BOX 7030

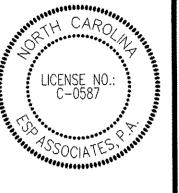
CHARLOTTE, NC 28241

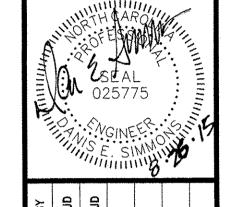
THIS SET IS CURRENT THROUGH SHEET DATE 08/26/2015











	NO.	DATE	REVISION	<b>\8</b>
	-	07/06/2015	07/06/2015 REVISED PER CITY COMMENTS	S
	2	08/26/2015	08/26/2015 REVISED PER CLIENT AND CITY COMMENTS	S
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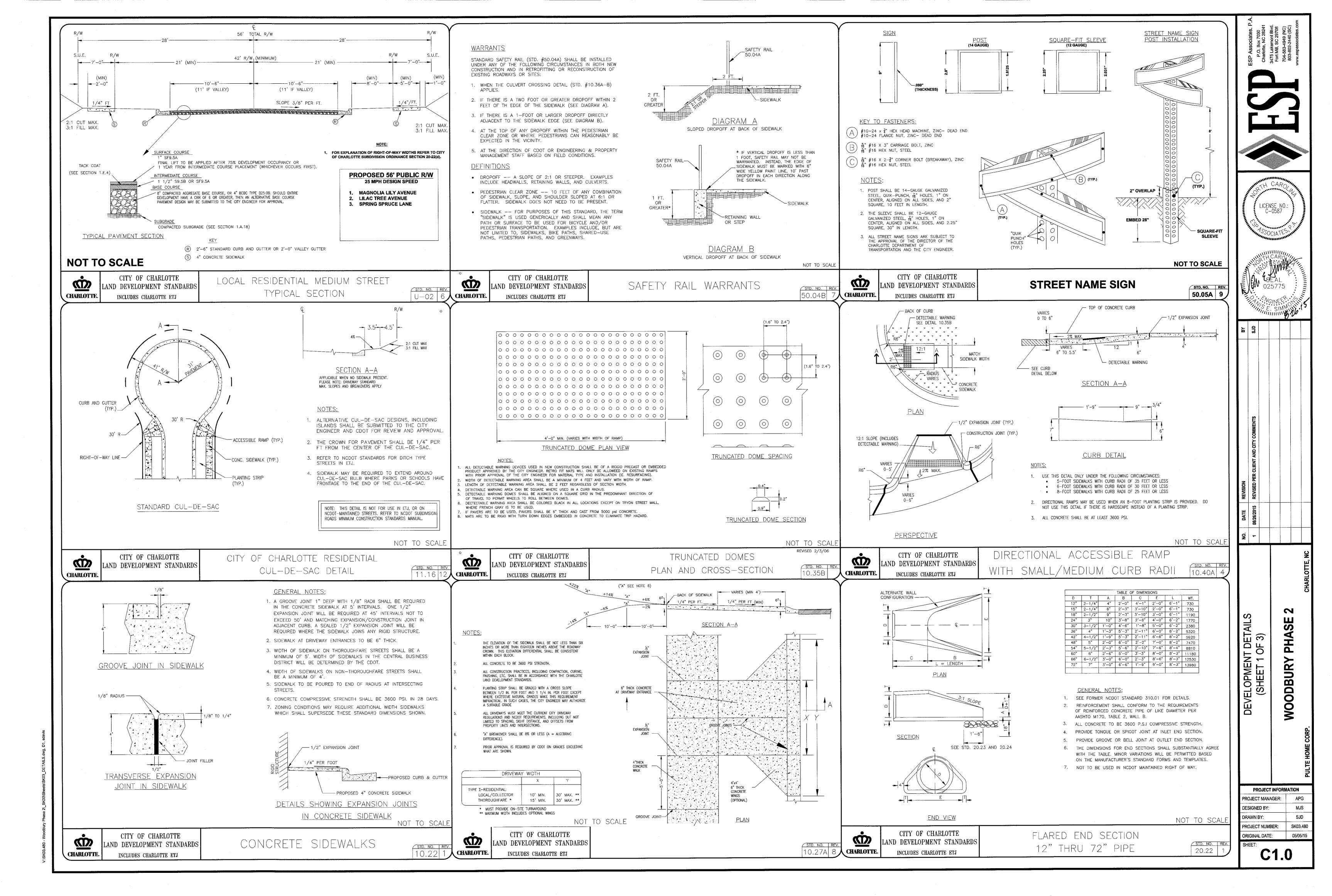
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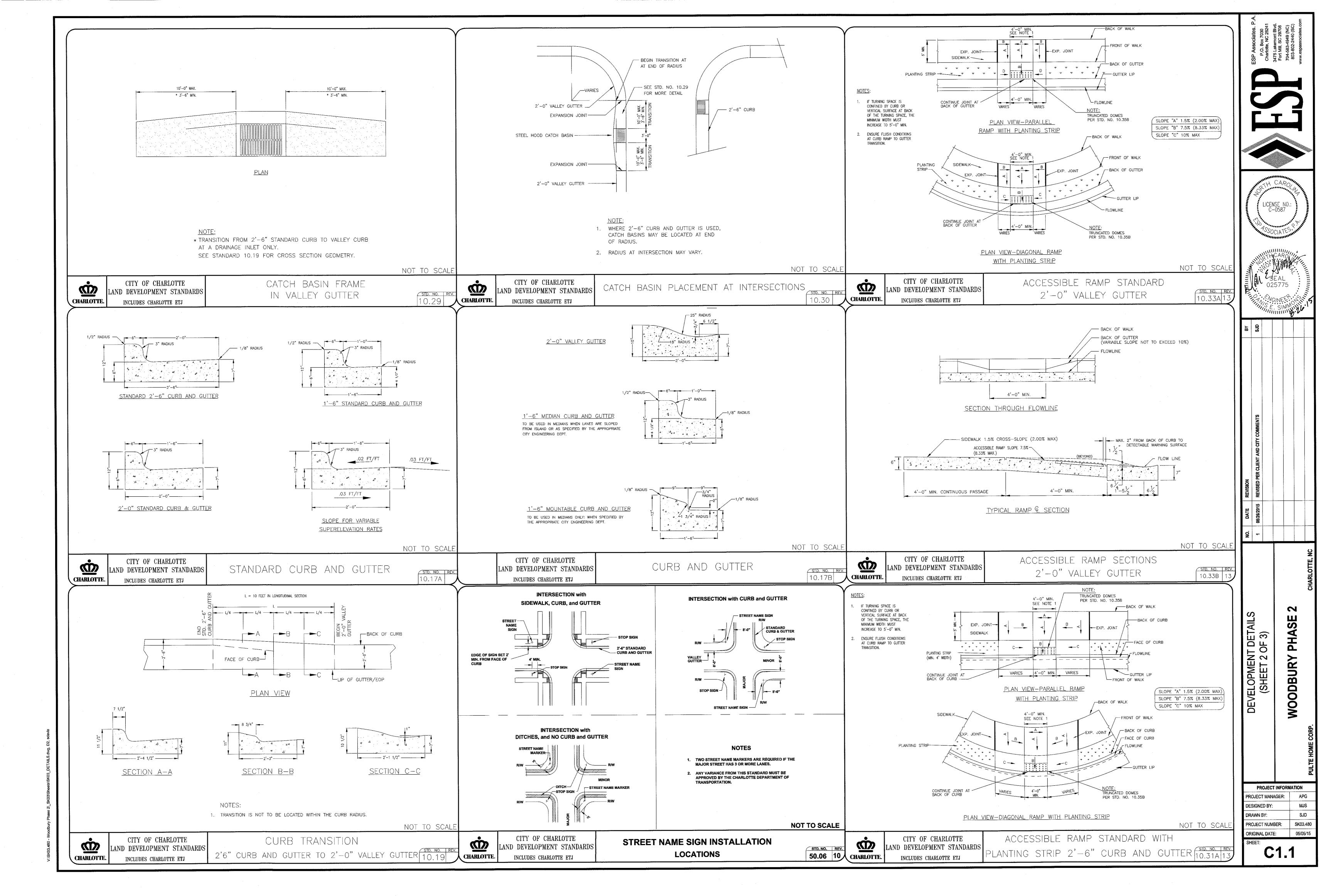
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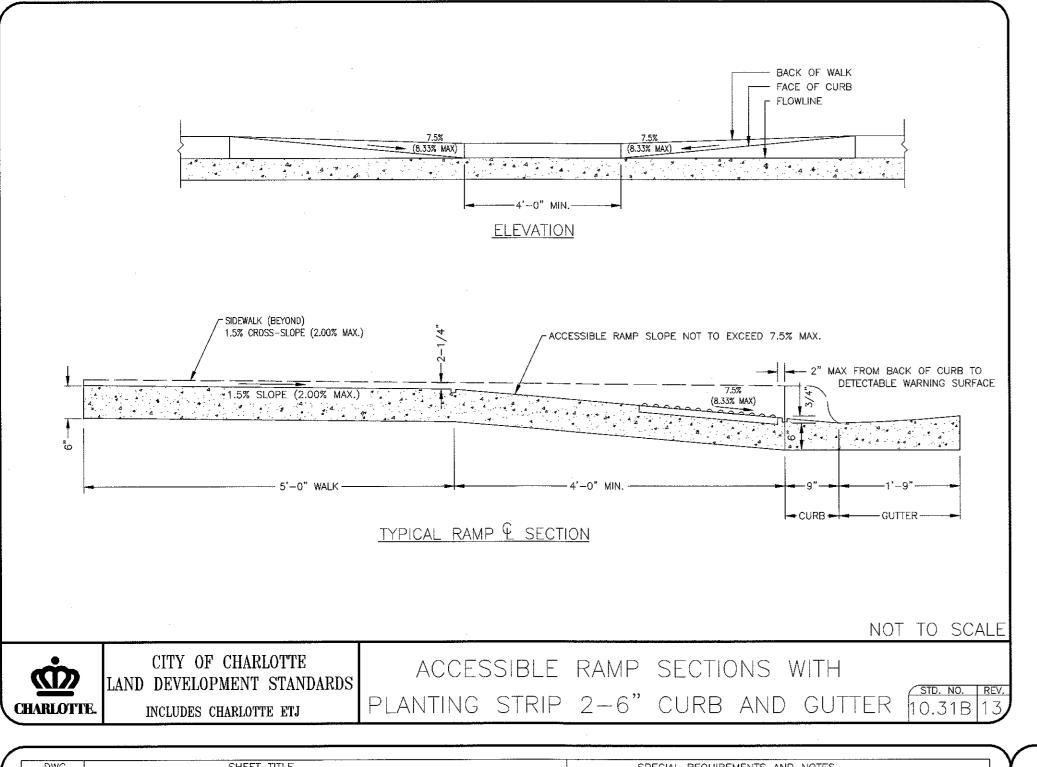
WOODBURY

PROJECT INFORMATION
PROJECT MANAGER: APG
DESIGNED BY: MJS
DRAWN BY: SJD
PROJECT NUMBER: SK03.480
ORIGINAL DATE: 05/05/15

C0.0







DWG	SHEET TITLE	SPECIAL REQUIREMENTS AND NOTES
838.45	NOTES FOR REINFORCED CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
	838.21 THRU 838.40	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
838.51	REINFORCED BRICK ENDWALL FOR SINGLE 54" PIPE 90' SKEW	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
838.52	REINFORCED BRICK ENDWALL FOR DOUBLE & TRIPLE 54" PIPE 90'SKEW	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
838.57	REINFORCED BRICK ENDWALL FOR SINGLE 60" PIPE 90' SKEW	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
838.58	REINFORCED BRICK ENDWALL FOR DOUBLE & TRIPLE 60" PIPE 90' SKEW	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
838.63	REINFORCED BRICK ENDWALL FOR SINGLE 66" PIPE 90' SKEW	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
838.64	REINFORCED BRICK ENDWALL FOR DOUBLE & TRIPLE 66" PIPE 90' SKEW	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
838.69	REINFORCED BRICK ENDWALL FOR SINGLE 72" PIPE 90' SKEW	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
838.70	REINFORCED BRICK ENDWALL FOR DOUBLE & TRIPLE 72" PIPE 90' SKEW	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
838.75	NOTES FOR REINFORCED BRICK ENDWALL STANDARD DRAWINGS 838.51 THRU 83	38.70 NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
838.80	PRECAST CONCRETE ENDWALL FOR SINGLE 12" THRU 72" PIPE 90' SKEW	
840.00	CONCRETE BASE PAD FOR DRAINAGE STRUCTURES	
840.01	BRICK CATCH BASIN 15" THRU 54" PIPE	
840.02	CONCRETE CATCH BASIN 12" THRU 54" PIPE	
840.03	FRAME, GRATE BASIN 12" THRU 54" PIPE	TYPE F AND G GRATES ARE OPTIONAL WITHIN THE CITY LIMITS
840.04	CONCRETE OPEN THROAT CATCH BASIN 12" THRU 48" PIPE	NOTE 1; OPENINGS PERMITTED IN 4 SIDES OUTSIDE OF STREET R/W MANHOLE RING AND COVER REQUIRED IN TOP SLAB SEE CLDS 20.05 A&:
840.05	BRICK OPEN THROAT CATCH BASIN 15" THRU 48" PIPE	NOTE 1; OPENINGS PERMITTED IN 4 SIDES OUTSIDE OF STREET R/W MANHOLE RING AND COVER REQUIRED IN TOP SLAB SEE CLDS 20.05 A&
840.14	CONCRETE DROP INLET 12" THRU 30" PIPE	NOTE 1
840.15	BRICK DROP INLET 12" THRU 30' PIPE	NOTE 1
840.16	DROP INLET FRAME AND GRATE FOR USE WITH DWGS. 840.14 & 840.15	NOTE 1
840.17	CONCRETE GRATED DROP INLET TYPE "A" 12" THRU 72" PIPE	NOTE 1
840.18	CONCRETE GRATED DROP INLET TYPE "B" 12" THRU 36" PIPE	NOTE 1
840.19	CONCRETE GRATED DROP INLET TYPE "D" 12" THRU 36" PIPE	NOTE -1
840.20	The state of the s	NOT FOR USE IN PEDESTRIAN AREAS
840.22	FRAMES AND WIDE SLOT SAG GRATES	NOT FOR USE IN PEDESTRIAN AREAS
840.24	FRAMES AND NARROW SLOT SAG GRATES	
840.25		
840.26		
840.27		
840.28	BRICK GRATED DROP INLET TYPE "D" 12" THRU 36" PIPE	
840.29	FRAMES AND NARROW SLOT FLAT GRATES	
840.30	DRIVEWAY DROP INLET	
NOTE 1:	FOR ALL STRUCTURES - NCDOT REQUIRES CLASS B CONCRETE (2500PSI). THE	CITY REQUIRES 3600 PSI CONCRETE STRENGTH @ 28 DAYS. 3600 PSI

LAND DEVELOPMENT STANDARDS

INCLUDES CHARLOTTE ETJ

CHARLOTTE.

NOTE 1: FOR ALL STRUCTURES — NCDOT REQUIRES CLAS CONCRETE SHALL BE USED IN ALL CITY AND ET.	(2500PSI).	THE (	CITY	REQUIRES	3600 PSI	CONCRETE	STRENGTH @	28 DAYS	3600	PSI

SHEET TITLE 840.31 CONCRETE JUNCTION BOX (WITH OPTIONAL MANHOLE) 12" THRU 66" PIPE

840.34 TRAFFIC BEARING JUNCTION BOX FOR USE WITH PIPES 42" AND UNDER

840.45 PRECAST DRAINAGE STRUCTURE (SOLID AND WAFFLE WALL)

840.51 BRICK MANHOLE 12" 36" PIPE
840.52 PRECAST MANHOLE 4', 5' AND 6' DIAMETER 12" THRU 42" PIPE
840.53 PRECAST MANHOLE WITH MASONRY BASE 12" THRU 42" PIPE

852.06 METHOD OF PLACEMENT OF DROP INLETS IN CONCRETE ISLANDS 876.01 RIP RAP IN CHANNELS

840.46 TRAFFIC BEARING PRECAST DRAINAGE STRUCTURE

876.03 DRAINAGE DITCHES WITH CLASS "A" RIP RAP
876.04 DRAINAGE DITCHES WITH CLASS "B" RIP RAP
310.01 1998 DRAWINGS CONCRETE FLARED END SECTION

840.35 TRAFFIC BEARING DROP INLET FOR CAST IRON DOUBLE FRAME AND GRATES

840.36 TRAFFIC BEARING DROP INLET FOR STEEL (840.37) DOUBLE FRAME AND GRATES
840.37 STEEL GRATE AND FRAME

840.60 DRAINAGE STRUCTURE STEPS

840.71 CONCRETE PAVED DITCHES

840.72 PIPE COLLAR

850.01 CONCRETE PAVED DITCHES

852.04 METHODS FOR PLACEMENT OF DROP INLETS IN GRASSED MEDIAN (USING 1'-6" CURB AND GUTTER)

852.05 MEDIAN CURB FOR CATCH BASIN (FOR USE WITH 1'-6" CURB AND GUTTER)

852.06 METHOD OF PLACEMENT OF DROP INLETS IN CONCRETE ISLANDS

840.32 BRICK JUNCTION BOX 12" THRU 66" PIPE

840.41 SPRING BOX CONCRETE OR BRICK

840.54 MANHOLE FRAME AND COVER

NCDOT STANDARDS

APPROVED FOR USE IN THE CITY OF CHARLOTTE

AND CHARLOTTE ETJ

20.00C 10 CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS INCLUDES CHARLOTTE ETJ

DESIGNED BY: DRAWN BY: ORIGINAL DATE:

Ċ.	CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS	ACCESSIBLE	RAMP	SECTIO	DNS	WITH	
CHARLOTTE.		PLANTING STRIP	2-6"	CHRR	ΔΝΠ	GUITTER	STD. NO. REV.
CHARLOTTE.	INCLUDES CHARLOTTE ETJ	LATING STAT		COND	/ \	OOTILI	10.315 13
	SHEET TITLE						
DWG	SHEEL TILE.  ETHOD OF PIPE INSTALLATION — METHOD A		5	PECIAL REQUIRE	MENIS AN	D NOTES	
	ARALLEL PIPE END SECTION—PRECAST CONCRET	T FOR 15" TO 24" DIRE	REQUIRE	IN RIGHT OF	WAY WITH	N THE ET.I	<del></del>
310.02 PA	ROSS PIPE END SECTION—PRECAST CONCRETE	FOR 18" TO 30" PIPF		IN RIGHT OF			
	RIVEWAY PIPE CONSTRUCTION USING NO SPECIA					THE CITY ENGINEE	R
	PE UNDERDRAIN AND BLIND DRAIN						
	EOCOMPOSITE SHOULDER DRAIN						
	DNCRETE ENDWALL FOR SINGLE AND DOUBLE F	PIPE CULVERTS	NOTE 1				
	5" THRU 48" PIPE 90' SKEW		NOTE 1				
	ONCRETE ENDWALL AND SLUICE GATE 15" THR		NOTE 1				
	ONCRETE ENDWALL FOR SINGLE AND DOUBLE F	PIPE CULVERTS	NOTE 1				
	7"X13"THRU 71"X47" PIPE ARCH 90' SKEW		NOTE 1				
	ONCRETE "L" ENDWALL FOR SINGLE PIPE CULV		NOTE 1				
	ONCRETE "L" ENDWALL FOR SINGLE PIPE CULV	ERIS 17 X13 THRU /1 X4/	NOTE 1				
	1"X47" ARCH PIPE	DIDE AUTOTO	NOTE 1				
	ONCRETE ENDWALL FOR SINGLE AND DOUBLE F 0"X31" THRU 66"X51" PIPE ARCH 90'SKEW	PIPE CULVERIS	NOTE 1				
	ONCRETE "L" ENDWALL FOR SINGLE PIPE CULV	EPTS 40"V39"	NOTE 1				
	UNCRETE L ENDWALL FOR SINGLE FIFE COLV HRU 66"X51" PIPE ARCH	ER13 40 A32	NOTE 1				
	ONCRETE ENDWALL FOR OUTFALL 4'-6" OR 8"	PIPE	NOTE 1				
	RICK ENDWALL FOR SINGLE AND DOUBLE PIPE		NOTE 1				
	5" THRU 48" 90' SKEW	OCCVENTO	NOTE 1				
	RICK ENDWALL FOR SINGLE AND DOUBLE PIPE	CULVERTS 17"X31"	NOTE 1				
	HRU 71"X47" 90' SKEW		NOTE 1				
	RICK "L" ENDWALL FOR SINGLE PIPE CULVERTS	5 15" THRU 48" PIPE	NOTE 1				
	RICK "L" ENDWALL FOR SINGLE PIPE CULVERTS		NOTE 1				
	1"X47" PIPE ARCH		NOTE 1				
	RICK ENDWALL FOR SINGLE AND DOUBLE PIPE	CULVERTS 40"X31"	NOTE 1				
TH	HRU 66"X51" PIPE ARCH 90'SKEW		NOTE 1				
838.18 BI	RICK ENDWALL FOR SINGLE PIPE CULVERTS 40	"X31" THRU	NOTE 1				
	6"X51" PIPE ARCH 90' SKEW		NOTE 1				
	RICK ENDWALL FOR OUTFALL 4", 6" AND 8" P		NOTE 1		<u> </u>		
	EINFORCED CONCRETE ENDWALL FOR SINGLE 5			SEE CLDS 20.1			
	EINFORCED CONCRETE ENDWALL FOR DOUBLE		· · · · · · · · · · · · · · · · · · ·	SEE CLDS 20.1	<del></del>		
	EINFORCED CONCRETE ENDWALL FOR SINGLE 6			SEE CLDS 20.1			
	EINFORCED CONCRETE ENDWALL FOR DOUBLE			SEE CLDS 20.1			
	EINFORCED CONCRETE ENDWALL FOR SINGLE 6			SEE CLDS 20.1 SEE CLDS 20.1			
	EINFORCED CONCRETE ENDWALL FOR DOUBLE			SEE CLDS 20.1			
	EINFORCED CONCRETE ENDWALL FOR SINGLE 7 EINFORCED CONCRETE ENDWALL FOR DOUBLE		·	SEE CLDS 20.1			
	FOR ALL STRUCTURES — NCDOT REQUIRES     CONCRETE SHALL BE USED IN ALL CITY AND	CLASS B CONCRETE (2500PSI). THE					3600 PSI
CHARLOTTE.	CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS INCLUDES CHARLOTTE ETJ	APPROVED FOR L	JSE IN	ANDARDS THE CITY LOTTE E	OF	CHARLOTTE	STD. NO. REV.

APPROVED FOR USE IN THE CITY OF CHARLOTTE

AND CHARLOTTE ETJ 20.00B 5

CHARLOTTE.

SPECIAL REQUIREMENTS AND NOTES

NOTE 1; OPTIONAL MANHOLE IS REQUIRED

NOT FOR USE IN PEDESTRIAN AREAS

NOT FOR USE IN PEDESTRIAN AREAS

NOTE 1; OPTIONAL MANHOLE IS REQUIRED

NOTE 1; OPTIONAL MANHOLE IS REQUIRED; AS MEASURED FROM BOTTOM OF

FROM 4'8" HEIGHT TO 10' HEIGHT, USE 12" THICK WALL. IF PROPOSED STRUCTURE EXCEEDS 12'-0" HEIGHT A SPECIAL DESIGN WILL BE REQUIRED

TOP SLAB -- FOR JUNCTION BOX HEIGHT 0'-4'8" USE 8" THICK WALL,

WAFFLE WALL IS NOT PERMITTED IN ROADWAY, PLANTING STRIPS, OR MEDIANS. ALL OPENINGS SHALL BE PRE-CAST

PROJECT MANAGER: APG PROJECT NUMBER: SK03.480 05/05/15

PROJECT INFORMATION

**PHASE** 

WOODBURY

EVELOPMENT DETAILS (SHEET 3 OF 3)

**C1.2** 

#### **CLDSM GENERAL NOTES**

SITE DATA

PROPERTY OWNER:

CENTEX HOMES DB 19979 PG. 925 TAX PARCEL ID: 111-10-117

#### DEVELOPER:

PULTE HOME CORP. 11121 CARMEL COMMONS BLVD., SUITE 450 CHARLOTTE, NC 28226 TELEPHONE: (704) 543-4922 FAX: (704) 414-7099

ESTIMATED START DATE: ESTIMATED COMPLETION DATE: DECEMBER, 2017

TOPOGRAPHIC SURVEY INFORMATION:

2.1. TOPOGRAPHIC SURVEY INFORMATION FROM FIELD SURVEY BY ESP ASSOCIATES TITLE "TOPOGRAPHIC SURVEY OF A PORTION WOODBURY SUBDIVISION PHASE 2" DATED 01/16/2015.

**EXISTING CONTOUR INTERVAL=1'** 

2.1.1. TEMPORARY BENCHMARKS: **TEMPORARY BENCHMARK #1** TOP OF AXLE **ELEVATION = 735.44'** 

**ELEVATION = 709.35'** 

RR SPIKE IN 24" TREE

**TEMPORARY BENCHMARK #2** 

- 3. ALL IMPROVEMENTS SHALL CONFORM WITH THE LATEST EDITION OF CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL / CDOT STANDARDS, THE CITY OF CHARLOTTE ZONING AND SUBDIVISION ORDINANCES.
- 4. "STD." NUMBERS REFER TO THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL
- 5. THE CONTRACTOR IS TOTALLY RESPONSIBLE FOR OBTAINING LOCATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 6. CDOT / CITY OF CHARLOTTE ENGINEERING DEPARTMENT IS TO BE NOTIFIED 48 HOURS IN ADVANCE OF THE COMMENCEMENT OF CONSTRUCTION.
- 7. HANDICAP ACCESSIBLE RAMPS REQUIRED AT ALL INTERSECTIONS.
- 8. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM 50.05 (9" SIGNS ONLY).
- 10. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- 11. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.
- 12. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- 13. IN ORDER TO INSURE PROPER DRAINAGE, KEEP A MINIMUM 0.5% SLOPE ON THE CURB.
- 14. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR AND APPROVED BY CDOT.
- 15. CURB AND GUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS. ANY CHANGES WILL BE APPROVED BY ALL AGENTS.
- 16. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- 17. HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE NCDOT / CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE INSPECTORS PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.

18. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS

- 19. ANY BUILDING WITHIN THE 100+1 STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE CITY OF CHARLOTTE SUBDIVISION ORDINANCE, SECTION
- 20. ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS 0.1' FLOODWAY ENCROACHMENT AREA IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
- 21. ALL OPENINGS (E.G., DOORS, WINDOWS, VENTS) IN STRUCTURES BUILT ON LOTS SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED
- GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100+1 FLOOD ANALYSIS). 22. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION
- 23. NON-STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE
- 24. MINIMUM COVER ON STORM DRAIN PIPE SHALL BE TWO FEET, UNLESS THE PIPE IS A REINFORCED CONCRETE PIPE WITH CLASS IV REINFORCING, IN WHICH CASE IT
- SHALL HAVE A MINIMUM OF ONE FOOT OF COVER AND APPROVED BY CDOT. 25. CATCH BASINS AT INTERSECTIONS SHALL BE BUILT AT LEAST 3.5 FEET (3'-6") FROM RADIUS POINTS, REGARDLESS OF HOW DRAWING MAY APPEAR (SEE CLDSM 10.30
- FOR MORE DETAIL).
- 26. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
- 27. COMMON OPEN SPACE IN THE DEVELOPMENT SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.

DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.

- 28. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- 29. PER SECTION 18-175(e) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCCEs) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

#### S.W.I.M. BUFFER NOTES:

- 1. THE STREAMSIDE ZONE OF THE BUFFER MUST BE LEFT COMPLETELY UNDISTURBED. IN THE MANAGED USE ZONE, A LIMITED NUMBER OF TREES CAN BE REMOVED PROVIDED THAT THE TREE DENSITY REMAINING IS A MINIMUM OF 8 HEALTHY TREES OF A MINIMUM 6-INCH CALIPER PER 1,000 SQUARE FEET. REMOVAL OF EXISITING VEGETATION MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF REMAINING TREES.
- 2. PLANS CLEARLY INDICATE THAT NO FILL MATERIAL IS TO BE BROUGHT INTO THE BUFFER AND THAT NO STRUCTURES ARE ALLOWED WITHIN ANY OF THE BUFFER AREAS (EXCEPT NON-COMMERCIAL OUT BUILDINGS NOT EXCEEDING 150 SQUARE FEET).
- 3. GRADING AND OTHER LAND DISTURBING ACTIVITIES ARE ALLOWED ONLY IN THE UPLAND ZONE; HOWEVER, THESE ACTIVITIES MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF REMAINING TREES. GRASS OR OTHER SUITABLE GROUND COVER CAN BE APPLIED TO THE UPLAND ZONE.
- 4. THE OUTSIDE BOUNDARY OF THE BUFFER MUST BE CLEARLY MARKED WITH ORANGE FABRIC FENCING PRIOR TO ANY LAND DISTURBING ACTIVITIES (GRADING, TREE CUTTING OR STUMPING, ETC.) AT THE SITE AND THIS FENCING MUST BE CALLED OUT ON THE PLANS.
- 5. THE OUTSIDE BOUNDARY OF THE STREAM BUFFER MUST BE PERMANENTLY MARKED WITH AN IRON PIN OR OTHER ACCEPTABLE PROPERTY CORNER MARKER AT STREET CROSSINGS AS SHOWN ON THE PLANS.

#### **CLDSM SITE/STORM DRAINAGE DETAIL SPECIFICATIONS**

10.17A, 10.17B & 10.17C	CLDSM	CURB & GUTTER
10.19	CLDSM	CURB TRANSITION
10.22	CLDSM	CONCRETE SIDEWALKS
10.27A	CLDSM	RESIDENTIAL DRIVEWAYS
10.29	CLDSM	CATCH BASIN IN VALLEY GUTTER
10.30	CLDSM	CATCH BASIN PLACEMENT AT INTERSECTION
11.09	CLDSM	ARTERIAL STREET TYPICAL SECTIONS
11.21	CLDSM	OVERSIZED RESIDENTIAL CUL-DE-SAC W/ RAISED ISLAND
20.00A, 20.00B & 20.00C	CLDSM	NCDOT STANDARDS APPROVED FOR USE IN THE CITY OF CHARLOTTE
20.17A & 20.17B	CLDSM	CONCRETE WINGWALL
20.23	CLDSM	RIPRAP APRON AT PIPE OUTFALLS OTHER THAN SWIM
20.23A	CLDSM	FLARED END SECTION 12" THRU 72" PIPE
20.25	CLDSM	TRENCH DETAIL FOR STORM DRAIN
20.29	CLDSM	OVERLAPPING STORM DRAINAGE/SANITARY SEWER EASMENTS
20.30	CLDSM	MINIMUM DRAINAGE EASEMENTS
20.35	CLDSM	GRADING AT DROP INLET
50.05A, 50.05B & 50.06	CLDSM	STREET NAME SIGN DETAILS
50.07A & 50.07B	CLDSM	DEAD END STREET BARRICADE
50.08A & 50.08B	CLDSM	END OF ROADWAY MARKER
U-02	CLDSM	LOCAL RESIDENTIAL MEDIUM STREET SECTION

CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE CURRENT VERSION OF THESE SPECIFICATIONS AND CONSTRUCTING ALL SITE IMPROVEMENTS IN ACCORDANCE WITH THE CURRENT SPECIFICATIONS.

#### NCDOT ROADWAY STANDARD DRAWING SPECIFICATIONS (2012)

200.02	NCDOT	METHOD OF CLEARING - METHOD II
225.02	NCDOT	GUIDE FOR GRADING SUBGRADE - SECONDARY & LOCAL
300.01	NCDOT	METHOD OF PIPE INSTALLATION - METHOD "A"
840.02	NCDOT	CONCRETE CATCH BASIN 12" THRU 54" PIPE
840.03	NCDOT	FRAME, GRATES AND HOOD FOR USE ON STANDARD CATCH BASIN
840.04	NCDOT	CONCRETE OPEN THROAT CATCH BASIN 12" THRU 48" PIPE
840.52	NCDOT	CONCRETE JUNCTION BOX 12" THRU 48" PIPE (MANHOLE)
840.54	NCDOT	MANHOLE FRAME AND COVER
840.71	NCDOT	CONCRETE AND BRICK PIPE PLUG
846.01	NCDOT	CONCRETE CURB, GUTTER AND CURB & GUTTER
848.01	NCDOT	CONCRETE SIDEWALK
848.05	NCDOT	WHEELCHAIR RAMP - CURB CUT
876.02	NCDOT	GUIDE FOR RIP RAP AT PIPE OUTLETS
1101.01	NCDOT	WORK ZONE ADVANCE WARNING SIGNS
1101.02	NCDOT	TEMPORARY LANE CLOSURES
1101.04	NCDOT	TEMPORARY SHOULDER CLOSURES
1101.05	NCDOT	WORK ZONE VEHICLE ACCESSES
1101.11	NCDOT	TRAFFIC CONTROL DESIGN TABLES
1110.02	NCDOT	PORTABLE WORK ZONE SIGNS - MOUNTING HEIGHT & LATERAL CLEARANCE
1115.01	NCDOT	FLASHING ARROW PANELS
1130.01	NCDOT	DRUMS
1135.01	NCDOT	CONES
1145.01	NCDOT	BARRICADES - TYPE III
1150.01	NCDOT	FLAGGING DEVICES
1205.01	NCDOT	PAVEMENT MARKINGS - LINE TYPES & OFFSETS
1205.02	NCDOT	PAVEMENT MARKINGS - DIVIDED & UNDIVIDED ROADWAYS
1205.04	NCDOT	PAVEMENT MARKINGS - INTERSECTIONS
1205.05	NCDOT	PAVEMENT MARKINGS TURN LANES
1205.09	NCDOT	PAVEMENT MARKINGS - PAINTED ISLANDS

ALL DRAINAGE FACILITIES, CURB CUTS, AND CURB RAMPS MUST BE CONSTRUCTED IN COMPLIANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL AND NCDOT ROADWAY STANDARD DRAWINGS AND COORDINATED WITH ENGINEERING AND PROPERTY MANAGEMENT AND NCDOT.

ALL PAVEMENT MARKINGS MUST BE RETROREFLECTIVE THERMOPLASTIC AND CONFORM TO ALL CDOT STANDARDS.

#### **RETAINING WALL NOTES**

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING ALL RETAINING WALLS DESIGNED AND SEALED BY A PROFESSIONAL ENGINEER. REGISTERED IN THE STATE OF NORTH CAROLINA, WHO IS EXPERIENCED AND QUALIFIED IN SUCH WORK.
- 2. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A BUILDING PERMIT FOR RETAINING WALL CONSTRUCTION PER STATE AND LOCAL **BUILDING CODES.**
- 3. CONTRACTOR AND CONTRACTOR'S REGISTERED PROFESSIONAL ENGINEER ARE RESPONSIBLE FOR VERIFYING THE DESIGN SOIL PARAMETERS INDICATED IN THE GEOTECHNICAL REPORT. THESE VALUES INCLUDE, BUT NOT LIMITED TO: FRICTION ANGLE (PHI). COHESION COEFFICIENT (C), SOIL UNIT WEIGHT, SOIL CLASSIFICATION, AND RECOMMENDED LATERAL EARTH PRESSURE COEFFICIENTS FOR REINFORCED ZONE SOIL, RETAINED ZONE SOIL, AND FOUNDATION ZONE SOIL COMPONENTS AS DETERMINED FROM THE FOLLOWING LABORATORY TESTS:
  - A. STANDARD PROCTOR
  - B. ATTERBERG LIMITS C. GRAIN SIZE ANALYSIS
  - D. TRIAXIAL SHEAR
- 4. CONTRACTOR AND CONTRACTOR'S REGISTERED PROFESSIONAL ENGINEER ARE RESPONSIBLE FOR PERFORMING OR CAUSING TO BE PERFORMED ANY REQUIRED TESTS, STUDIES, ANALYSES, ETC THAT MAY BE NEEDED TO SUPPORT THE DESIGN OF THE RETAINING WALLS - MINIMUM REQUIREMENTS INCLUDE THE FOLLOWING:
- A. GLOBAL STABILITY
- B. SLIDING C. OVERTURNING
- D. ECCENTRICITY
- E. BEARING FAILURE F. EXCESSIVE SETTLEMENT
- G. INTERNAL STABILITY
- H. OUTSIDE INFLUENCING FORCES INCLUDED IN DESIGN
- 5. CONTRACTOR AND CONTRACTOR'S REGISTERED PROFESSIONAL ENGINEER MAY NOT EXCLUDE OR ASSIGN TO OTHERS ANY OF THE OBLIGATIONS OR ITEMS NOTED ABOVE.
- 6. A STATEMENT OF SPECIAL INSPECTIONS SHALL BE SUBMITTED BY THE CONTRACTOR'S PROFESSIONAL ENGINEER RESPONSIBLE FOR THE RETAINING WALL DESIGN AS A CONDITION FOR PERMIT ISSUANCE IN ACCORDANCE WITH THE SPECIAL INSPECTION REQUIREMENTS OF THE NORTH CAROLINA STATE BUILDING CODE.
- 7. A FINAL REPORT OF SPECIAL INSPECTIONS, DOCUMENTING THE COMPLETION OF ALL SPECIAL INSPECTIONS AND CONFIRMING THE CORRECTION OF ANY DISCREPANCIES. SHALL BE SUBMITTED PRIOR TO ISSUANCE OF A CERTIFICATE OF USE AND OCCUPANCY.
- 8. OWNER SHALL BE RESPONSIBLE FOR HAVING A PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF NORTH CAROLINA, CERTIFY THAT THE RETAINING WALL(S) WERE BUILT IN CONFORMANCE WITH THE RETAINING WALL DRAWINGS, THESE SPECIFIC NOTES, AND THE CONSTRUCTION DOCUMENTS.
- 9. CONTRACTOR SHALL INSTALL FENCING ALONG THE TOP OF RETAINING WALLS. FENCE TYPE, LENGTH AND HEIGHT SHALL BE PER OWNER SPECIFICATIONS AND IN ACCORDANCE WITH CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS.

#### **GENERAL NOTES:**

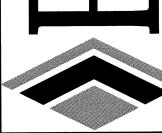
- 1. NO OBSTRUCTIONS, PLANTINGS, OR FENCING WILL BE ALLOWED WITHIN SIGHT DISTANCE EASEMENTS AS SHOWN
- 2. PERMANENT BENCHMARK FOR THIS SITE IS:

NCGS MONUMENT "MO59" NC GRID COORDS

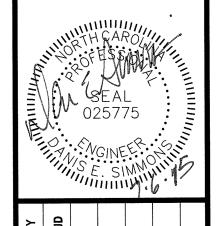
N=533,827.67 E=1,489,969.58 ELEV=714.8 (NAVD 88)

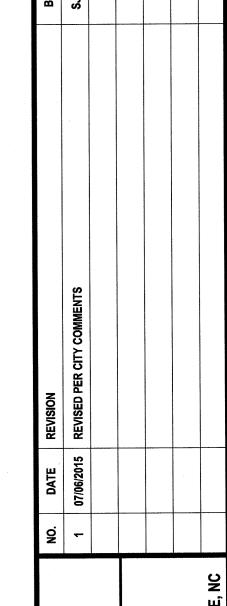
- ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE FOR LESS THAN 30 DAYS REQUIRES A R/W USE PERMIT. TRAFFIC CONTROL PLANS FOR ANY SIDEWALK OR TRAVEL LANE CLOSURES MUST BE SUBMITTED AS PART OF THE R/W USE PERMIT REQUEST. TRAFFIC CONTROL PLANS MUST BE IN ACCORDANCE WITH CDOT'S WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) AND MUST BE REVIEWED AND APPROVED. CONTRACTOR SHALL CONTACT CDOT AT LEAST 5 BUSINESS DAYS IN ADVANCE OF BEGINNING OF WORK AT (704) 432-1562.
- CONSTRUCTION STAGING WITHIN CITY R/W LASTING MORE THAN 30 DAYS REQUIRES A R/W LEASE AGREEMENT. PLEASE SEE NOTE #6 BELOW FOR DETAILS, CONTRACTOR SHALL CONTACT CDOT AT (704) 336 - 2562.
- NON-STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE CITY R/W REQUIRES A R/W ENCROACHMENT AGREEMENT WITH COOT BEFORE INSTALLATION, CONTACT COOT AT (704) 336 - 3888.
- RIGHT-OF-WAY CLOSURES LONGER THAN 30 DAYS REQUIRE A R/W LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN. THE TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR START OF R/W CLOSURES. CONTRACTOR SHALL CONTACT CDOT AT (704) 336 - 2562 IF R/W CLOSURE EXCEEDS 30









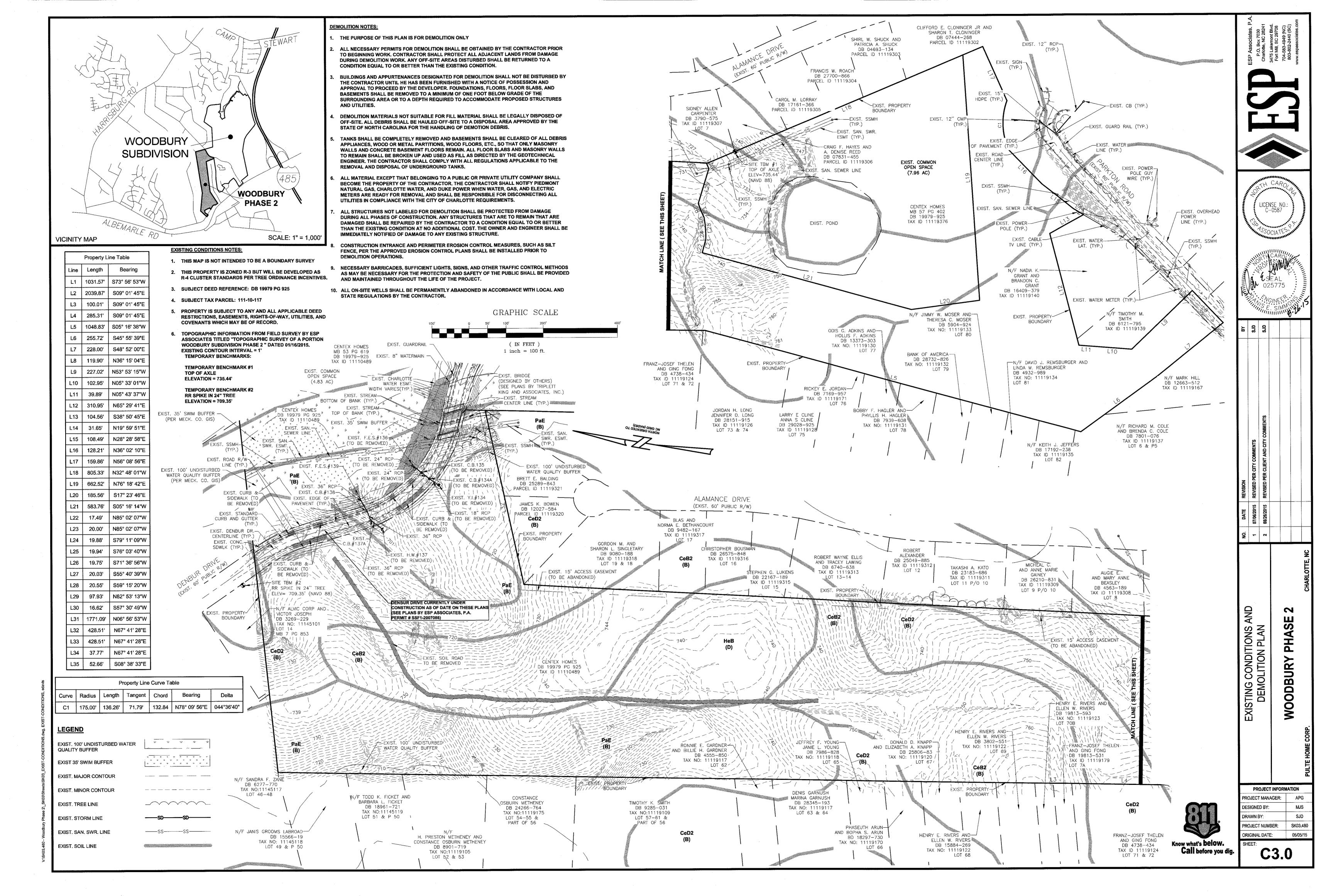


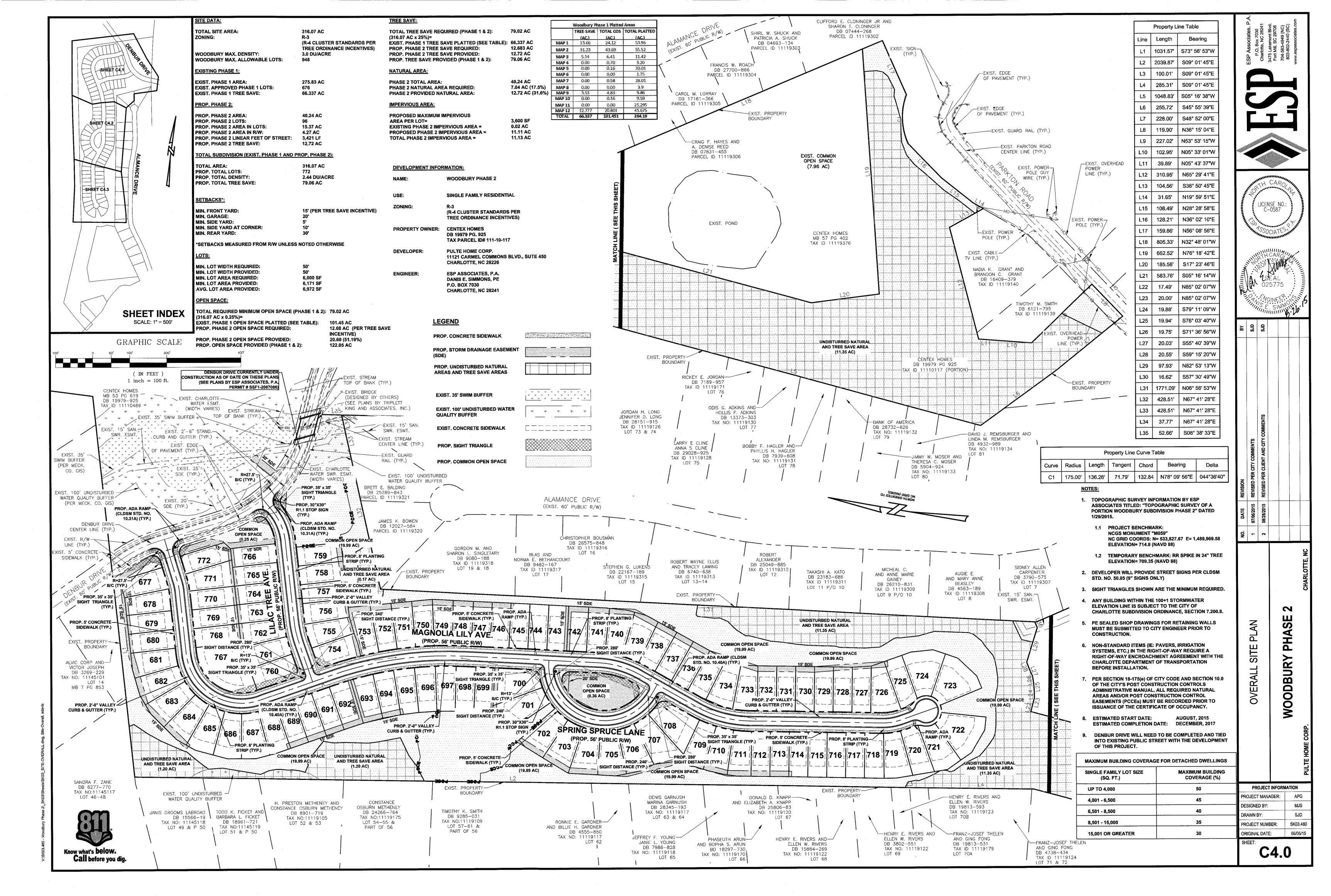
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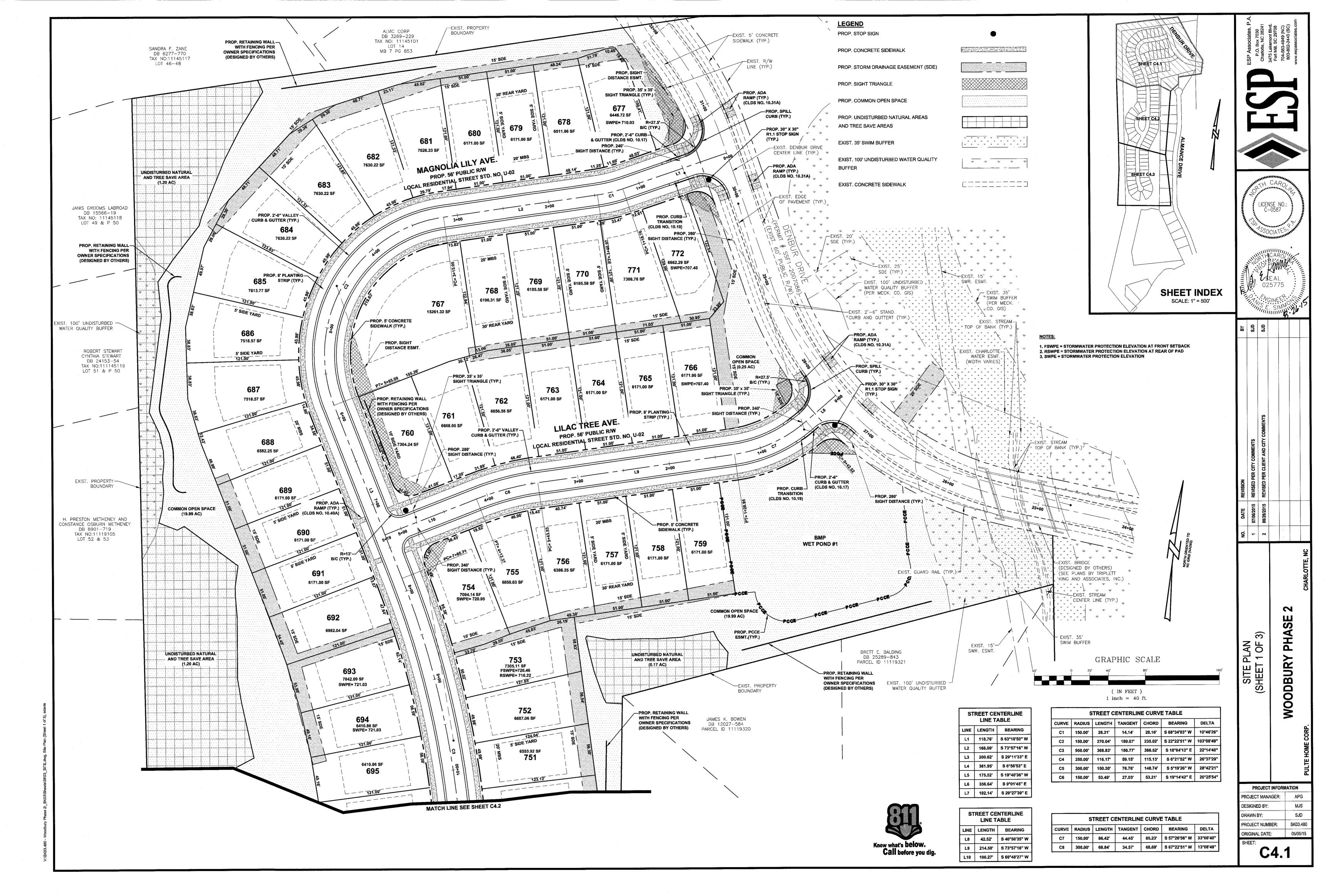
PROJECT INFORMATION

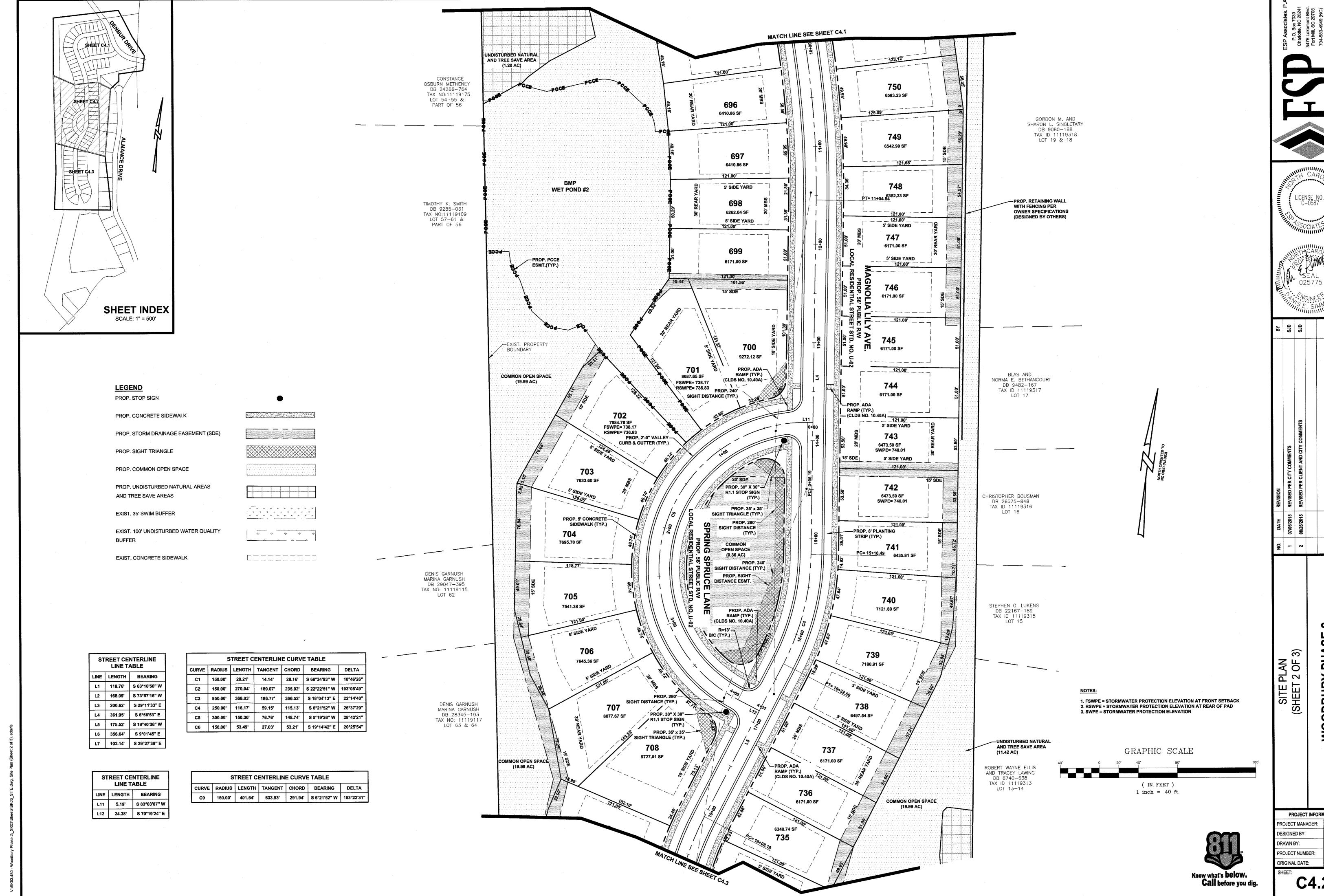
PROJECT MANAGER: DESIGNED BY: DRAWN BY: PROJECT NUMBER: SK03.480

05/05/15 ORIGINAL DATE:

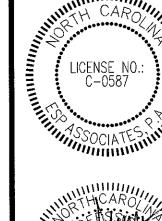


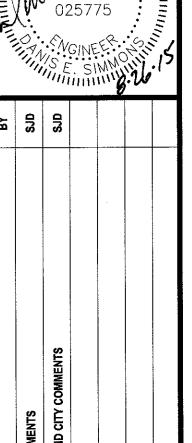






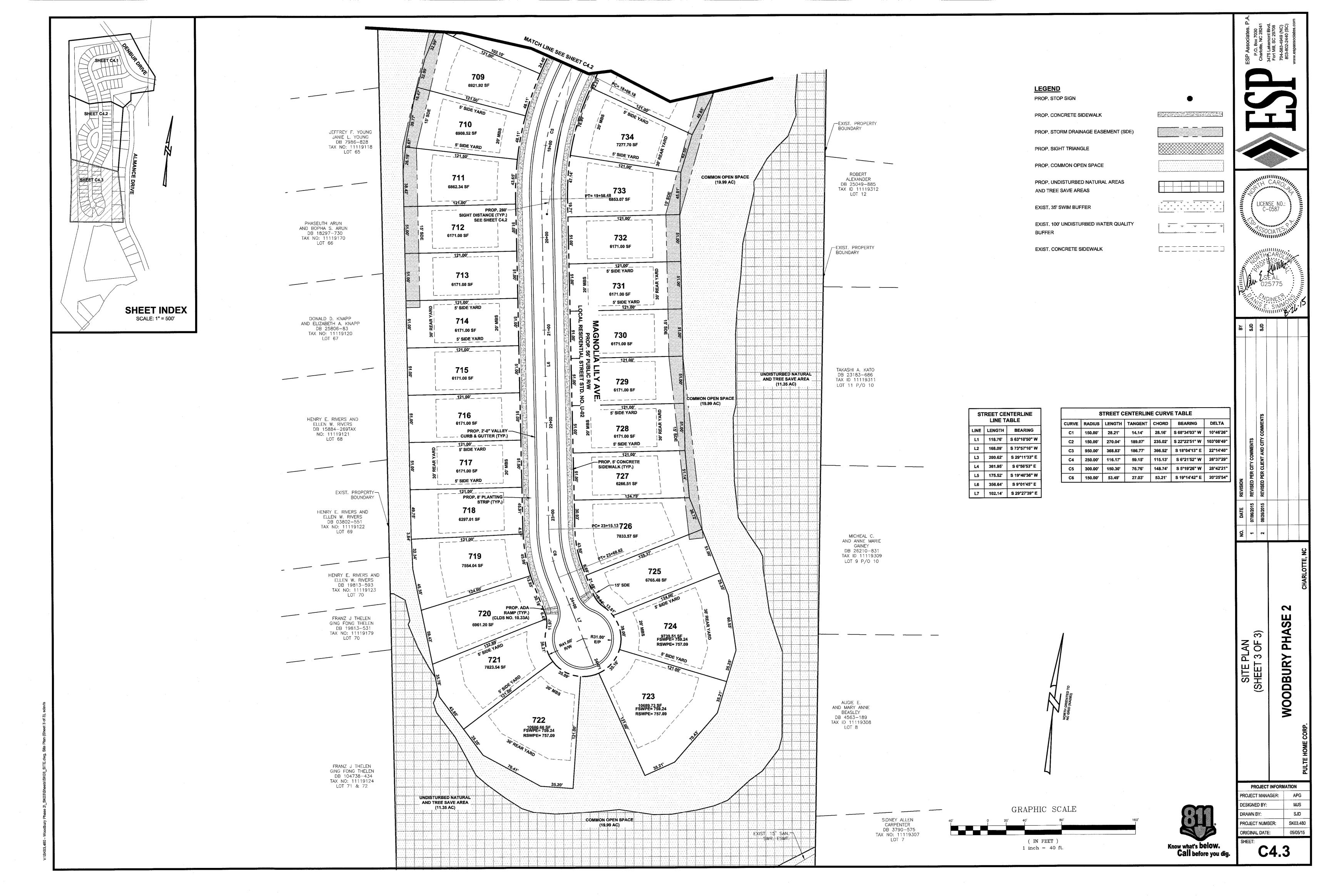


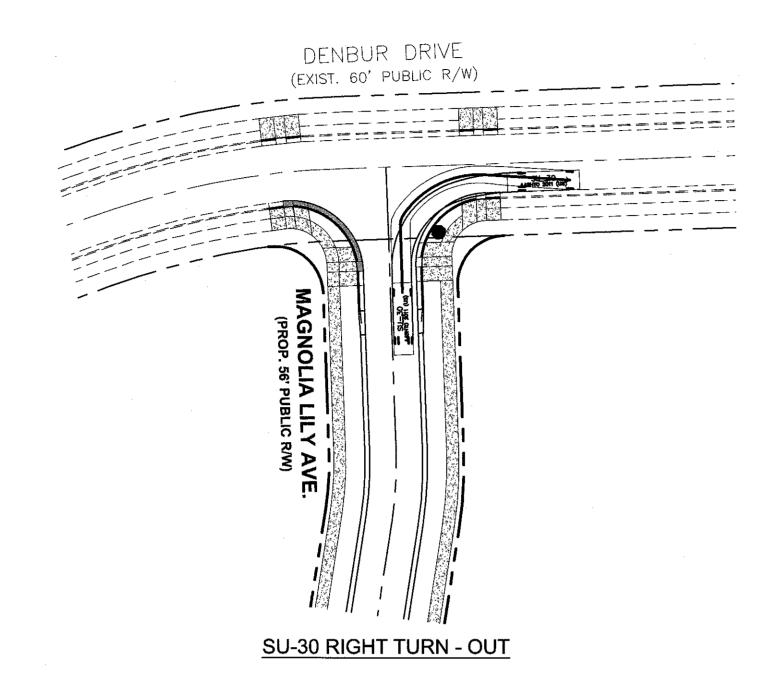


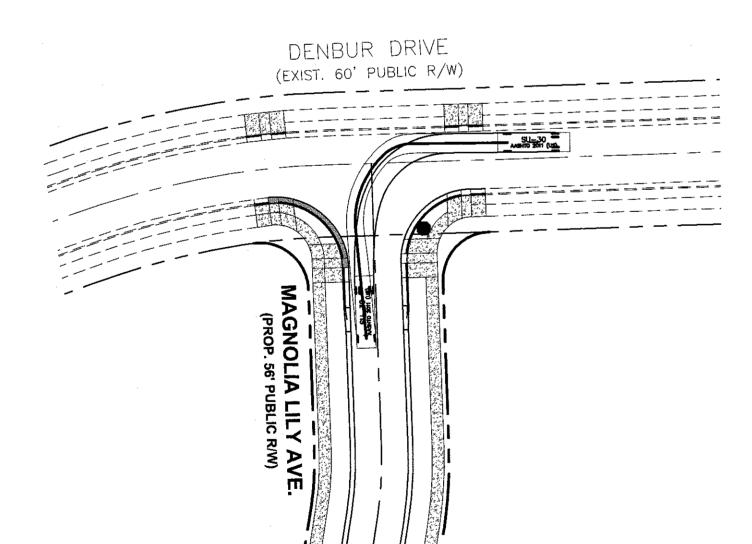


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AGER:	APG	
	MJS	
	SJD	

PROJECT NUMBER: SK03.480

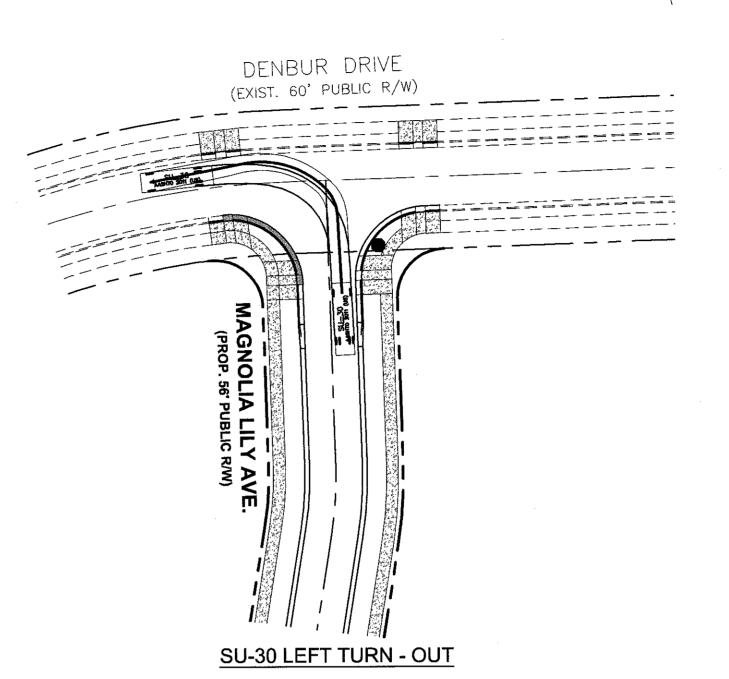


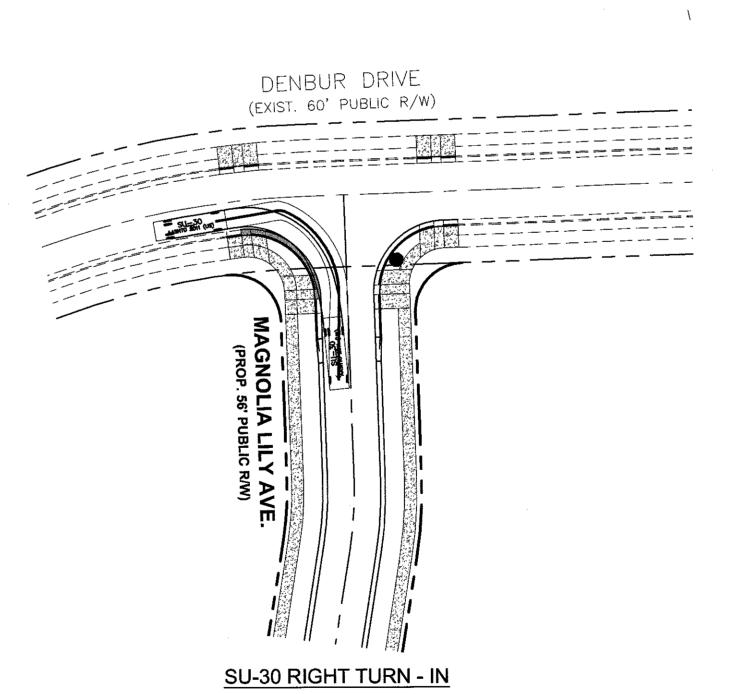


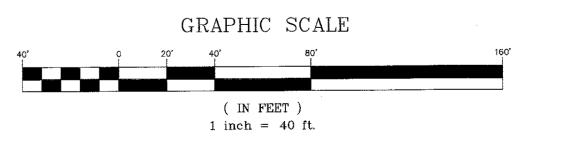


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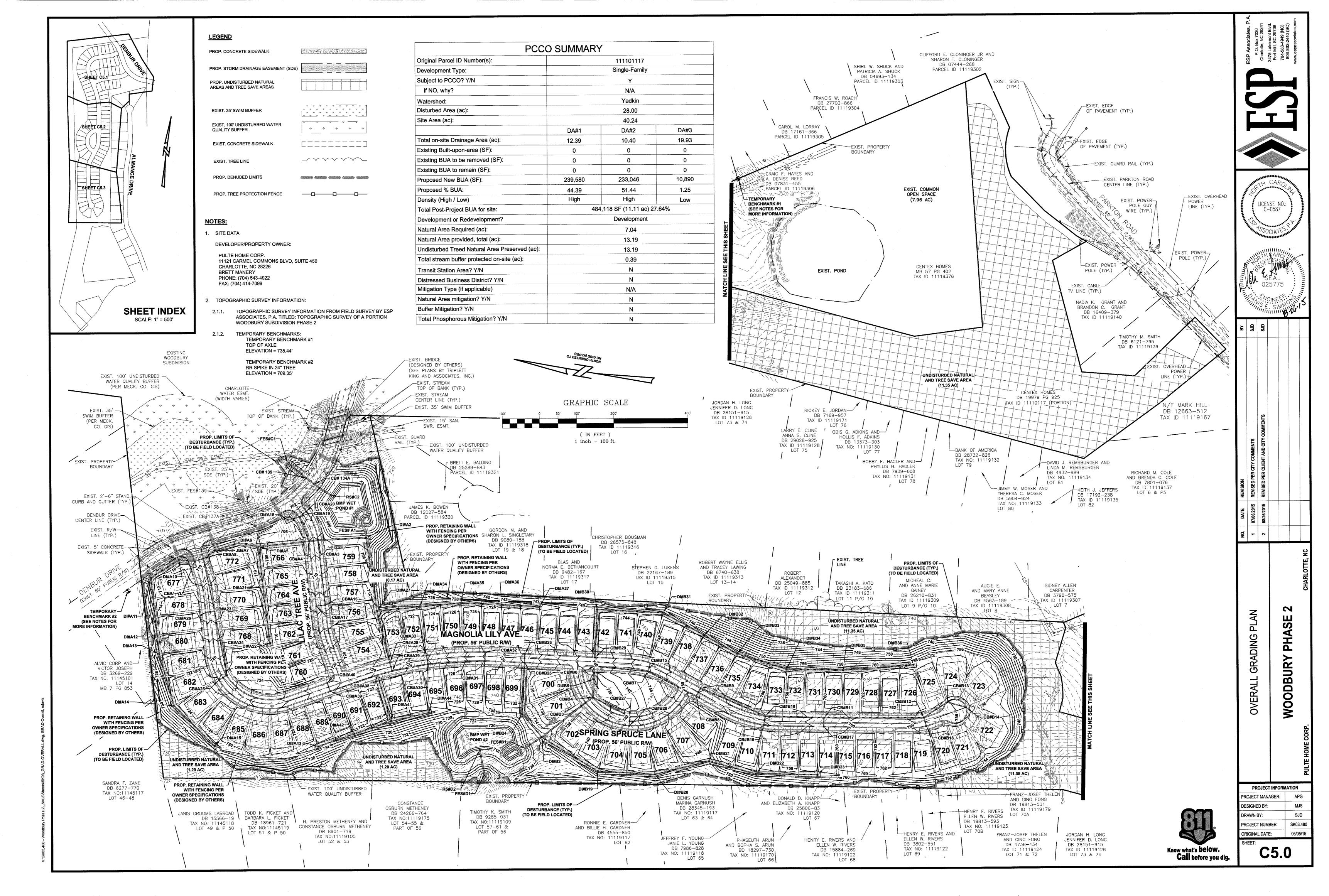


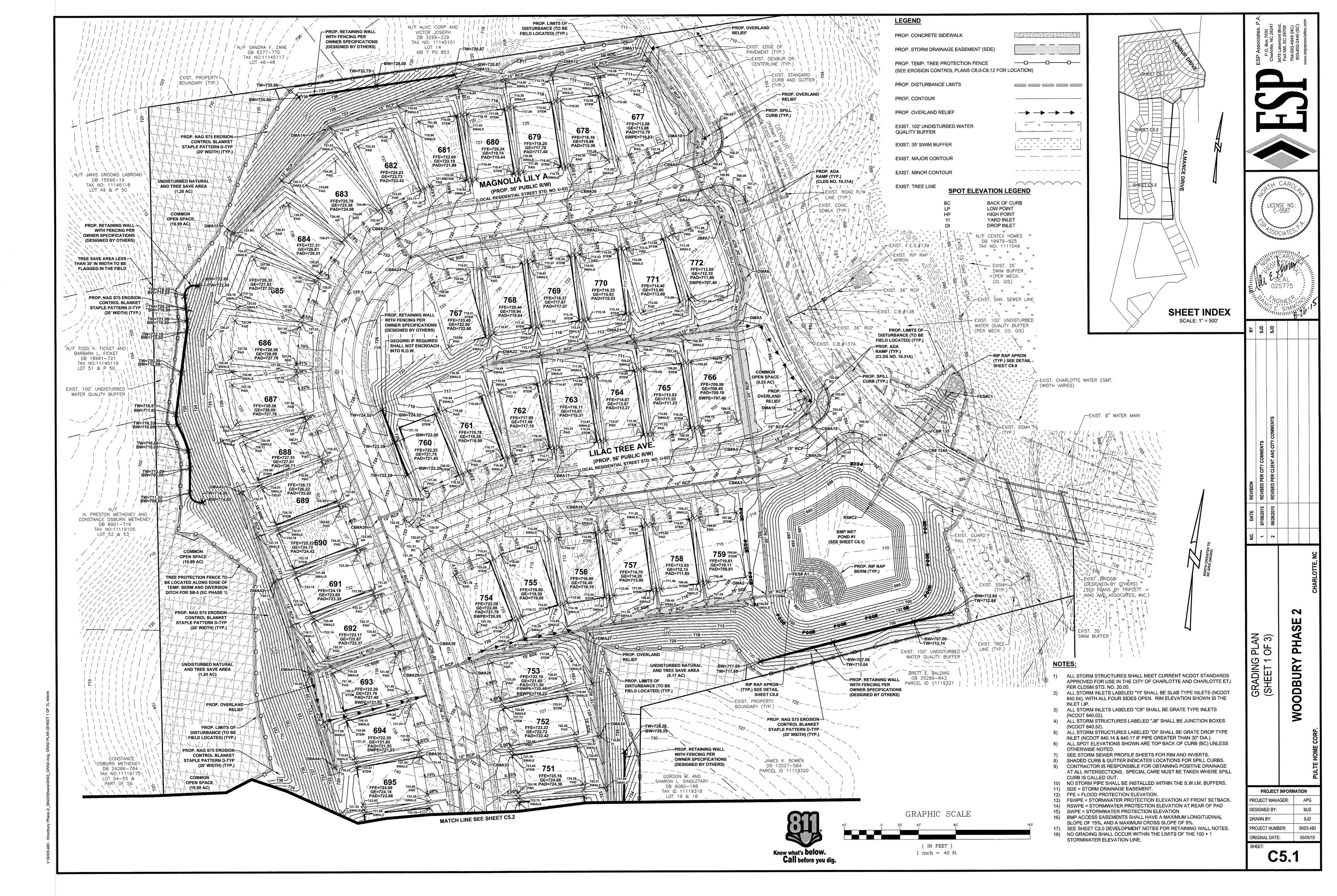


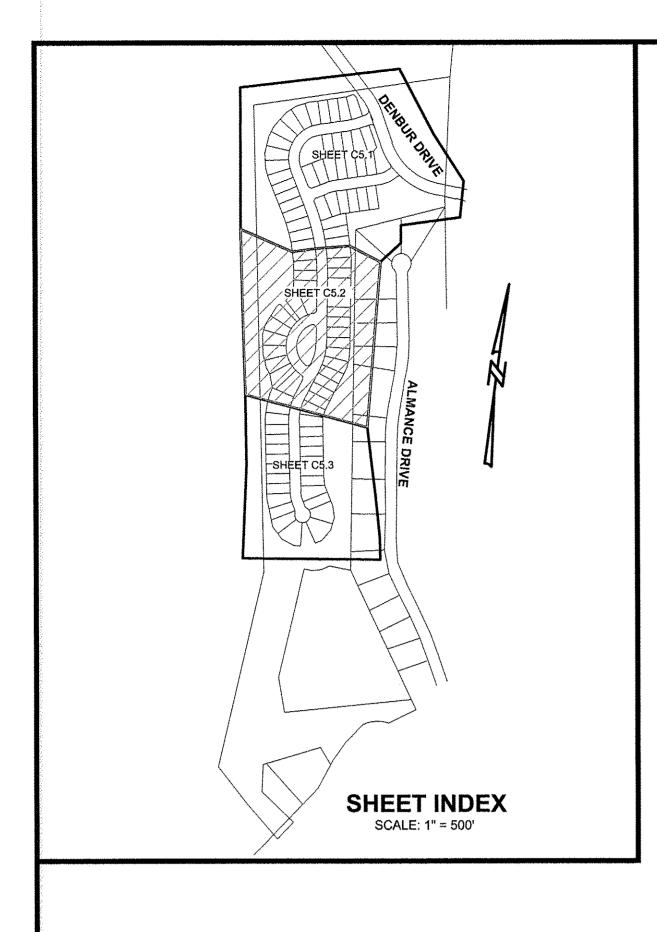




REVISION	REVISED PER CLIENT AND CITY COMMENTS					
DATE	08/26/2015					
NO.	-					
	DENBUR DRIVE TURNING MOVEMENTS	OJECT		WOODRIEV PHASE 2		PULTE HOME CORP. CHARLOTTE, NC
	DJECT	OJECT MANA D BY:			AP(	
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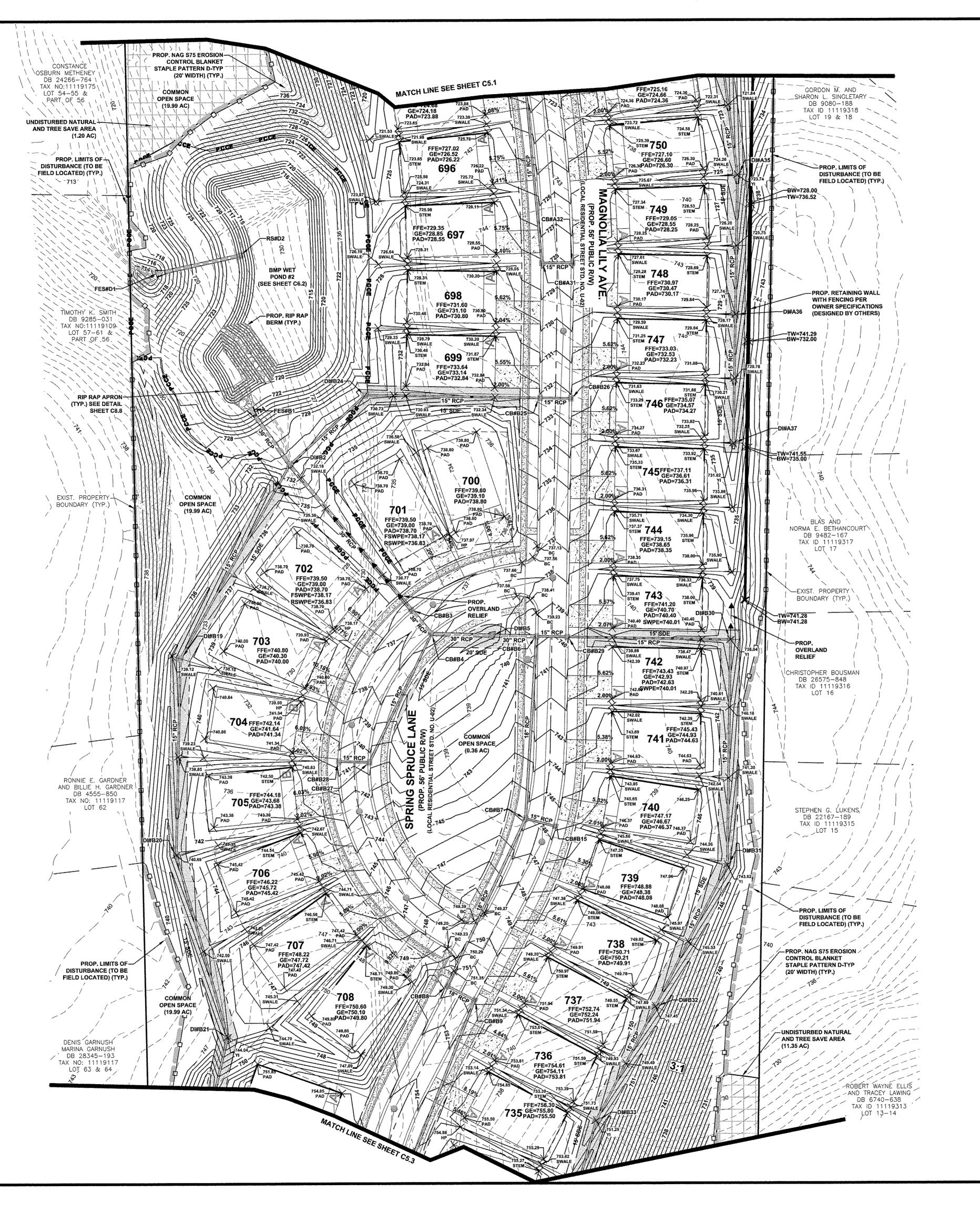
### LEGEND

EXIST. TREE LINE

PROP, CONCRETE SIDEWALK PROP. STORM DRAINAGE EASEMENT (SDE) PROP. TEMP. TREE PROTECTION FENCE \_\_\_\_\_ (SEE EROSION CONTROL PLANS C8.0-C8.12 FOR LOCATION) PROP. DISTURBANCE LIMITS PROP, CONTOUR PROP. OVERLAND RELIEF EXIST. 100' UNDISTURBED WATER QUALITY BUFFER EXIST. 35' SWIM BUFFER EXIST. MAJOR CONTOUR EXIST. MINOR CONTOUR  $\sim\sim\sim\sim\sim$ 

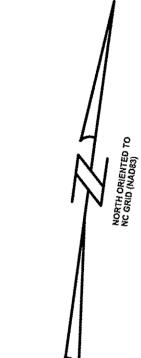
> BACK OF CURB LOW POINT HIGH POINT YARD INLET DROP INLET

SPOT ELEVATION LEGEND



#### NOTES:

- 1) ALL STORM STRUCTURES SHALL MEET CURRENT NCDOT STANDARDS APPROVED FOR USE IN THE CITY OF CHARLOTTE AND CHARLOTTE ETJ PER CLDSM STD. NO. 20.00.
- 2) ALL STORM INLETS LABELED "YI" SHALL BE SLAB TYPE INLETS (NCDOT 840.04), WITH ALL FOUR SIDES OPEN. RIM ELEVATION SHOWN IS THE
- 3) ALL STORM INLETS LABELED "CB" SHALL BE GRATE TYPE INLETS
- (NCDOT 840.02). ALL STORM STRUCTURES LABELED "JB" SHALL BE JUNCTION BOXES
- (NCDOT 840.52). ALL STORM STRUCTURES LABELED "DI" SHALL BE GRATE DROP TYPE
- INLET (NCDOT 840.14 & 840.17 IF PIPE GREATER THAN 30" DIA.) 6) ALL SPOT ELEVATIONS SHOWN ARE TOP BACK OF CURB (BC) UNLESS
- OTHERWISE NOTED.
- SEE STORM SEWER PROFILE SHEETS FOR RIM AND INVERTS. SHADED CURB & GUTTER INDICATES LOCATIONS FOR SPILL CURBS.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING POSITIVE DRAINAGE AT ALL INTERSECTIONS. SPECIAL CARE MUST BE TAKEN WHERE SPILL
- CURB IS CALLED OUT. 10) NO STORM PIPE SHALL BE INSTALLED WITHIN THE S.W.I.M. BUFFERS.
- 11) SDE = STORM DRAINAGE EASEMENT.
- 12) FPE = FLOOD PROTECTION ELEVATION.
- 13) FSWPE = STORMWATER PROTECTION ELEVATION AT FRONT SETBACK. 14) RSWPE = STORMWATER PROTECTION ELEVATION AT REAR OF PAD
- 15) SWPE = STORMWATER PROTECTION ELEVATION
- 16) BMP ACCESS EASEMENTS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15%, AND A MAXIMUM CROSS SLOPE OF 5%.
- 17) SEE SHEET C2.0 DEVELOPMENT NOTES FOR RETAINING WALL NOTES. 18) NO GRADING SHALL OCCUR WITHIN THE LIMITS OF THE 100 + 1
- STORMWATER ELEVATION LINE.



GRAPHIC SCALE

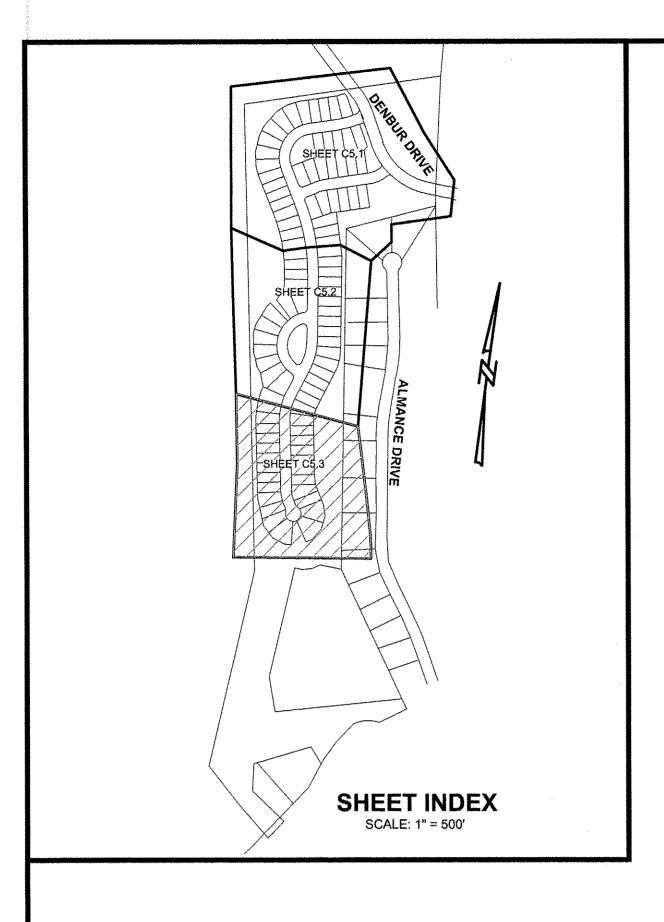
( IN FEET ) 1 inch = 40 ft.



Call before you dig.

2 SE A S S GRADING (SHEET 2 WOODBURY PROJECT INFORMATION

PROJECT MANAGER: DESIGNED BY: DRAWN BY: PROJECT NUMBER: SK03.480 RIGINAL DATE:



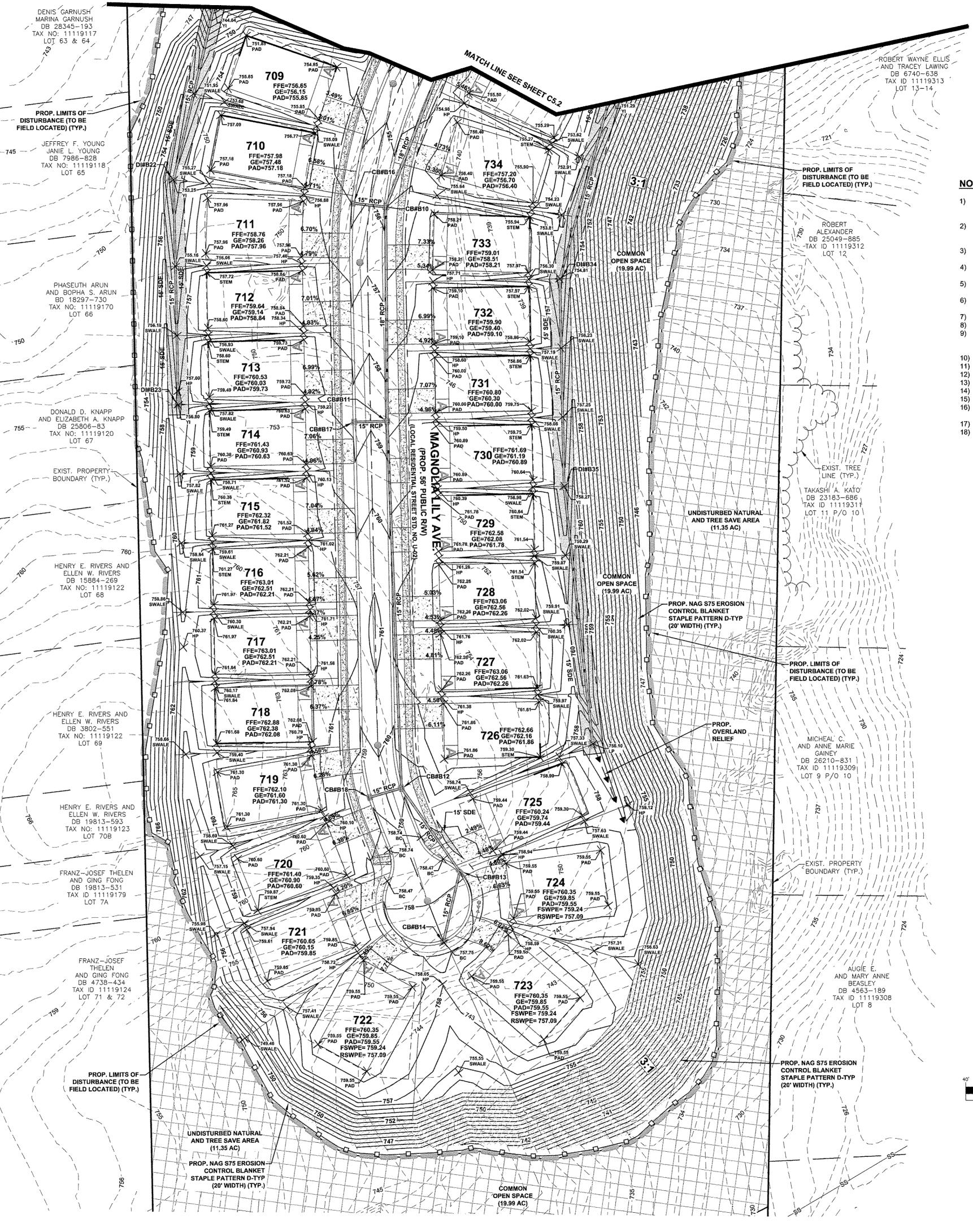
#### **LEGEND**

EXIST. TREE LINE

PROP. CONCRETE SIDEWALK PROP. STORM DRAINAGE EASEMENT (SDE) PROP. TEMP. TREE PROTECTION FENCE \_\_\_\_\_\_\_ (SEE EROSION CONTROL PLANS C8.0-C8.12 FOR LOCATION) PROP. DISTURBANCE LIMITS PROP. CONTOUR PROP. OVERLAND RELIEF EXIST. 100' UNDISTURBED WATER QUALITY BUFFER EXIST. 35' SWIM BUFFER supplies been well with the second EXIST. MAJOR CONTOUR EXIST, MINOR CONTOUR  $\sim\sim\sim\sim$ 

> BACK OF CURB LOW POINT HIGH POINT YARD INLET DROP INLET

SPOT ELEVATION LEGEND



- ALL STORM STRUCTURES SHALL MEET CURRENT NCDOT STANDARDS APPROVED FOR USE IN THE CITY OF CHARLOTTE AND CHARLOTTE ETJ PER CLDSM STD. NO. 20.00.
- ALL STORM INLETS LABELED "YI" SHALL BE SLAB TYPE INLETS (NCDOT 840.04), WITH ALL FOUR SIDES OPEN. RIM ELEVATION SHOWN IS THE INLET LIP.
- 3) ALL STORM INLETS LABELED "CB" SHALL BE GRATE TYPE INLETS (NCDOT 840.02).
- ALL STORM STRUCTURES LABELED "JB" SHALL BE JUNCTION BOXES (NCDOT 840.52).
- 5) ALL STORM STRUCTURES LABELED "DI" SHALL BE GRATE DROP TYPE
- INLET (NCDOT 840.14 & 840.17 IF PIPE GREATER THAN 30" DIA.)

  6) ALL SPOT ELEVATIONS SHOWN ARE TOP BACK OF CURB (BC) UNLESS OTHERWISE NOTED.
- 7) SEE STORM SEWER PROFILE SHEETS FOR RIM AND INVERTS.
  8) SHADED CURB & GUTTER INDICATES LOCATIONS FOR SPILL CURBS.
- 9) CONTRACTOR IS RESPONSIBLE FOR OBTAINING POSITIVE DRAINAGE AT ALL INTERSECTIONS. SPECIAL CARE MUST BE TAKEN WHERE SPILL CURB IS CALLED OUT.
- 10) NO STORM PIPE SHALL BE INSTALLED WITHIN THE S.W.I.M. BUFFERS.
   11) SDE = STORM DRAINAGE EASEMENT.
- 12) FPE = FLOOD PROTECTION ELEVATION.
- 13) FSWPE = STORMWATER PROTECTION ELEVATION AT FRONT SETBACK.
   14) RSWPE = STORMWATER PROTECTION ELEVATION AT REAR OF PAD
- 15) SWPE = STORMWATER PROTECTION ELEVATION
   16) BMP ACCESS EASEMENTS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15%, AND A MAXIMUM CROSS SLOPE OF 5%.
- 17) SEE SHEET C2.0 DEVELOPMENT NOTES FOR RETAINING WALL NOTES.
   18) NO GRADING SHALL OCCUR WITHIN THE LIMITS OF THE 100 + 1 STORMWATER ELEVATION LINE.

NO. DATE REVISION
1 07/06/2015 REVISED PER CITY COMMENTS
2 08/26/2015 REVISED PER CLIENT AND CITY COMMENTS

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WOODBURY

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GRADING F (SHEET 3 (

NORTH ORIENTED TO

GRAPHIC SCALE

( IN FEET )
1 inch = 40 ft.



PROJECT MANAGER:

DESIGNED BY:

DRAWN BY:

PROJECT NUMBER:

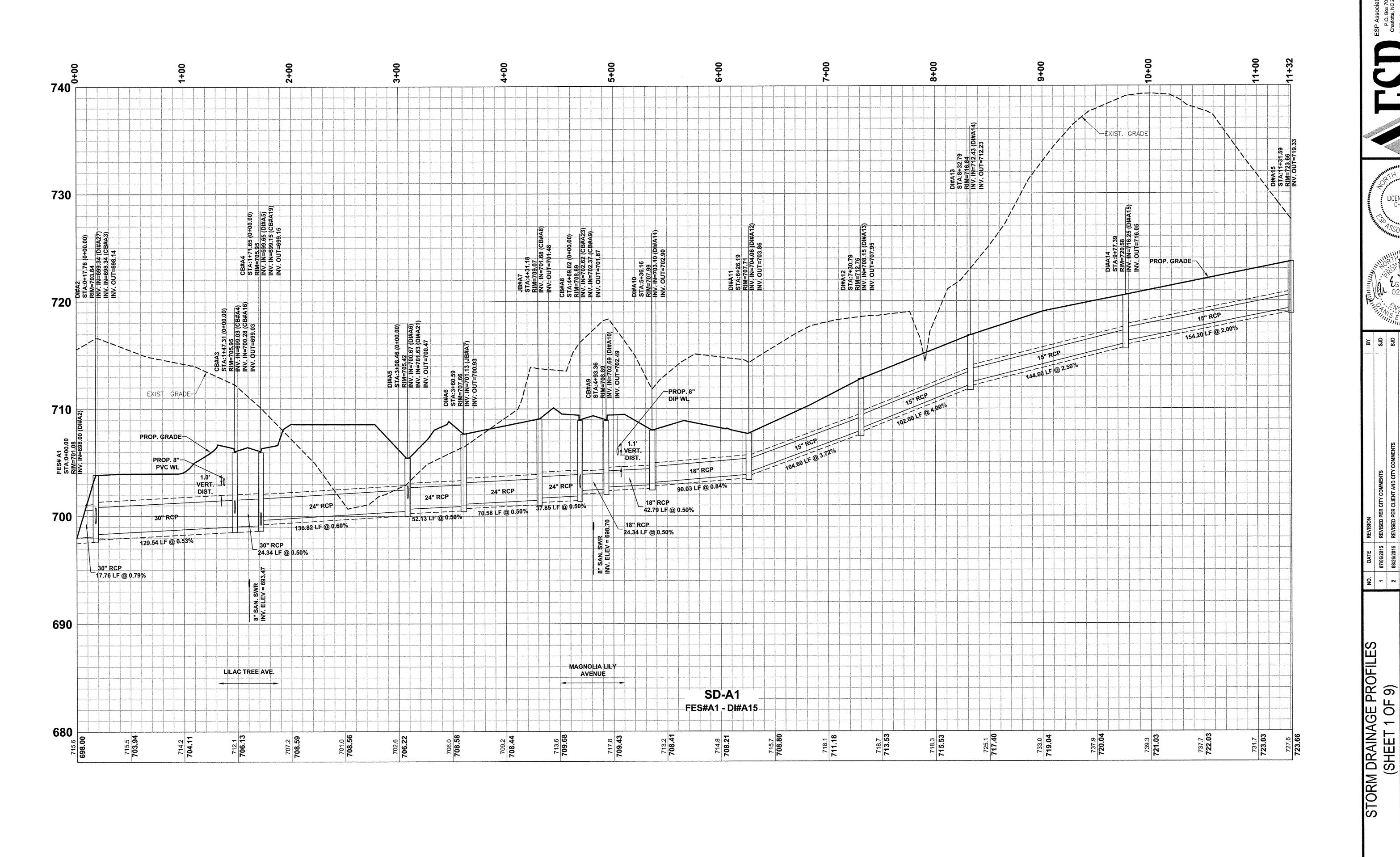
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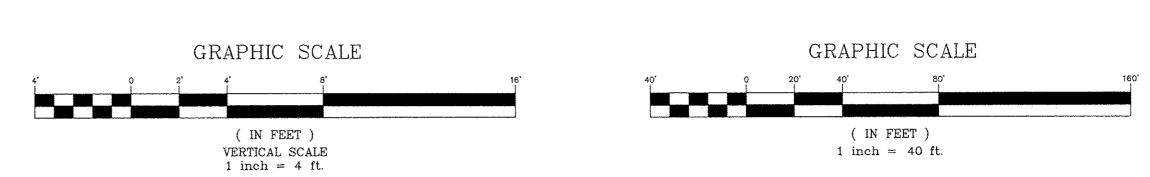
C5.3

SK03.480

05/05/15

PROJECT INFORMATION





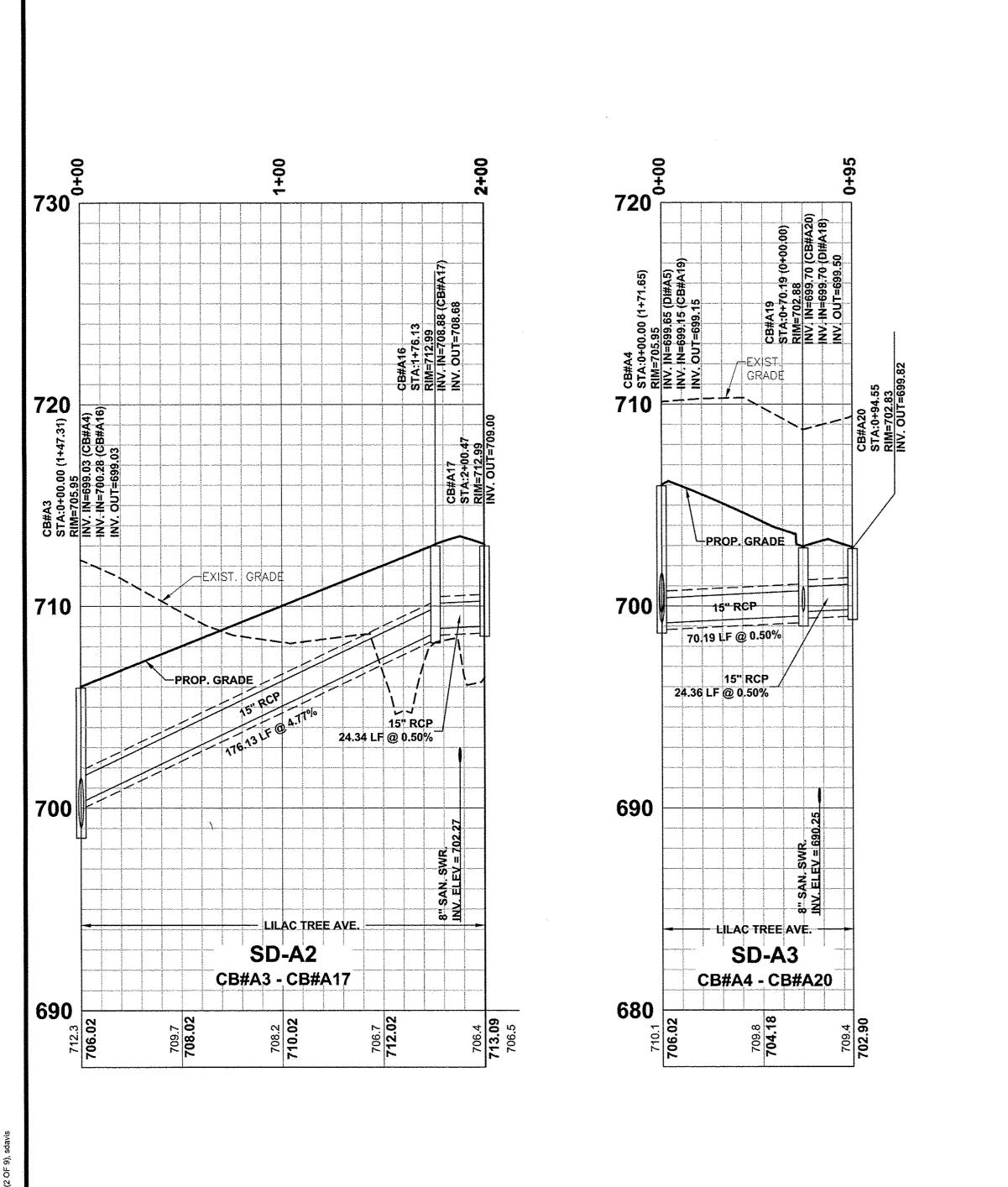


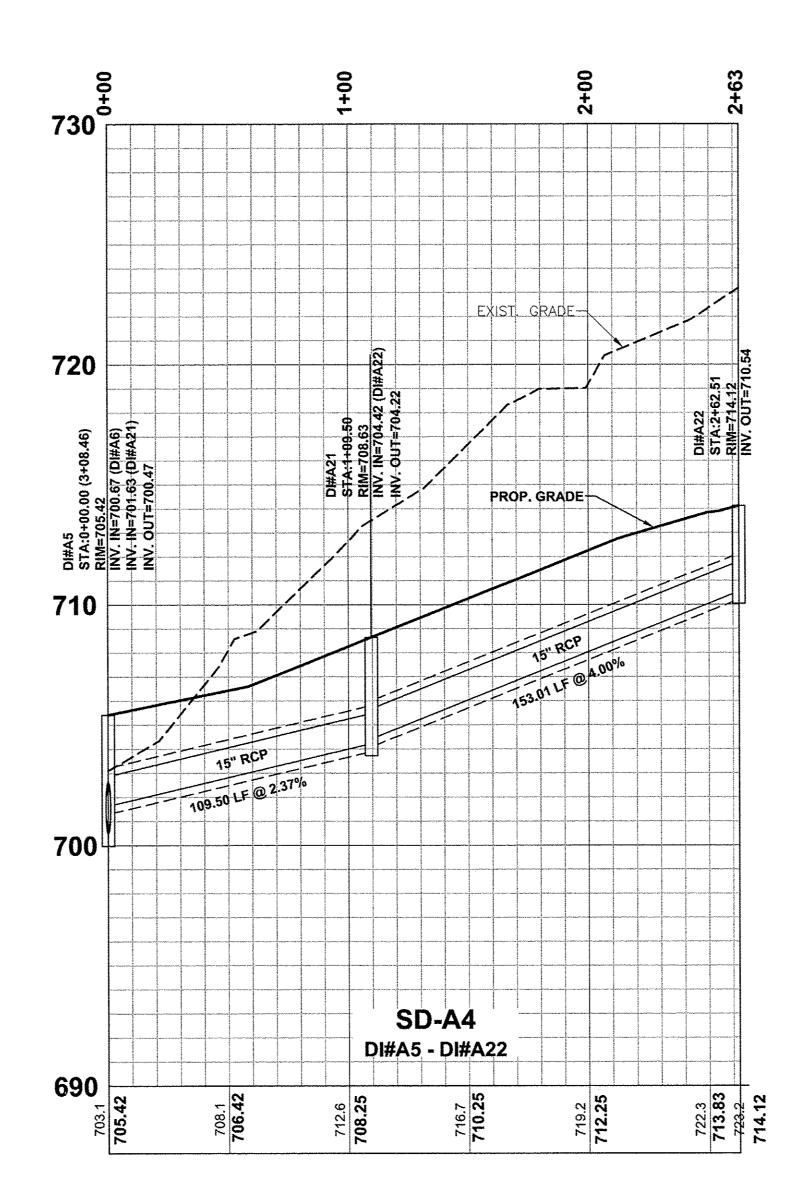
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	PROJECT INFORM	MATION
	PROJECT MANAGER:	APG
	DESIGNED BY:	MJS
	DRAWN BY:	SJD
	PROJECT NUMBER:	SK03,480
<b>]</b> .	ORIGINAL DATE:	05/05/15
	SHEET:	
	C5.	4

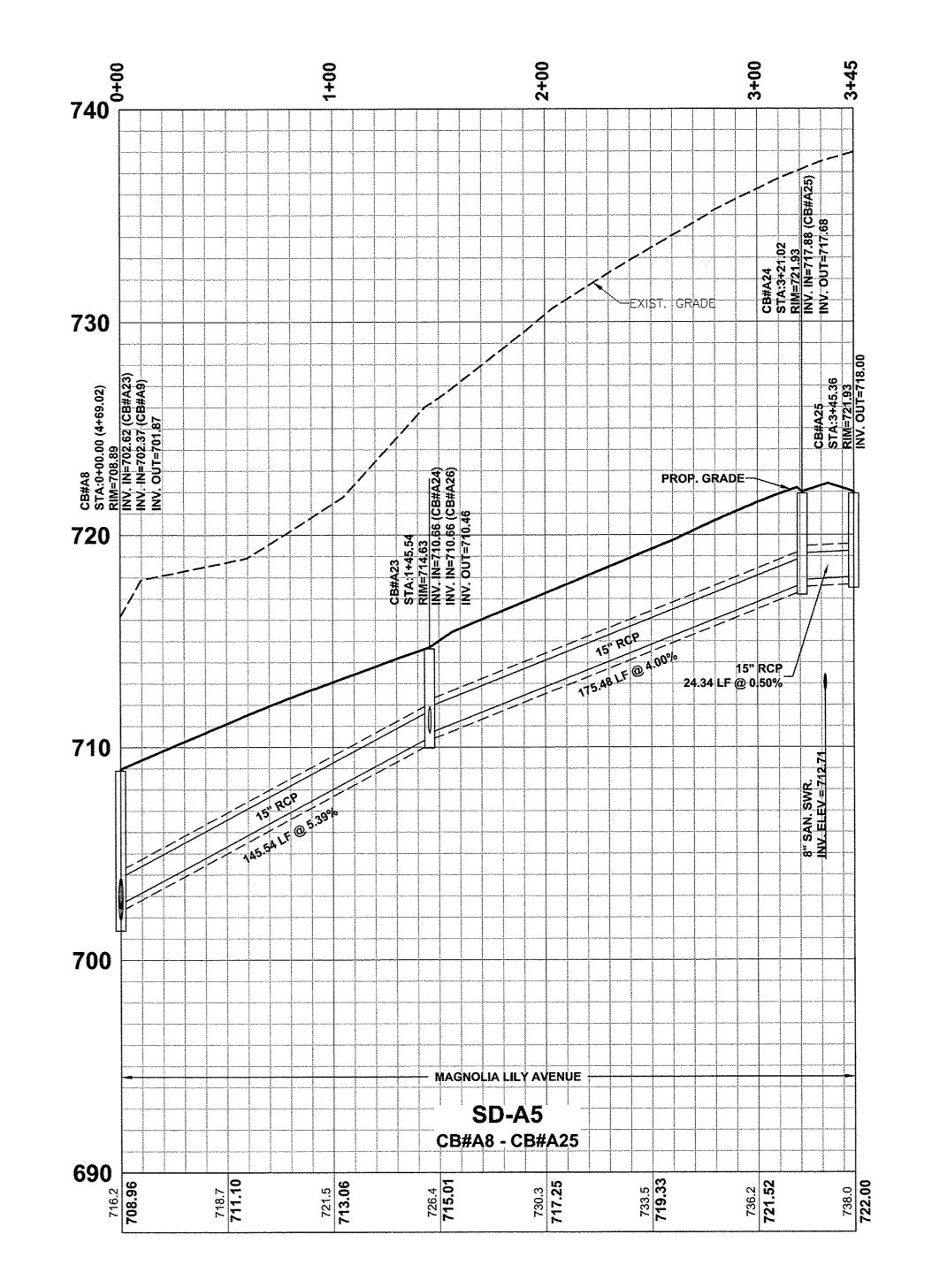
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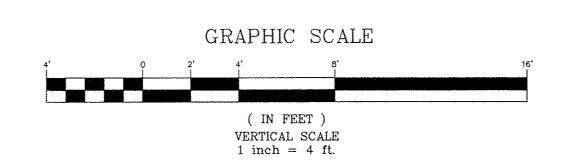
**WOODBURY PHASE** 

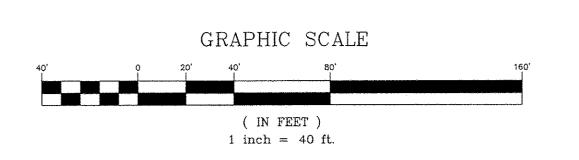
V:\SK03.480 - Woodbury Phase 2\\_SK03\Sheets\SK03\_STORM PROFIL

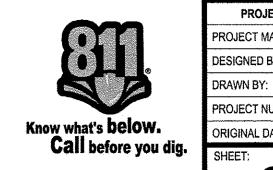












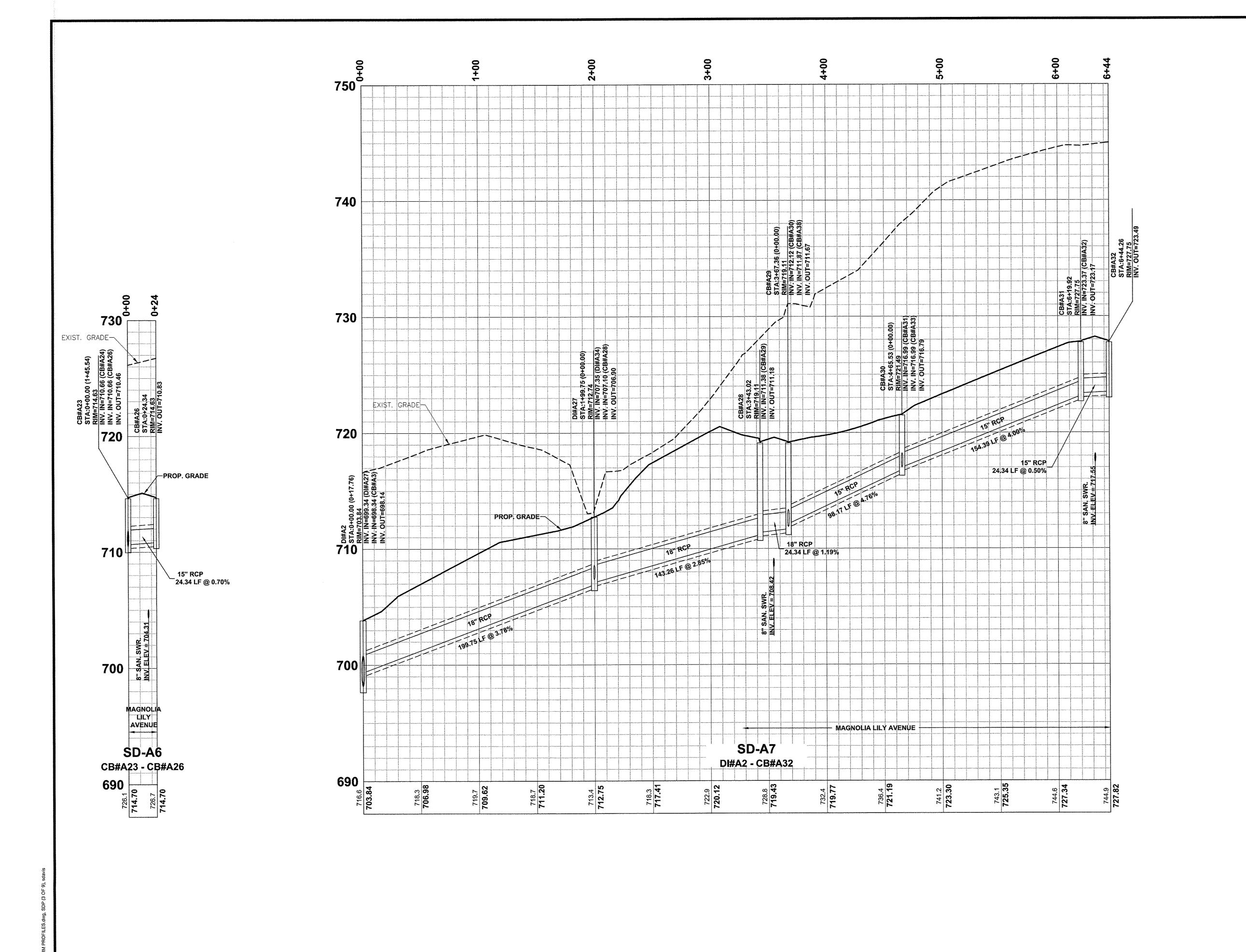
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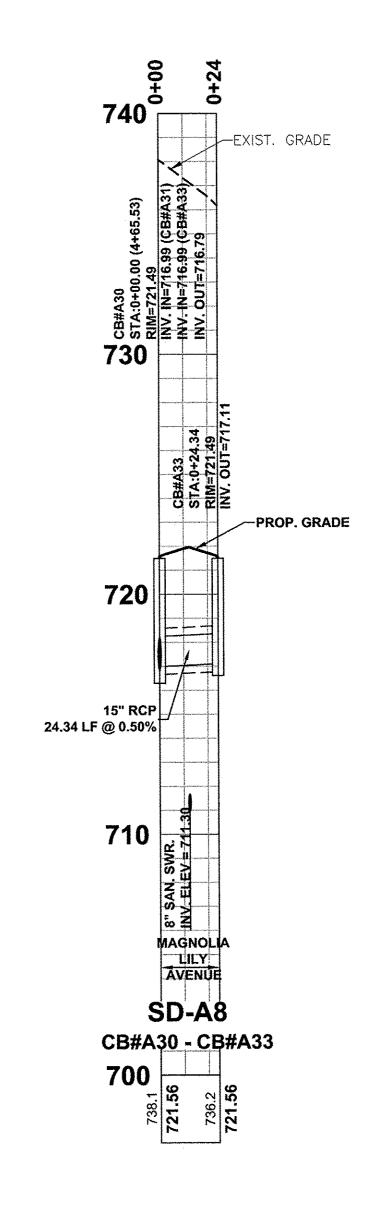
STORM DRAINAGE PROFILES (SHEET 2 OF 9)

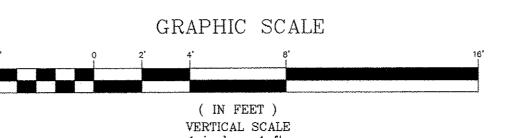
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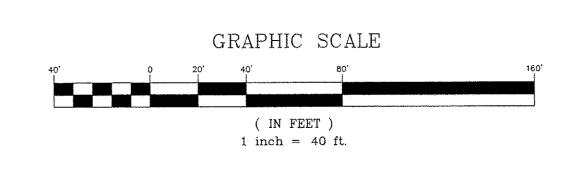
WOODBURY

SK03.480 ORIGINAL DATE: 05/05/15 C5.5











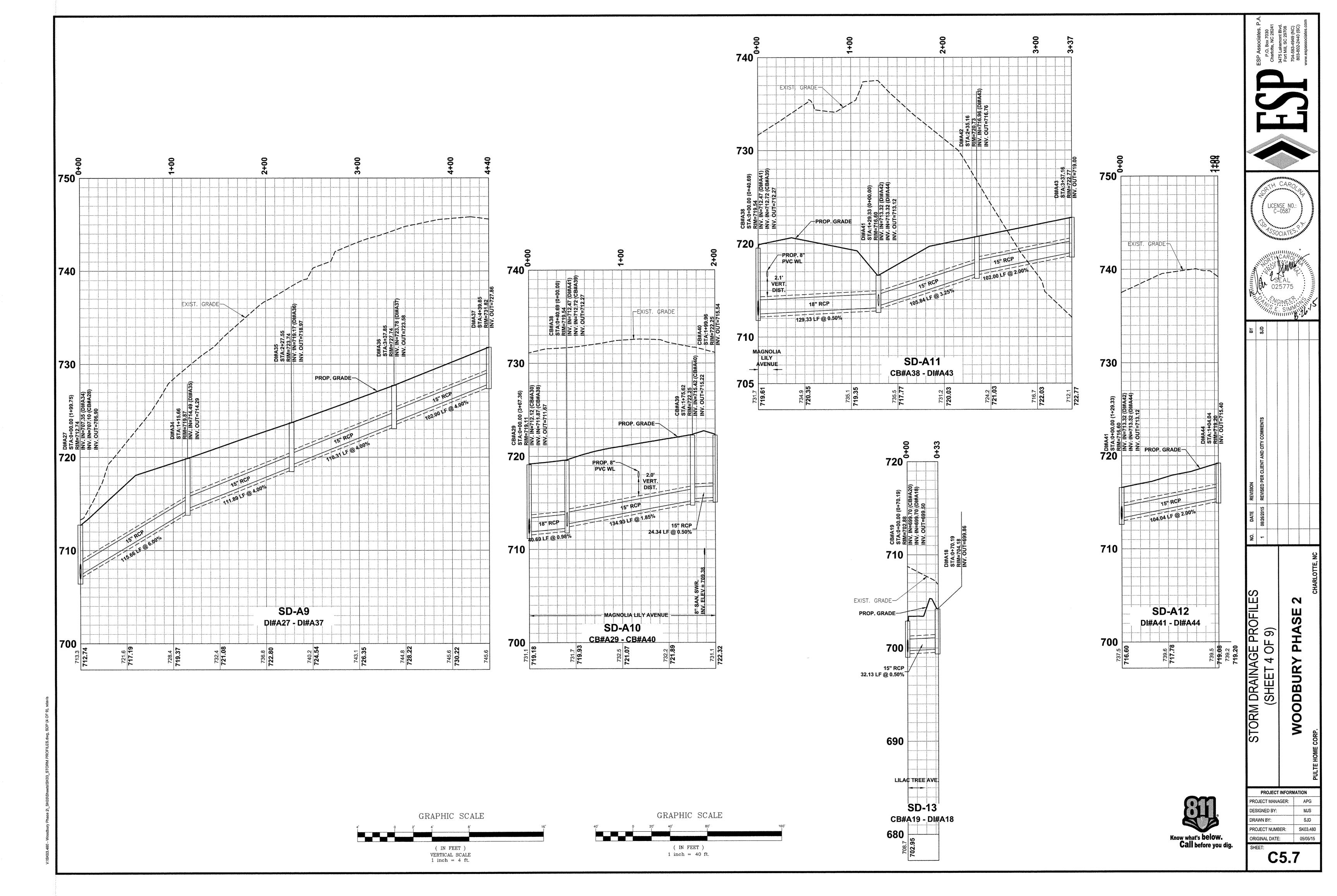
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PROJECT INFOR	MATION
PROJECT MANAGER:	APG
DESIGNED BY:	MJS
DRAWN BY:	SJD
PROJECT NUMBER:	SK03.480
ORIGINAL DATE:	05/05/15
C5.	6

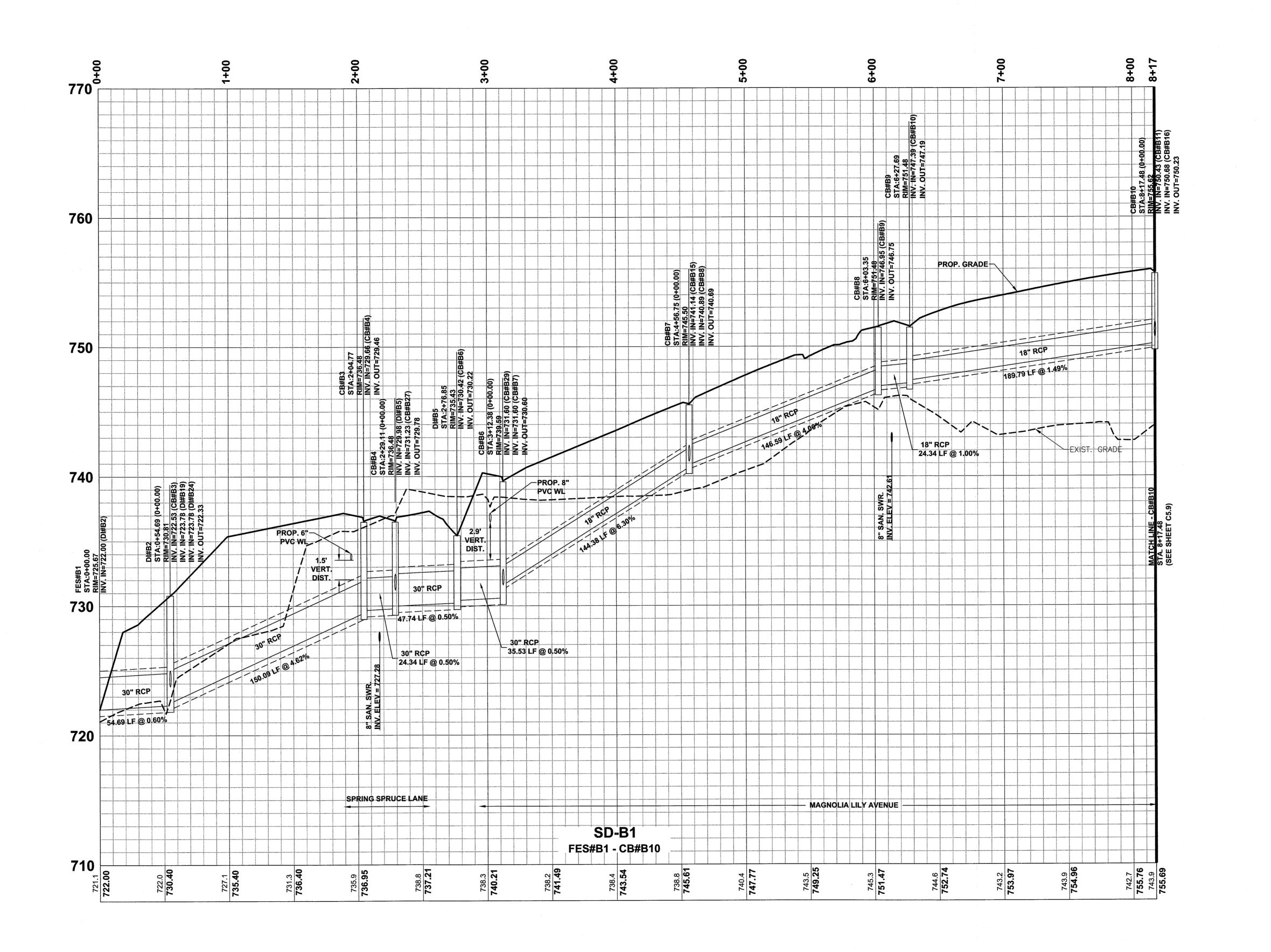
STORM DRAINAGE PROFILES (SHEET 3 OF 9)

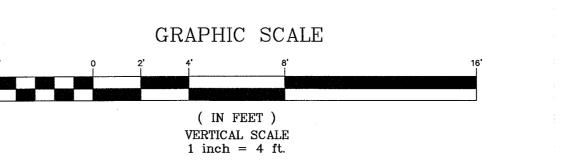
7

**WOODBURY PHASE** 

( IN FEET )
VERTICAL SCALE
1 inch = 4 ft.







STORM DRAINAGE PROFILES (SHEET 5 OF 9) **PHASE** WOODBURY PROJECT INFORMATION

MJS

SJD

SK03.480

05/05/15

CRAPHIC SCALE

GRAPHIC SCALE

(IN FEET)

1 inch = 40 ft.

CRAPHIC SCALE

(IN FEET)

1 inch = 40 ft.

CRAPHIC SCALE

PROJECT INFORMATIC PROJECT MANAGER:

DESIGNED BY:

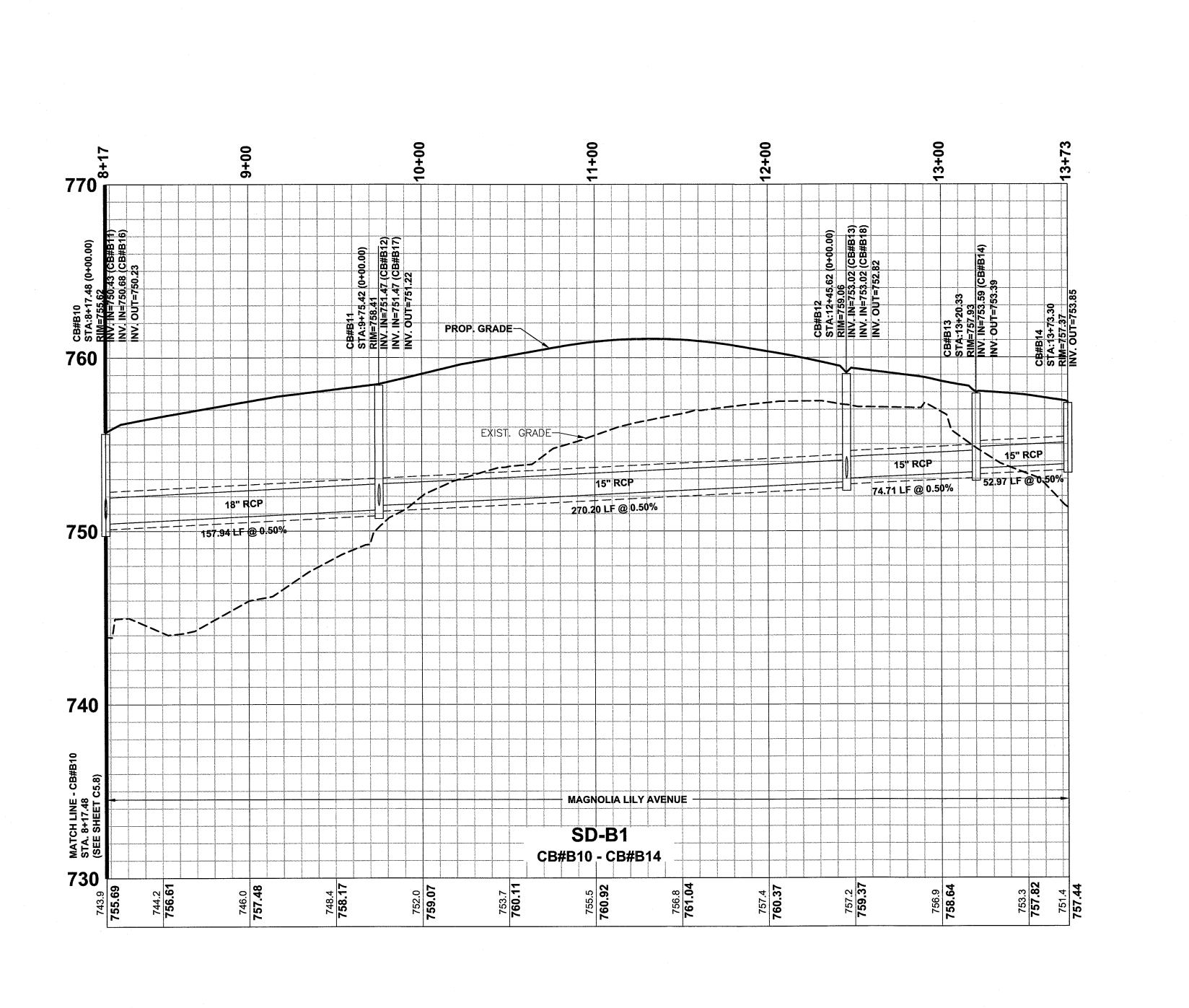
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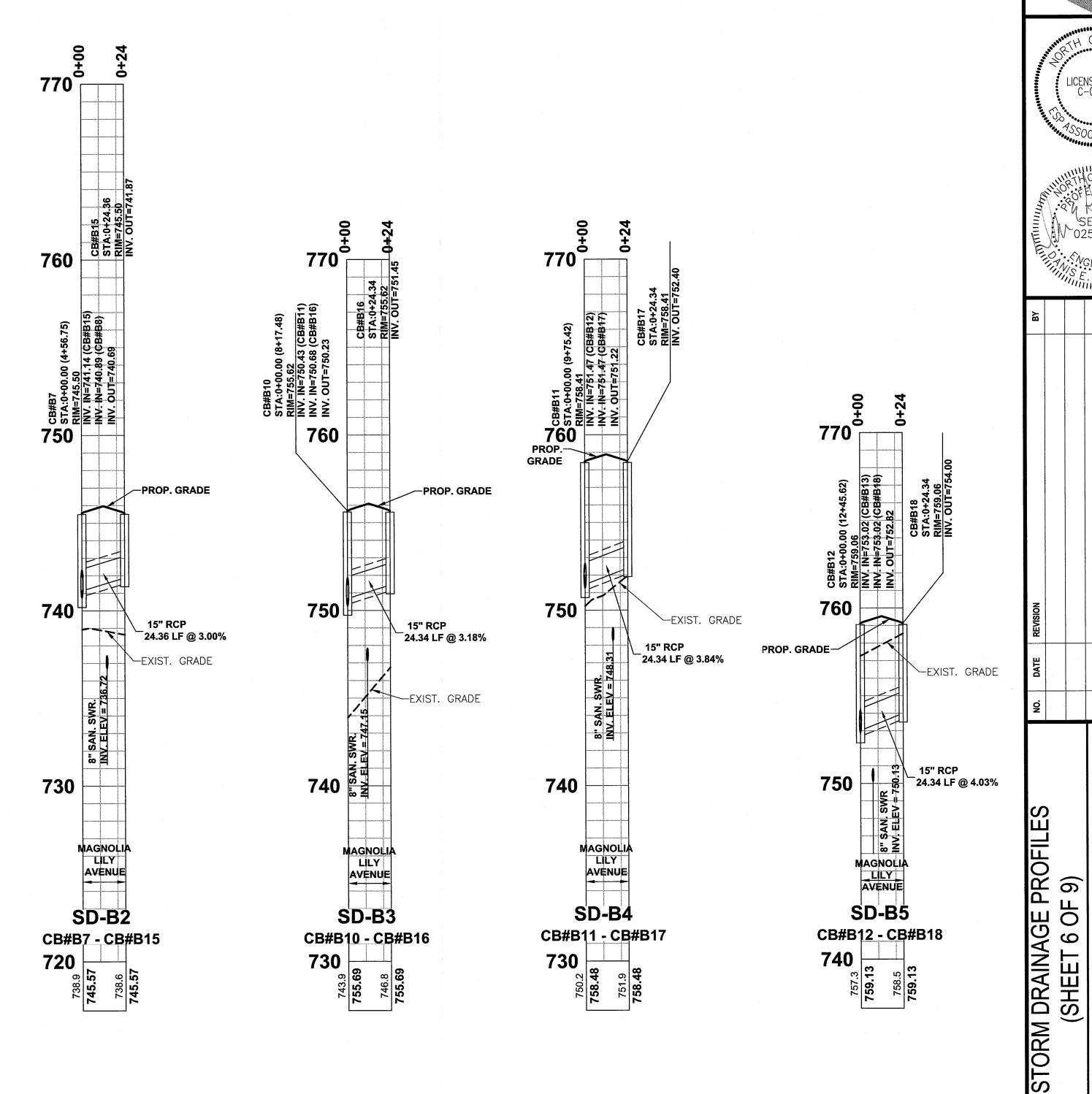
PROJECT NUMBER:

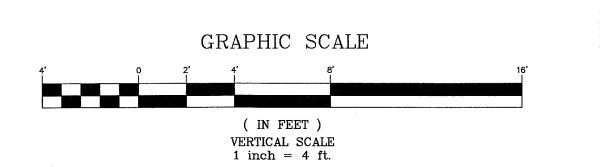
SHEET:

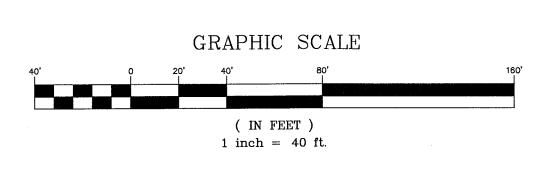
SHEET:

C5.8









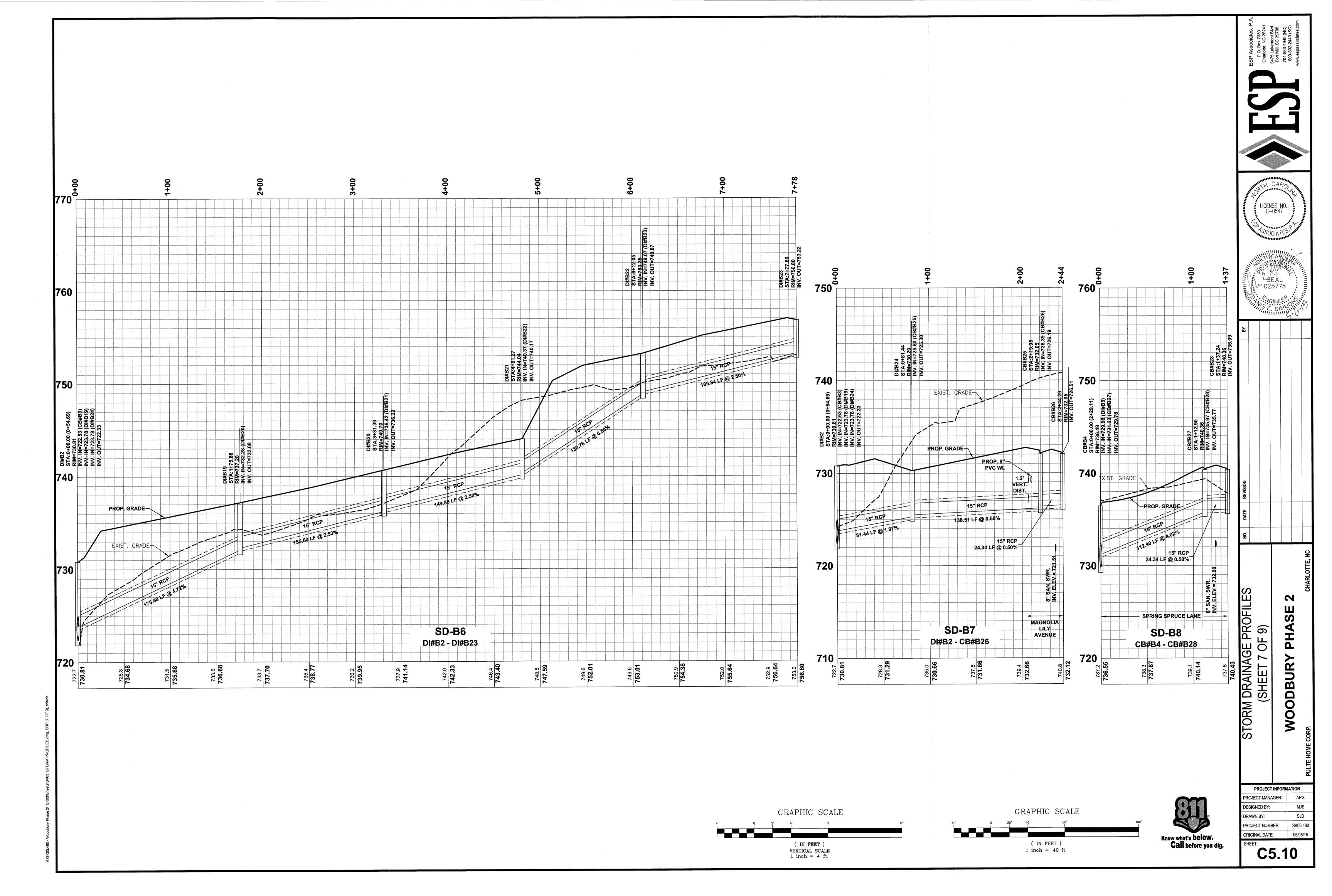


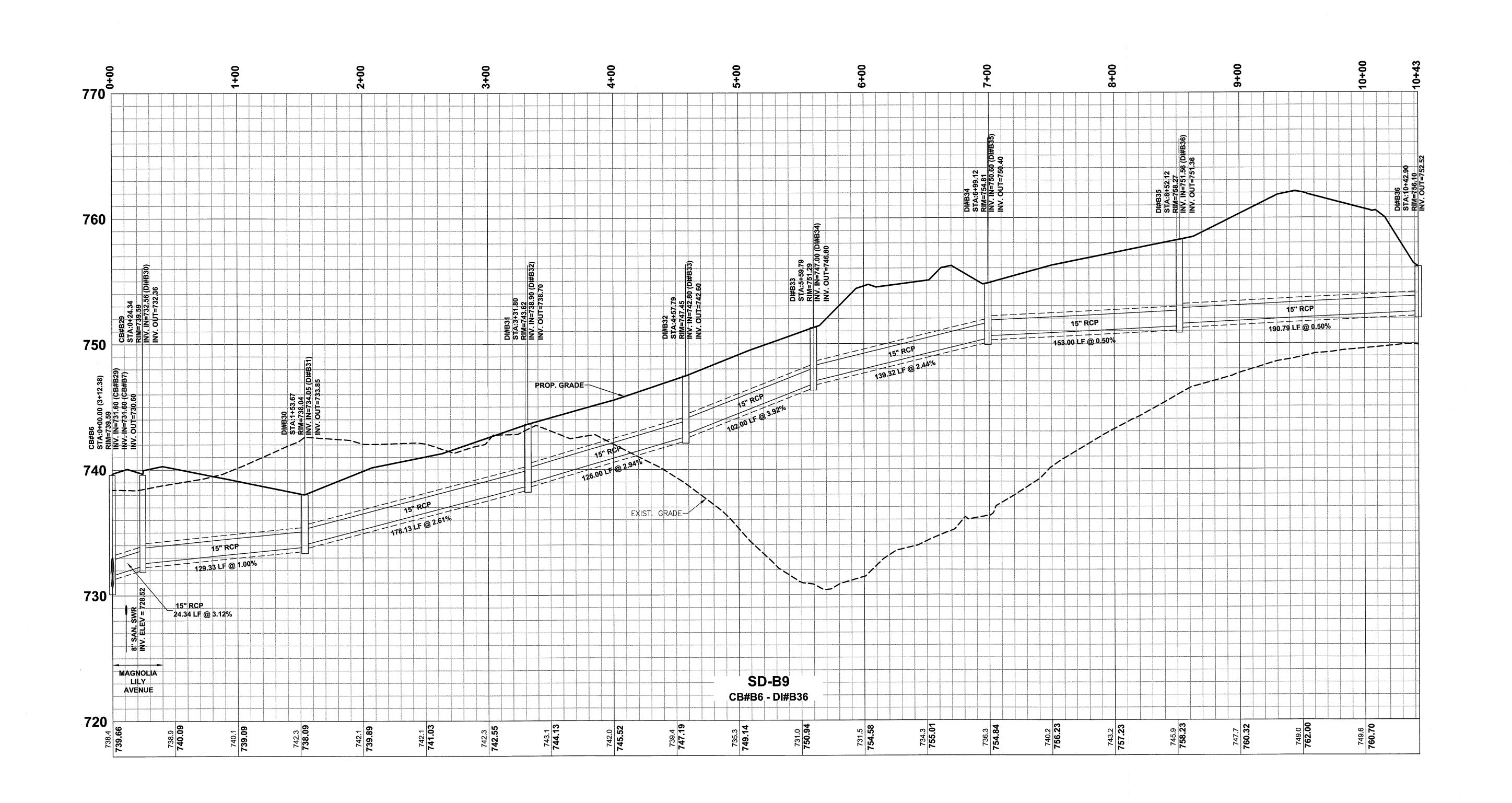
PROJECT INFORMATION
PROJECT MANAGER: APG
DESIGNED BY: MJS
DRAWN BY: SJD
PROJECT NUMBER: SK03.480
ORIGINAL DATE: 05/05/15
SHEET:

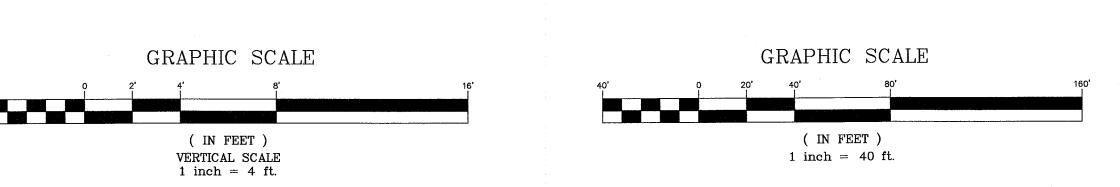
C5.9

**PHASE** 

WOODBURY







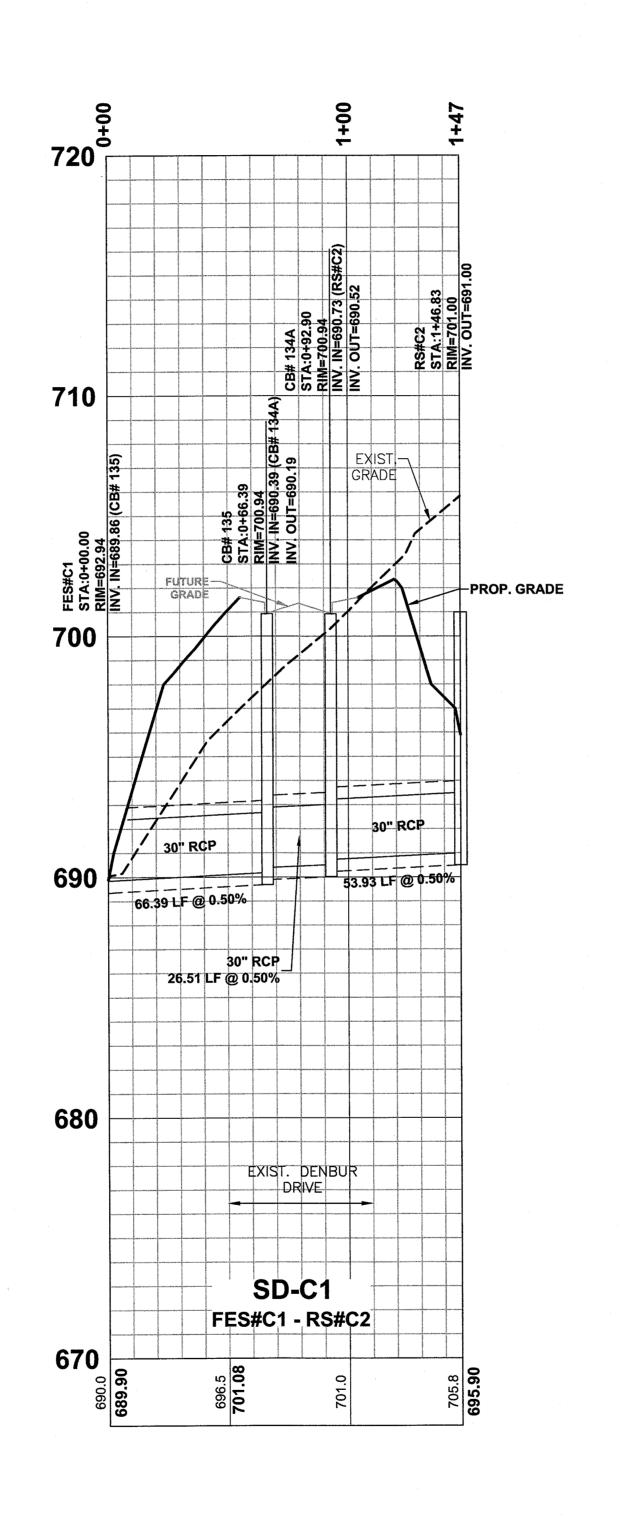


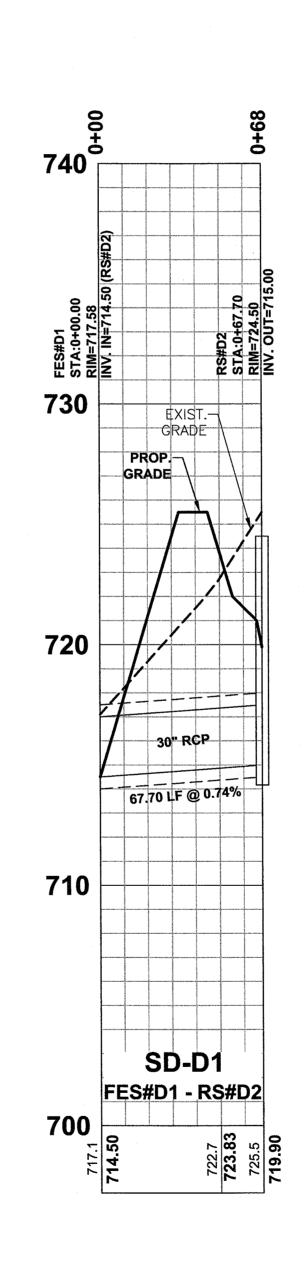
PROJECT INFORMATION PROJECT MANAGER: DESIGNED BY: DRAWN BY: PROJECT NUMBER: SK03.480 ORIGINAL DATE: 05/05/15 C5.11

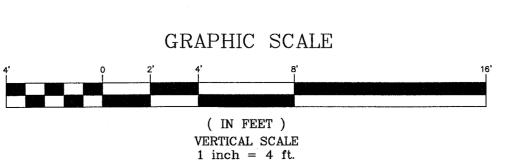
STORM DRAINAGE PROFILES (SHEET 8 OF 9)

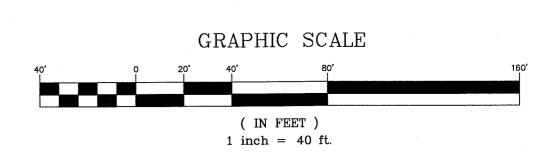
**PHASE** 

WOODBURY











STORM DRAINAGE PROFILES (SHEET 9 OF 9) **PHASE** WOODBURY PROJECT INFORMATION PROJECT MANAGER: MJS DESIGNED BY:

SJD

SK03.480

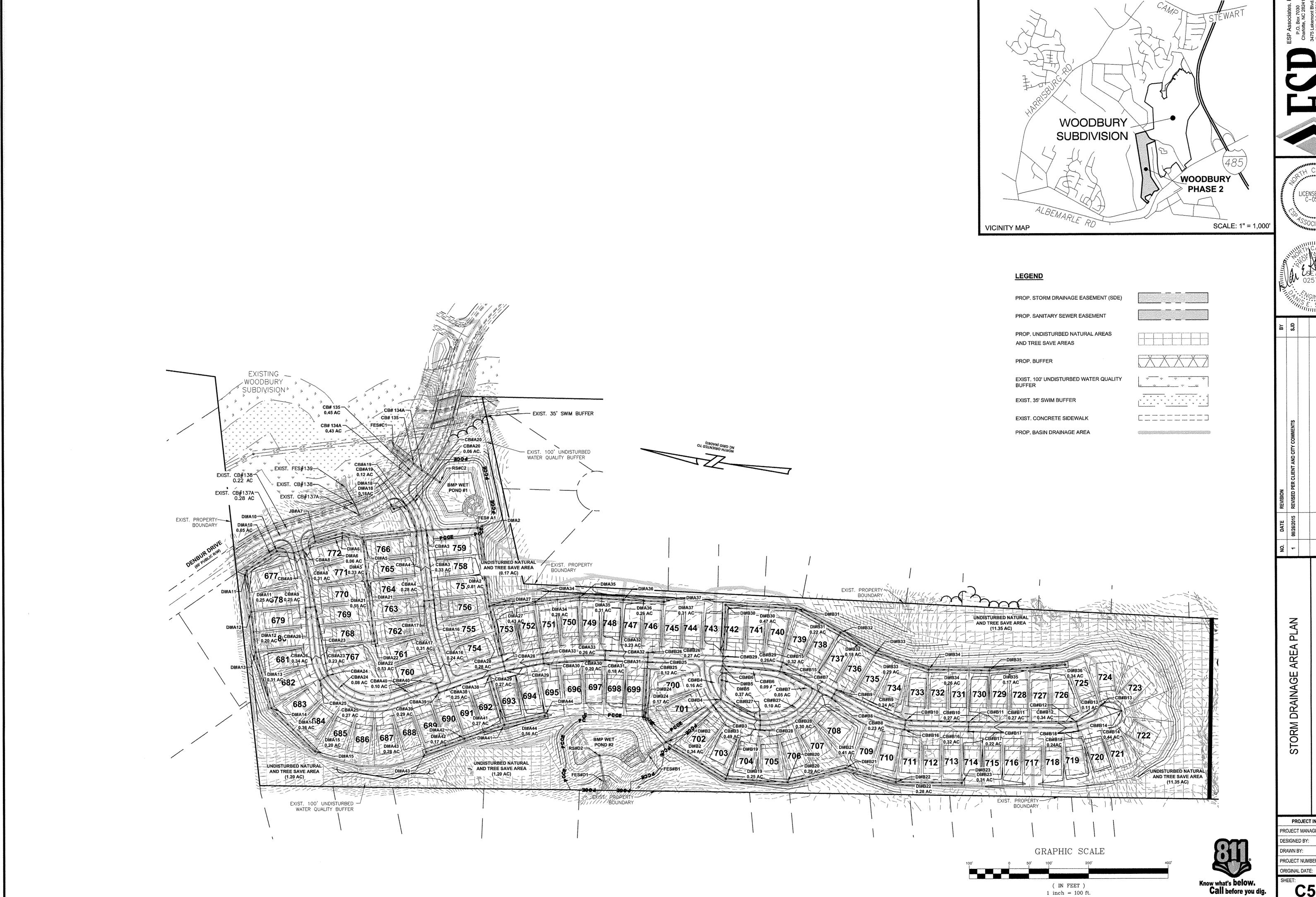
05/05/15

DRAWN BY:

PROJECT NUMBER:

C5.12

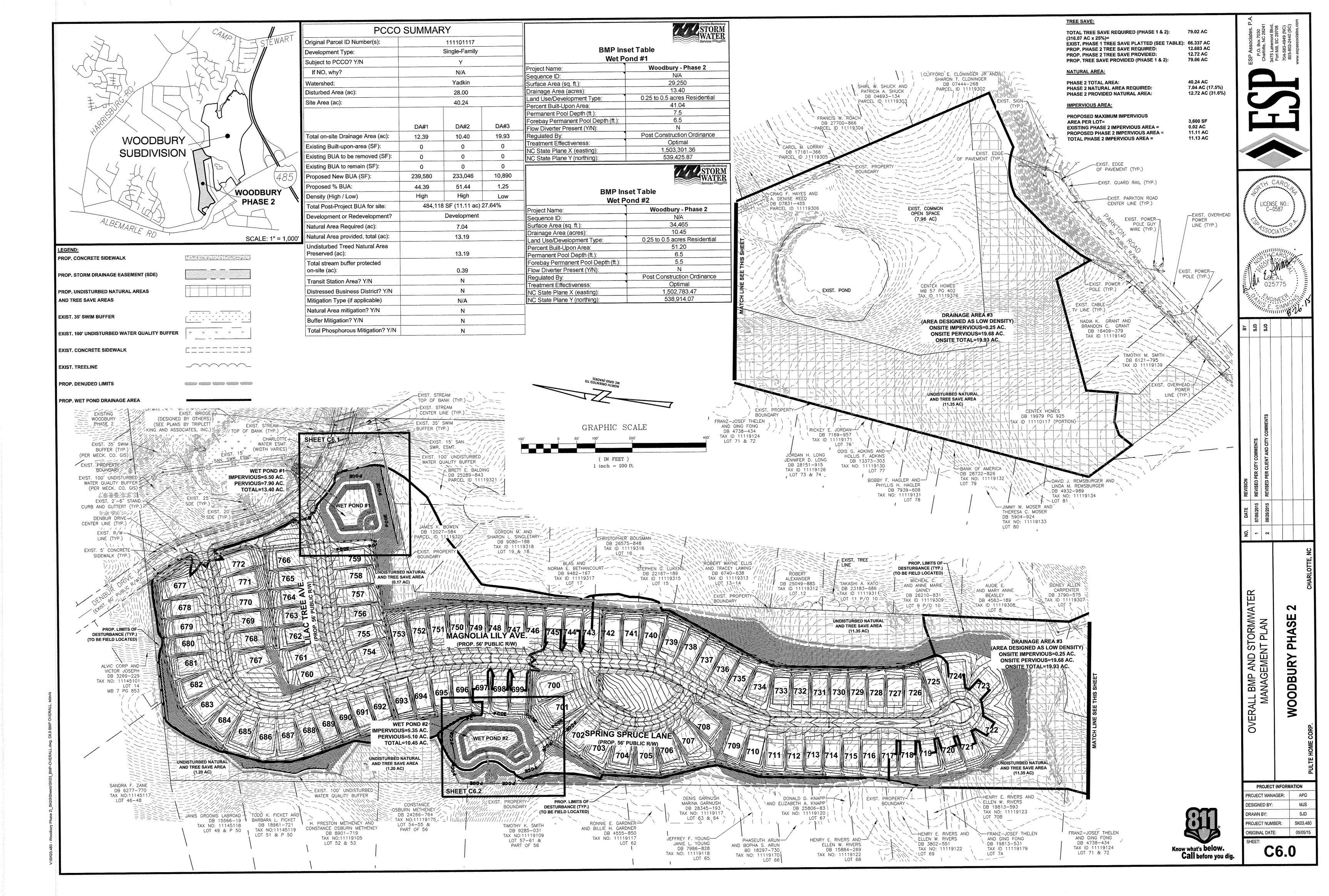
ORIGINAL DATE:

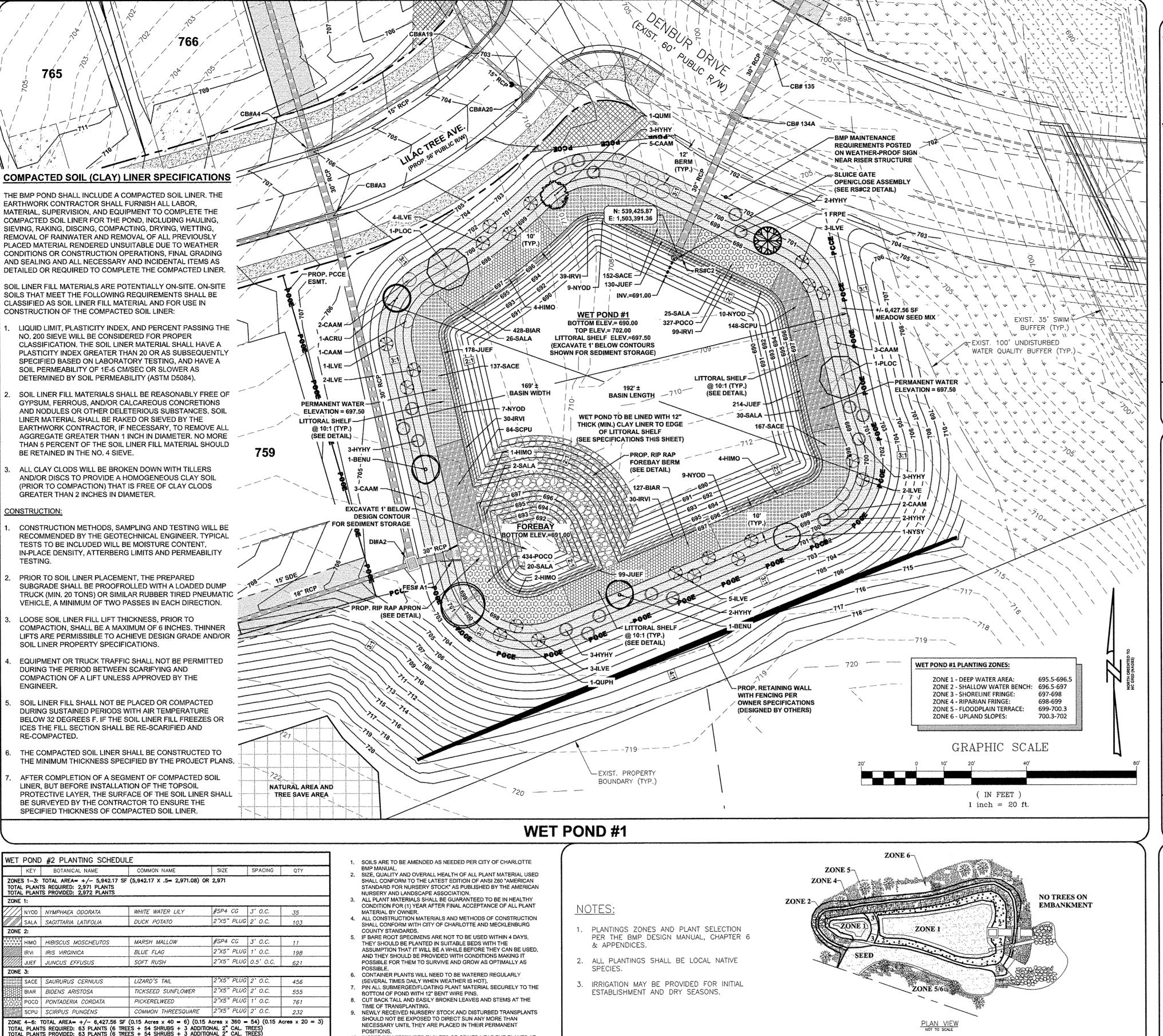


**PHASE** WOODBURY

PROJECT INFORMATION PROJECT MANAGER: PROJECT NUMBER:

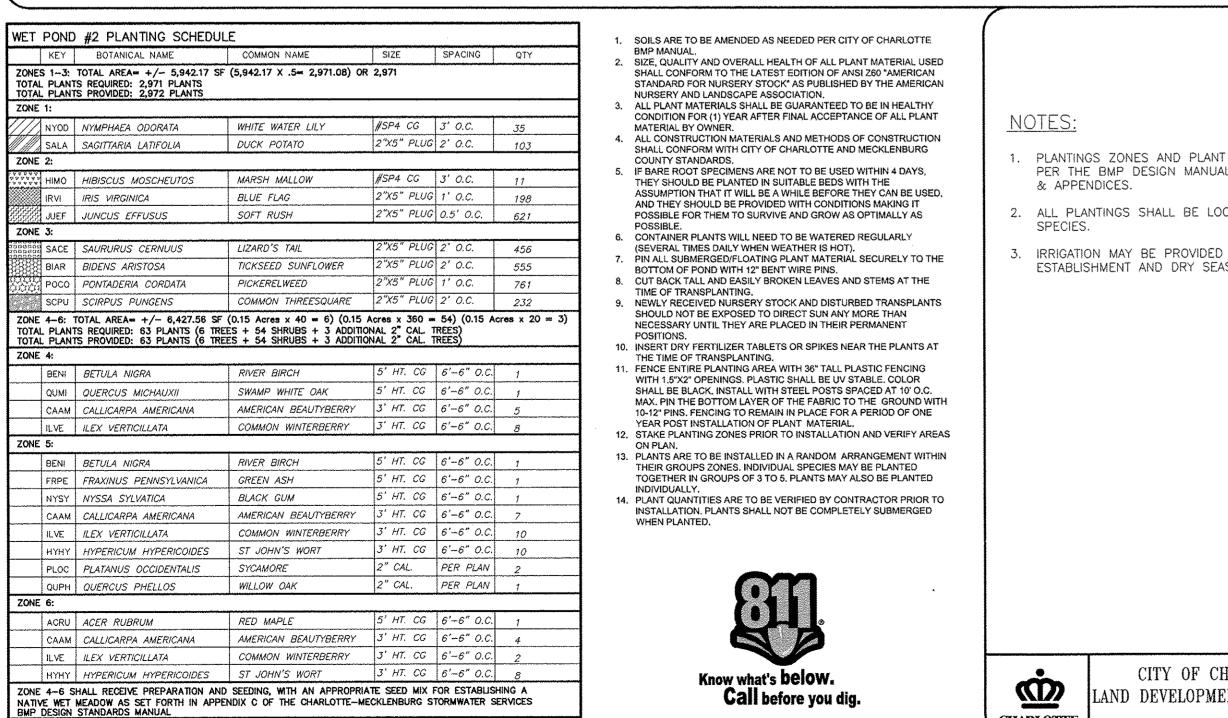
C5.13

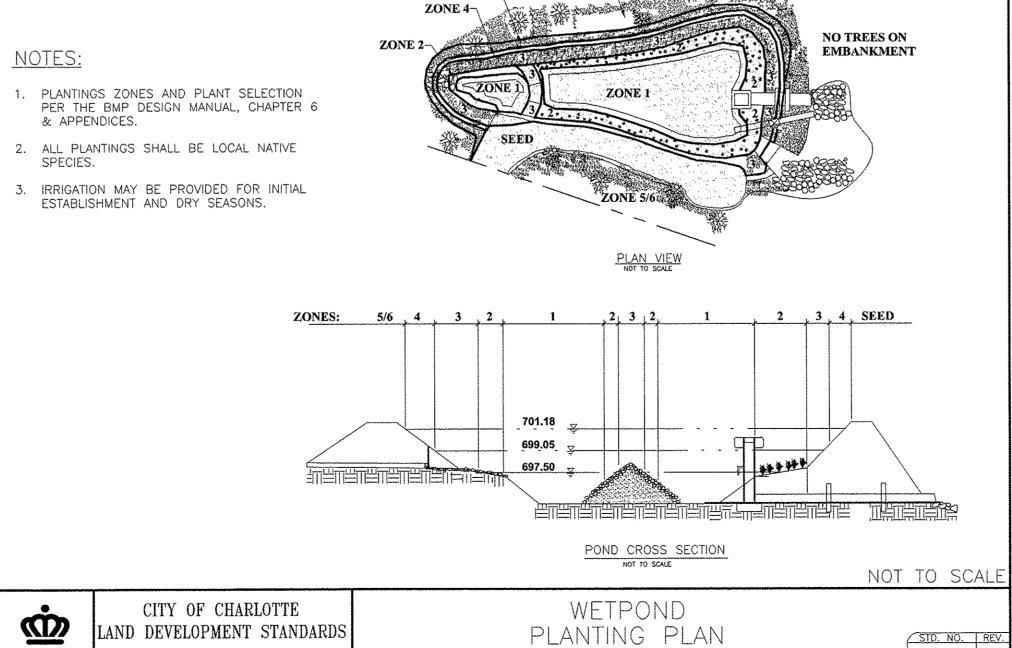




CHARLOTTE

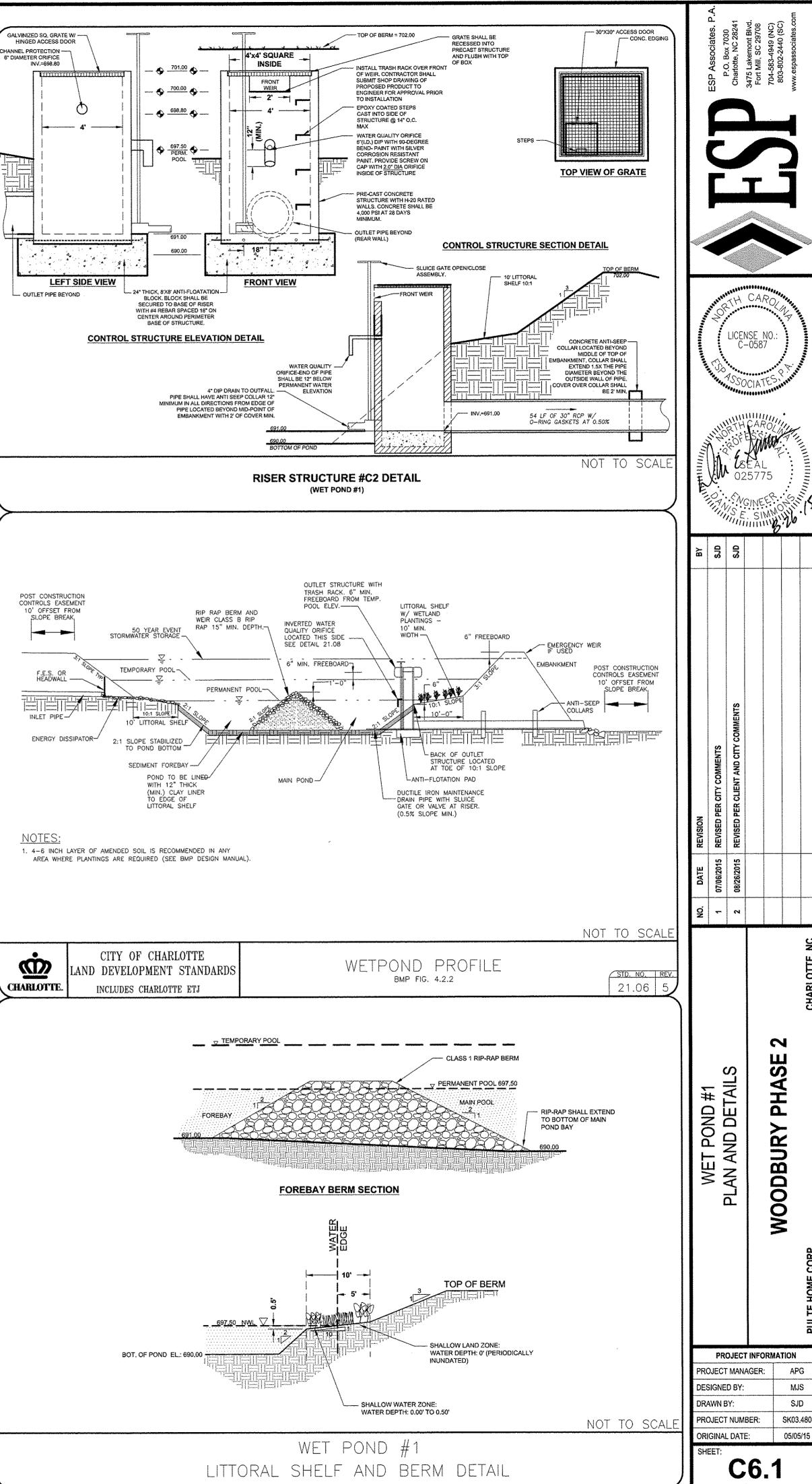
INCLUDES CHARLOTTE ETJ

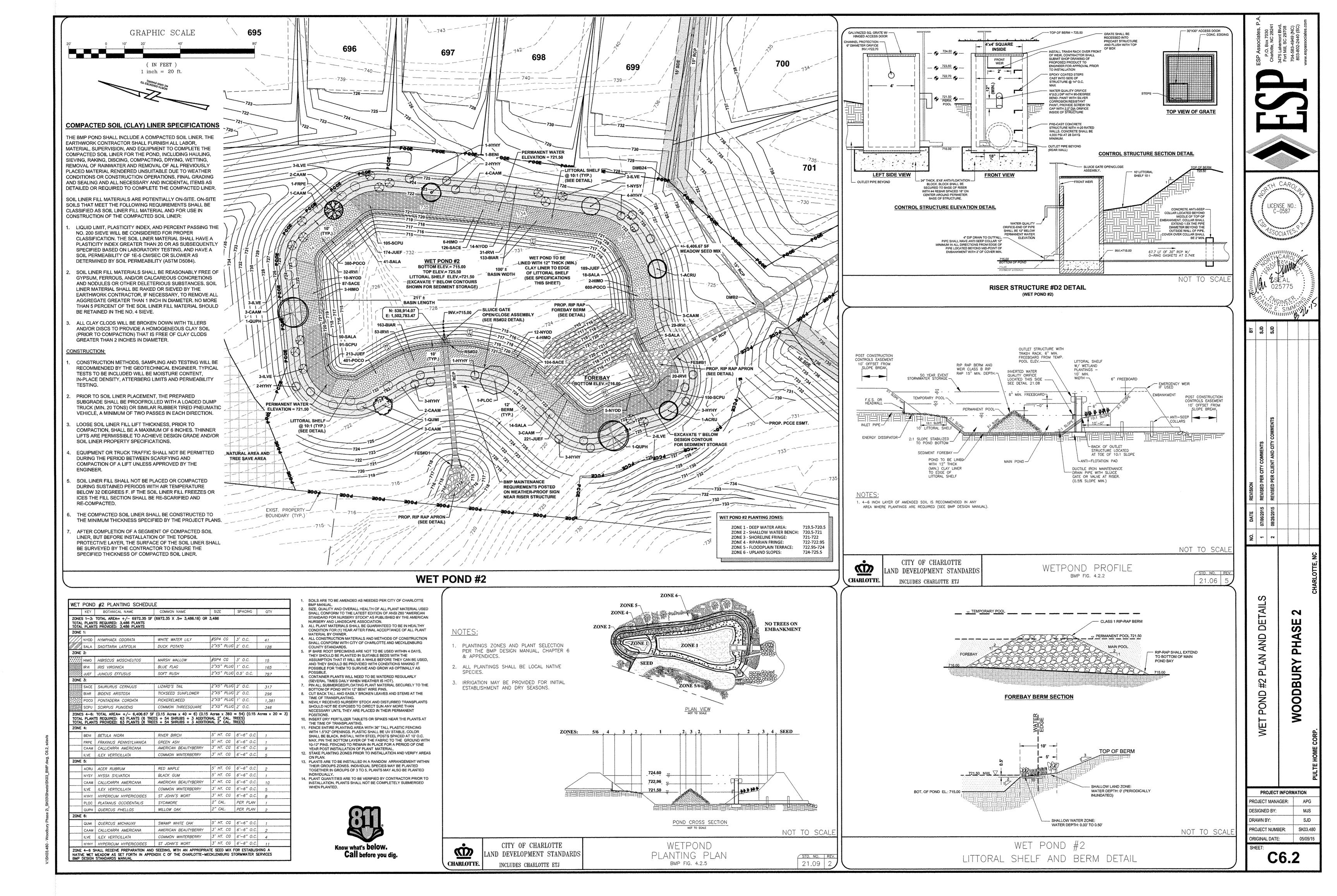


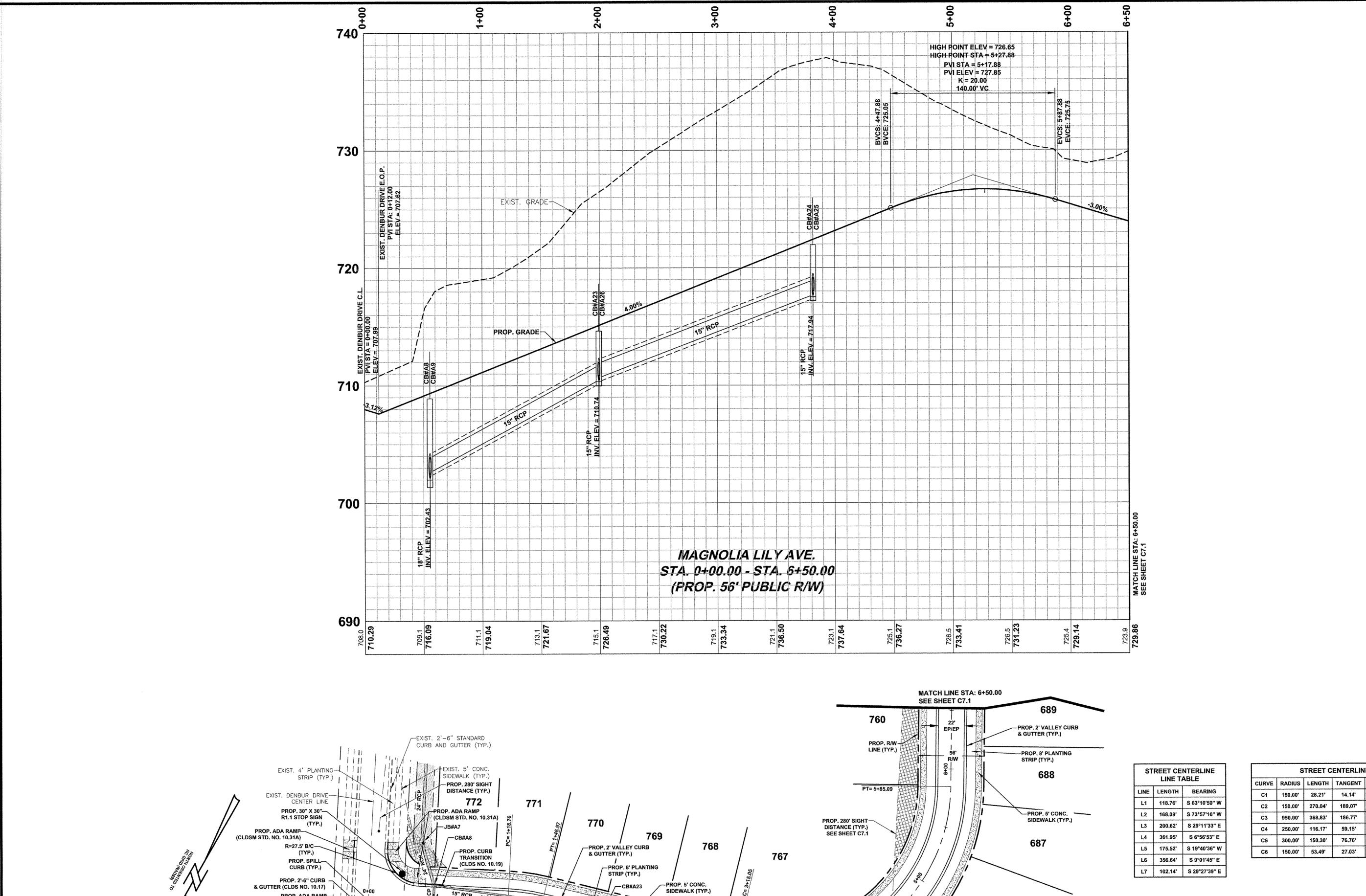


BMP FIG. 4.2.5

21.09







MAGNOLIA LILY AVE.

(PROP. 56 PUBLIC R/W)

(LOCAL RESIDENTIAL STREET STD. NO. U-02)

681

682

680

└---CB#A25

683

PROP. ADA RAMP— (CLDSM STD. NO. 10.31A)

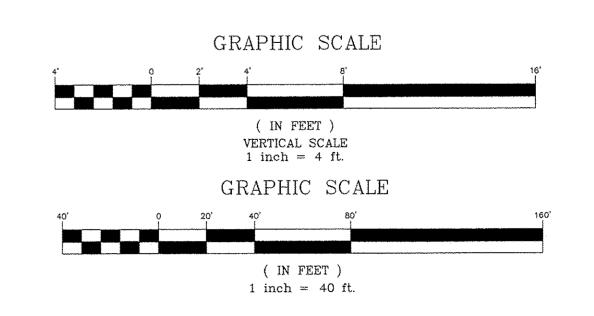
PROP. R/W —/ LINE (TYP.)

678

TRIANGLE (TYP.)

PROP. 240' SIGHT DISTANCE (TYP.)

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	150.00	28.21'	14.14'	28.16'	S 68°34'03" W	10°46'26"
C2	150.00'	270.04'	189,07'	235.02'	S 22°22'51" W	103°08'49"
C3	950.00'	368.83'	186.77'	366.52'	S 18°04'13" E	22°14'40"
C4	250.00'	116,17'	59,15	115,13'	S 6°21'52" W	26°37'29"
C5	300.00'	150.30	76,76'	148.74	S 5°19'26" W	28°42'21"
C6	150.00'	53,49'	27.03'	53.21'	S 19°14'42" E	20°25'54"



685

Know what's below.  Call before you dig.

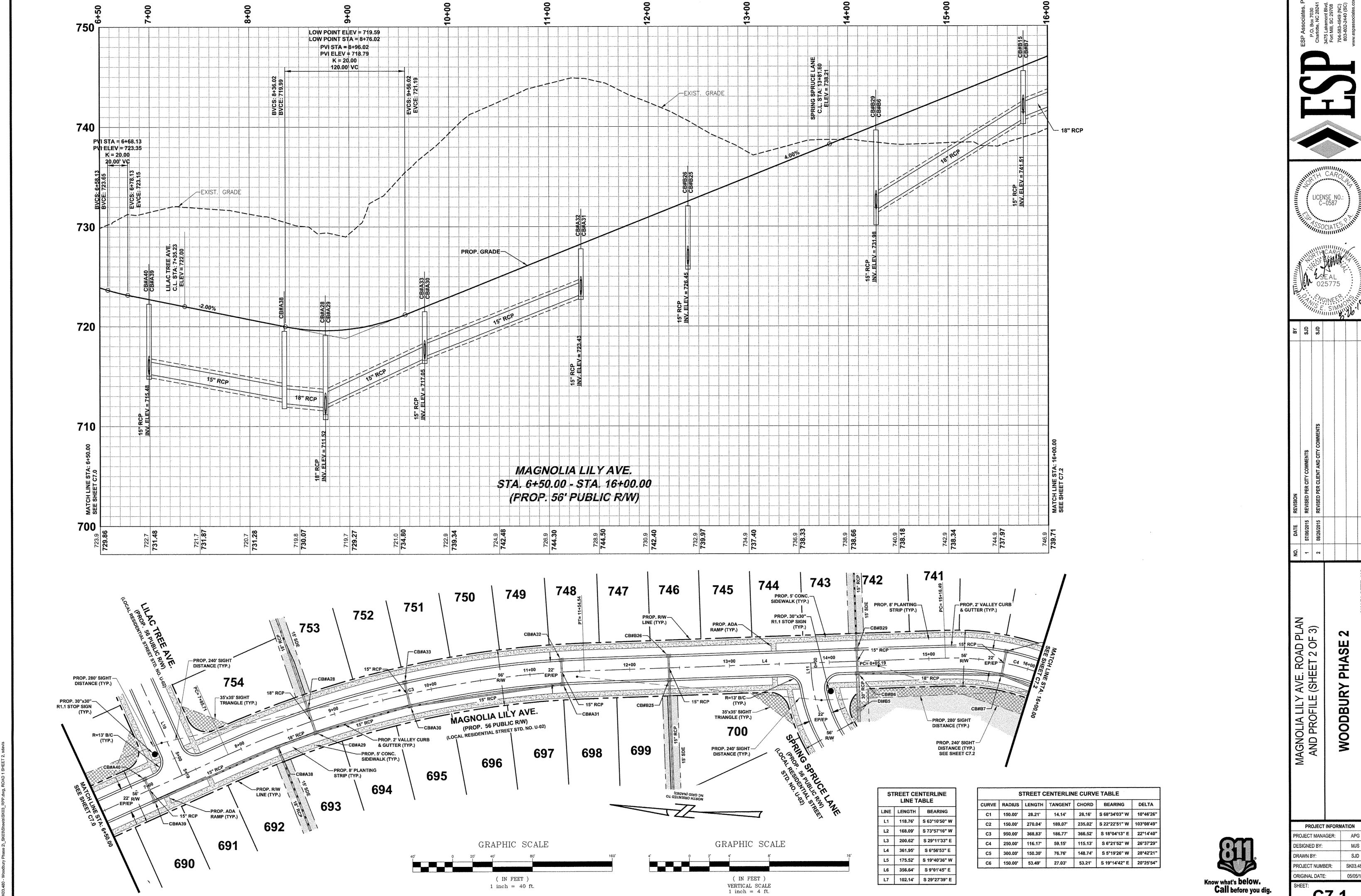
	PULTE
PROJECT IN	FORMATION
PROJECT MANAGE	R: APG
DESIGNED BY:	MJS
DRAWN BY:	SJD
PROJECT NUMBER	R: SK03,480
ORIGINAL DATE:	05/05/15
SHEET:	

MAGNOLIA LILY AVE. ROAD PLAN AND PROFILE (SHEET 1 OF 3)

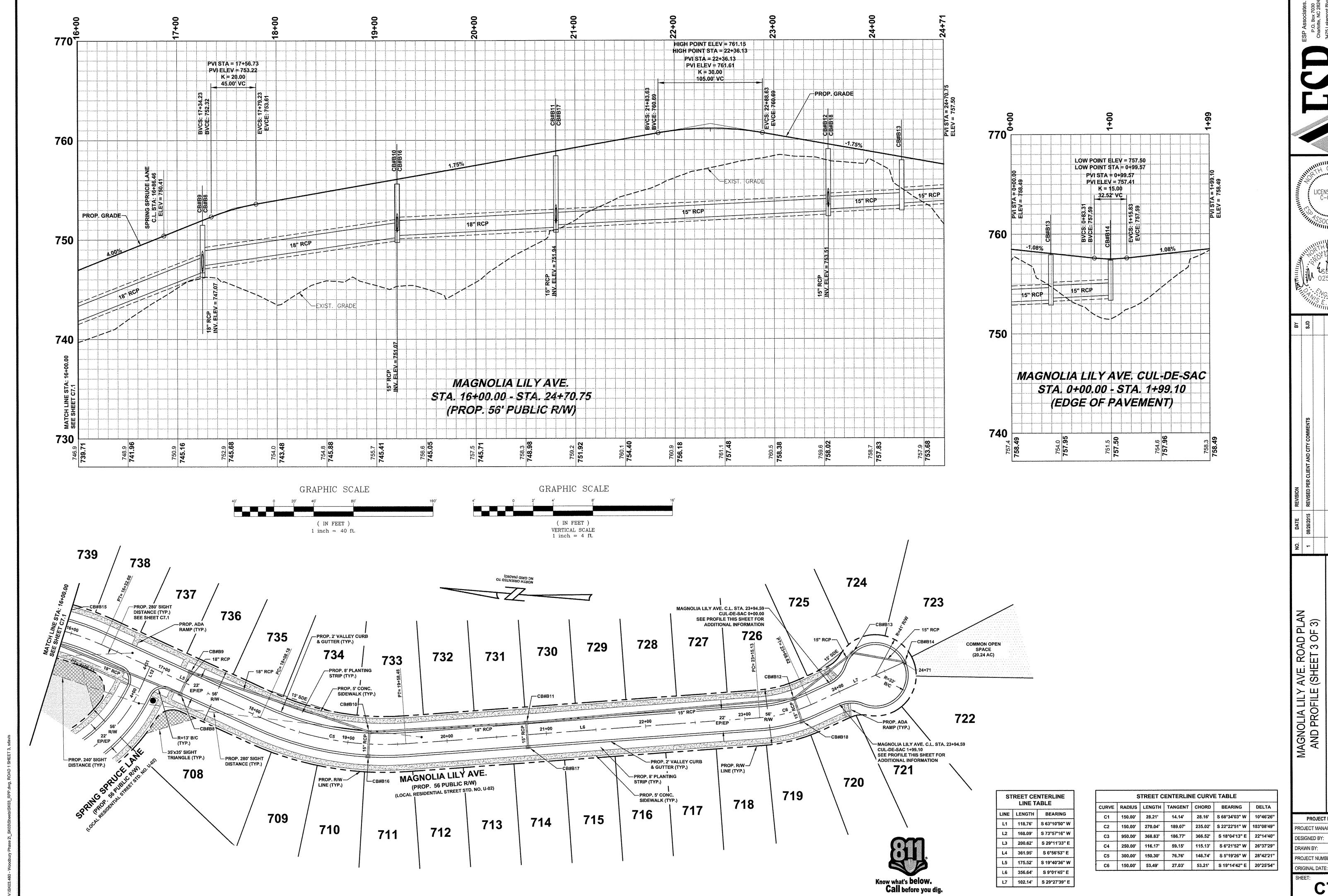
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**WOODBURY PHASE** 

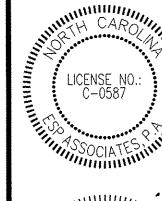
C7.0

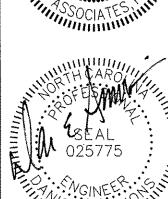


05/05/15 C7.1





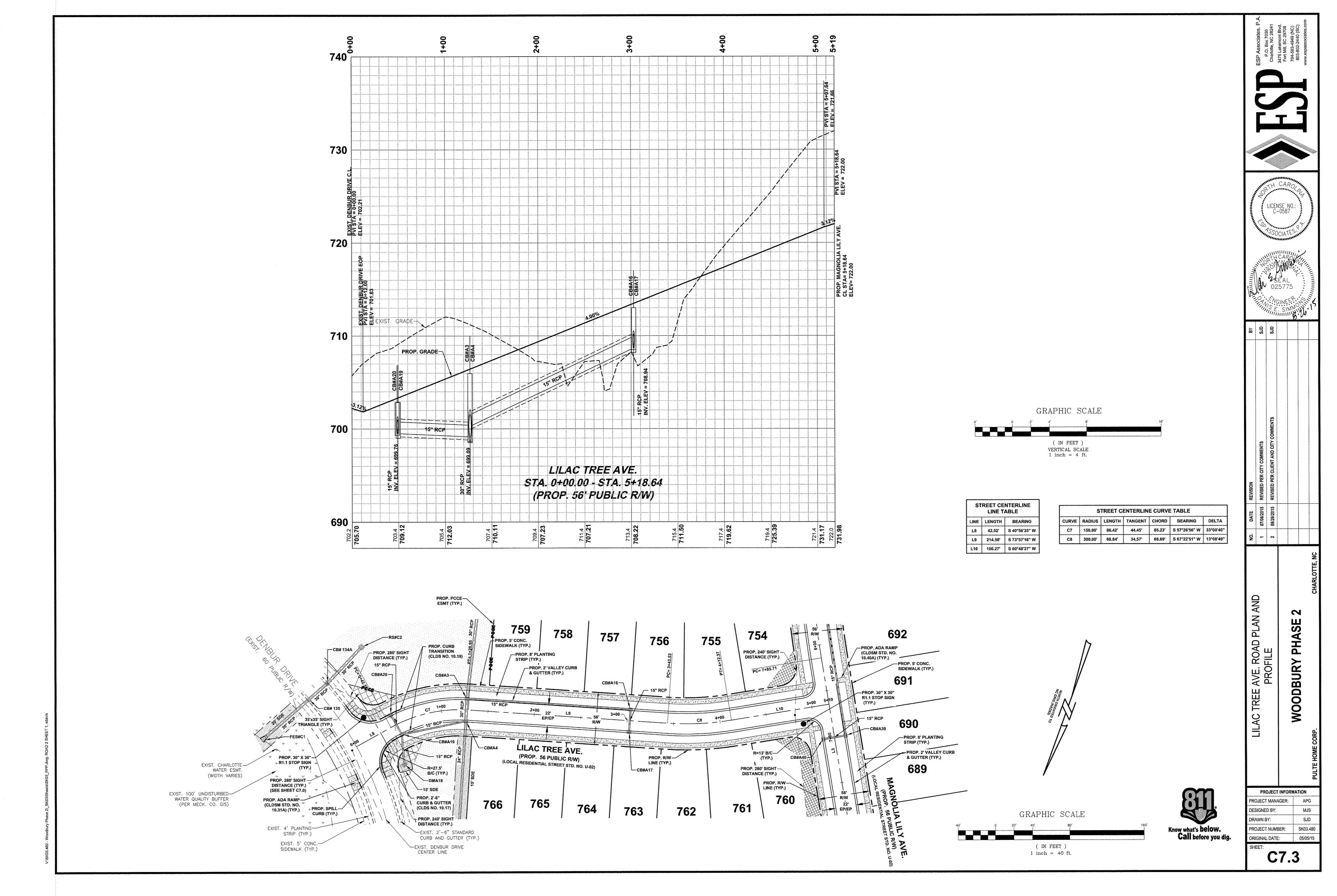


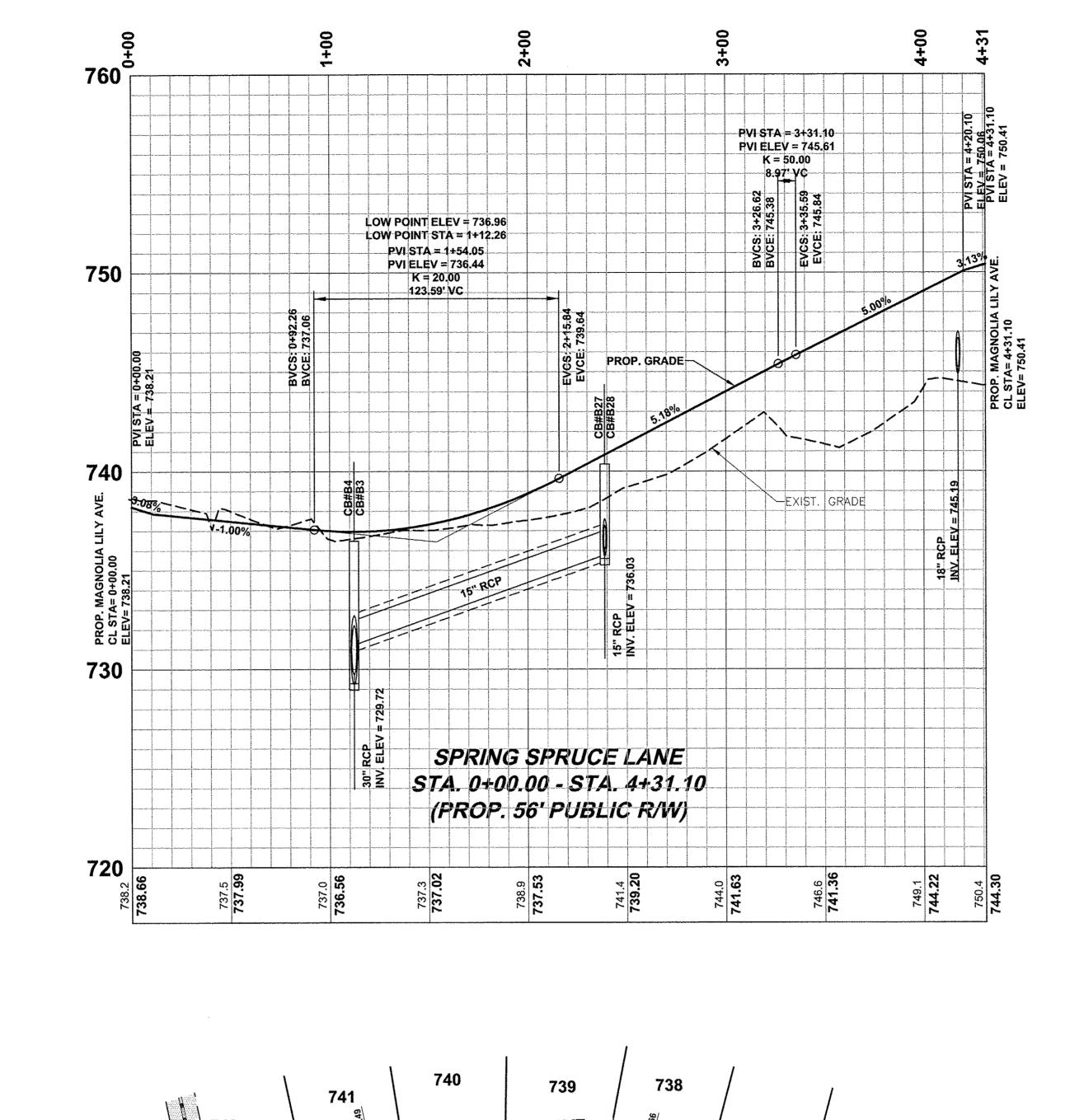


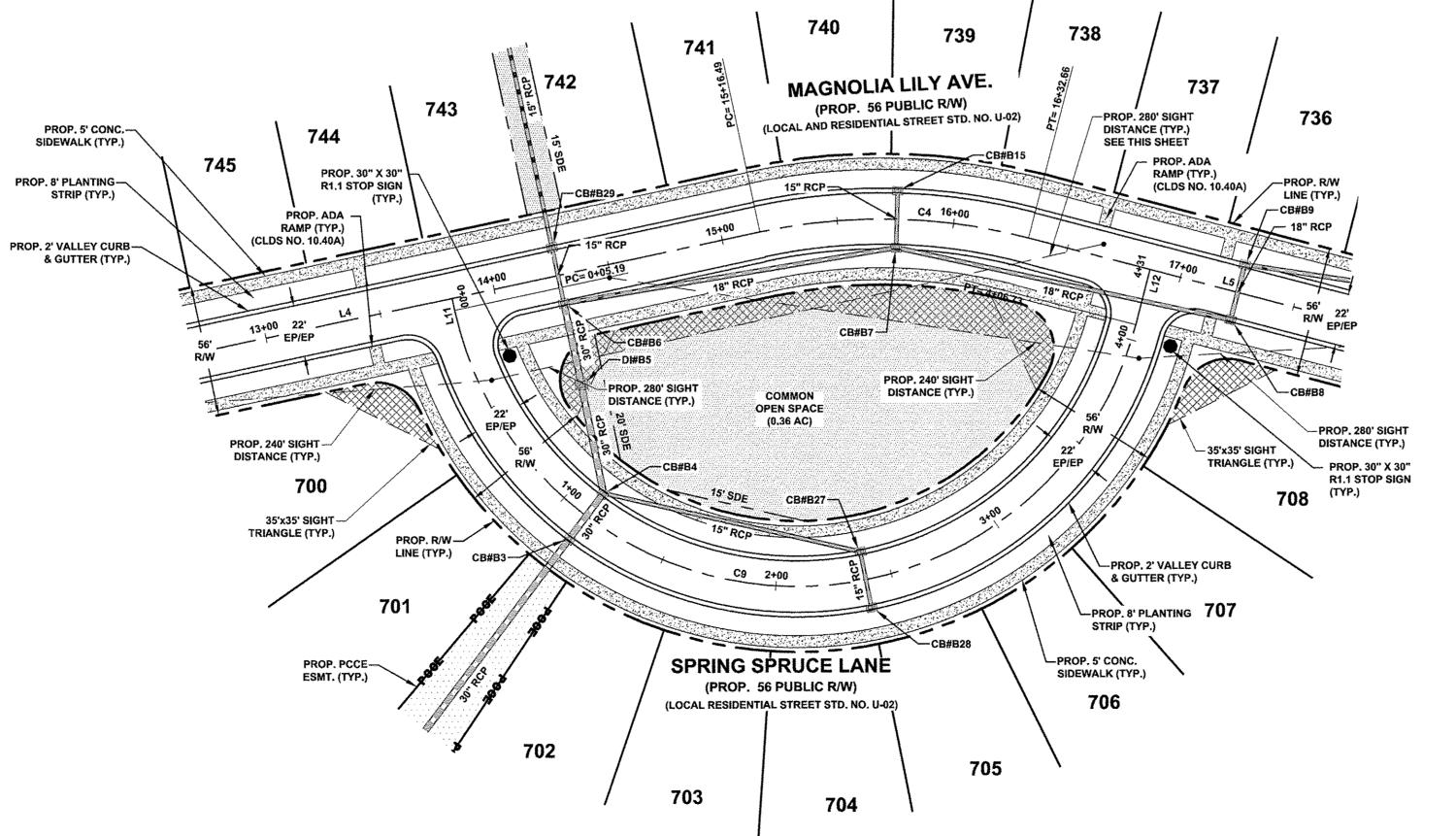
	NO.	DATE	REVISION	BY
	-	08/26/2015	08/26/2015 REVISED PER CLIENT AND CITY COMMENTS	SJD
	**************************************			
S				

**PHASE** WOODBURY

	PUL
PROJECT INFORM	MATION
OJECT MANAGER:	APG
SIGNED BY:	MJS
XAWN BY:	SJD
OJECT NUMBER:	SK03.480
RIGINAL DATE:	05/05/15

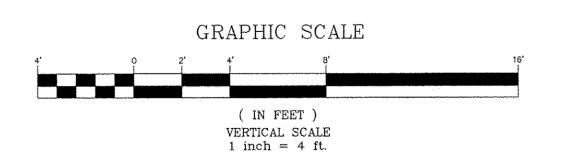


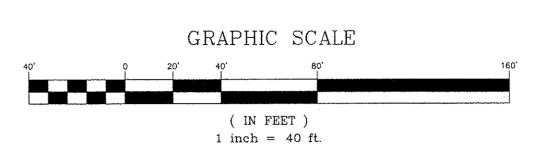




ST	REET CE	NTERLINE ABLE
LINE	LENGTH	BEARING
L8	42.52'	S 40°56'35" W
L9	214.58'	S 73°57'16" W
L10	106.27'	S 60°48'27" W

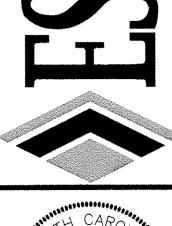
	S	TREET C	ENTERLIN	E CURVE	ETABLE	
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C7	150.00	86.42'	44,45'	85.23'	S 57°26'56" W	33°00'40'
C8	300.00'	68.84'	34.57'	68.69'	S 67°22'51" W	13°08'49'



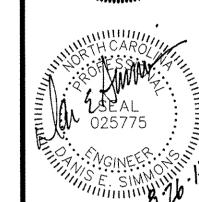




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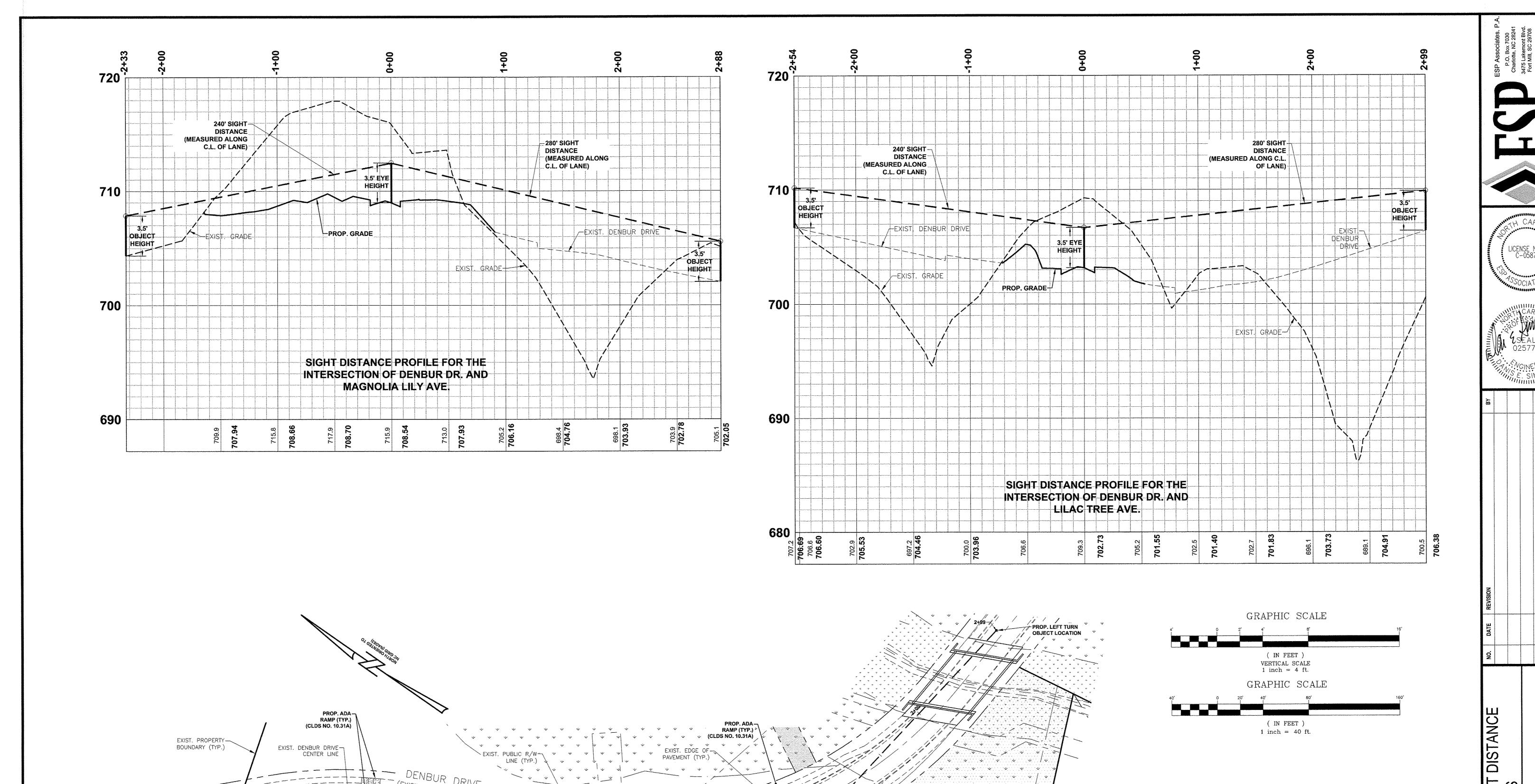


		SN.	GINE SI	EN. W.	311/10	1
ВУ	SZD					
REVISION	REVISED PER CLIENT AND CITY COMMENTS					
里	/2015			-		

AN	
RING SPRUCE LANE ROAD PLAN AND PROFILE	WOODBURY PHASE 2

IS		
PROJECT	INFORM	ATION
PROJECT MANA	GER:	APG
DESIGNED BY:		MJS
DRAWN BY:		SJD
PROJECT NUME	BER:	SK03,486

PROJECT N ORIGINAL DATE:



OBJECT LOCATION 2488

-PROP. 240' SIGHT

C.L. OF LANE)

DISTANCE (TYP.) (MEASURED ALONG

OBJECT LOCATION PROP. 280' SIGHT

DISTANCE (TYP.)
(MEASURED ALONG COMMON

OPEN SPACE

PROP. RIGHT TURN-

**OBJECT LOCATION** 

PROP. 240' SIGHT -

DISTANCE (TYP.)

(MEASURED ALONG C.L. OF LANE)

PROP. SIGHT DISTANCE

35'x35' SIGHT-TRIANGLE (TYP.)

PROP. DRIVER'S

EYE LOCATION

MAGNOLIA LILY AVE. (PROP. 56 PUBLIC R/W) (LOCAL RESIDENTIAL STREET STD. NO. U-02) PROP. 280' SIGHT DISTANCE (TYP.) (MEASURED ALONG C.L.

OF LANE)

RAMP (TYP.)

PROP. 30" X 30"

R1.1 STOP SIGN

EYE LOCATION

LILAC TREE AVE.

(PROP. 56 PUBLIC R/W)
(LOCAL RESIDENTIAL STREET STD. NO. U-02)

(CLDS NO. 10.31A)

1, NO PLANTINGS OR STRUCTURES OVER 3'-6" TALL SHALL BE PLACED WITHIN THE PROPOSED SIGHT DISTANCE EASEMENT. 2. NO LANDSCAPING SHALL BE PLACED WITHIN THE CDOT R/W. 3. PROPOSED DRIVERS EYE LOCATION TAKEN FROM "SECTION 3B.16 STOP AND YIELD LINES" OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, 2009 EDITION, INCLUDING REVISION 1 AND 2 DATED MAY 2012.

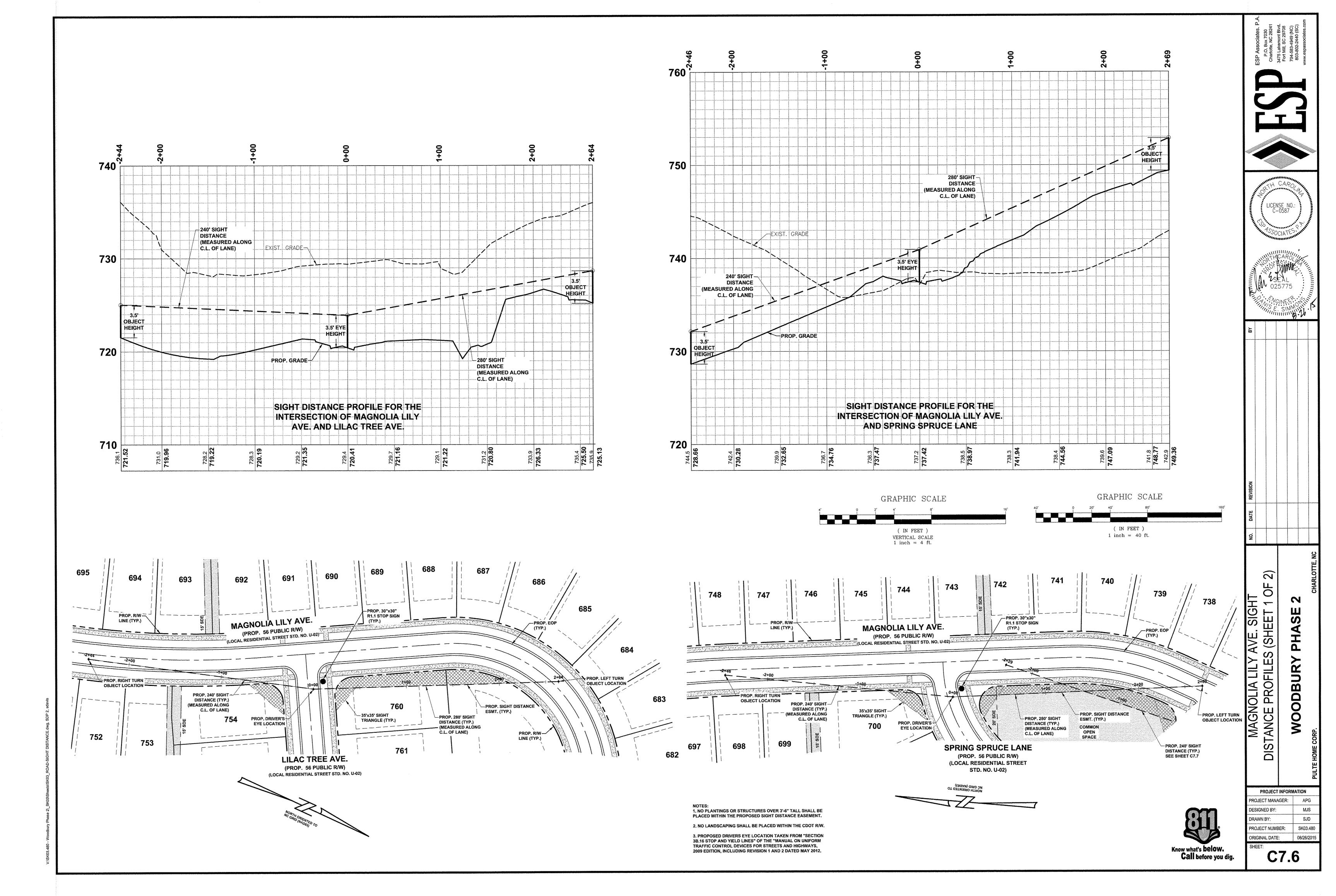
---EXIST. PROPERTY

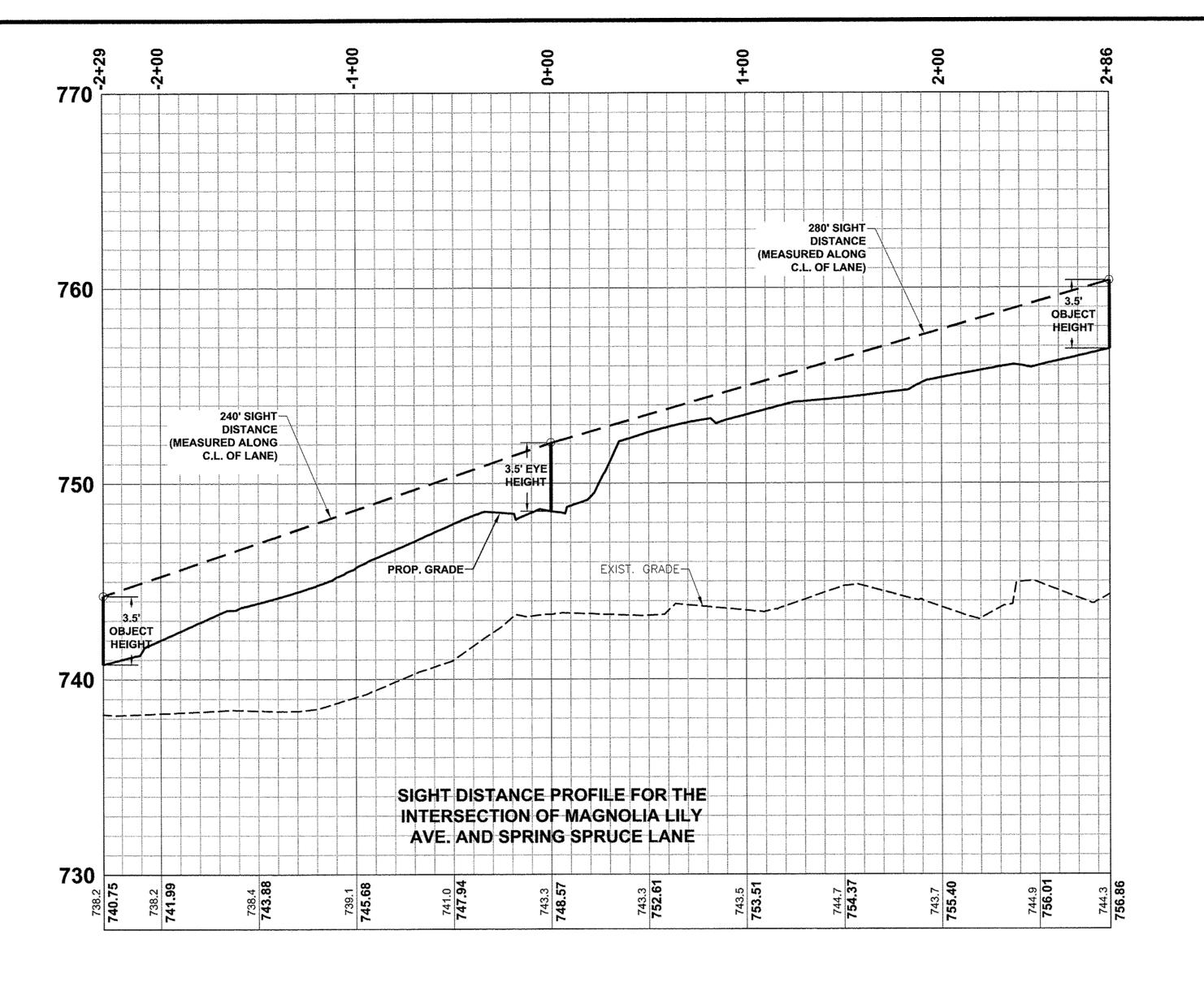
BOUNDARY (TYP.)



	PUL
PROJECT INFORM	MATION
PROJECT MANAGER:	APG
DESIGNED BY:	MJS
DRAWN BY:	SJD
PROJECT NUMBER:	SK03,480
ORIGINAL DATE:	08/26/2015
SHEET:	

DENBUR





-35'x35' SIGHT TRIANGLE (TYP.)

PROP. 280' SIGHT DISTANCE (TYP.) (MEASURED ALONG C.L. OF LANE)

-PROP. DRIVER'S

**EYE LOCATION** 

742

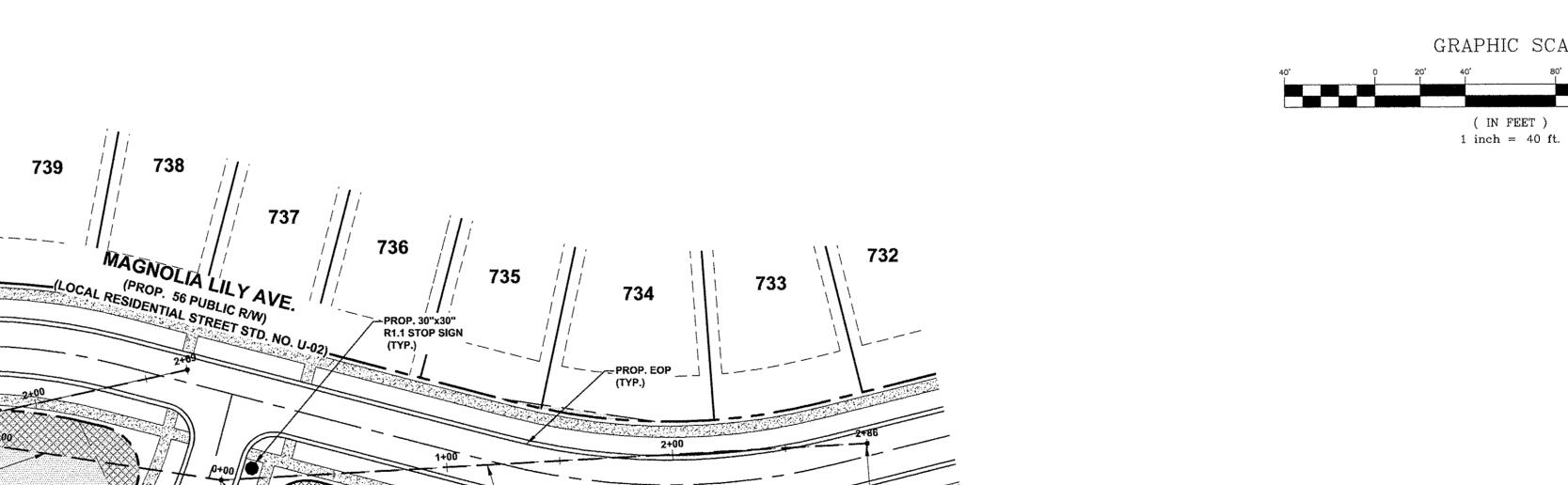
PROP. RIGHT TURN—OBJECT LOCATION

PROP, 280' SIGHT—/ DISTANCE (TYP.) SEE SHEET C7.6

PROP. 240' SIGHT — DISTANCE (TYP.) (MEASURED ALONG C.L. OF LANE)

PROP. SIGHT DISTANCE ESMT. (TYP.)

COMMON OPEN SPACE



-PROP. LEFT TURN

GRAPHIC SCALE VERTICAL SCALE 1 inch = 4 ft. GRAPHIC SCALE

NOTES:

1. NO PLANTINGS OR STRUCTURES OVER 3'-6" TALL SHALL BE PLACED WITHIN THE PROPOSED SIGHT DISTANCE EASEMENT.

2. NO LANDSCAPING SHALL BE PLACED WITHIN THE CDOT R/W.

3. PROPOSED DRIVERS EYE LOCATION TAKEN FROM "SECTION 3B,16 STOP AND YIELD LINES" OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, 2009 EDITION, INCLUDING REVISION 1 AND 2 DATED MAY 2012.

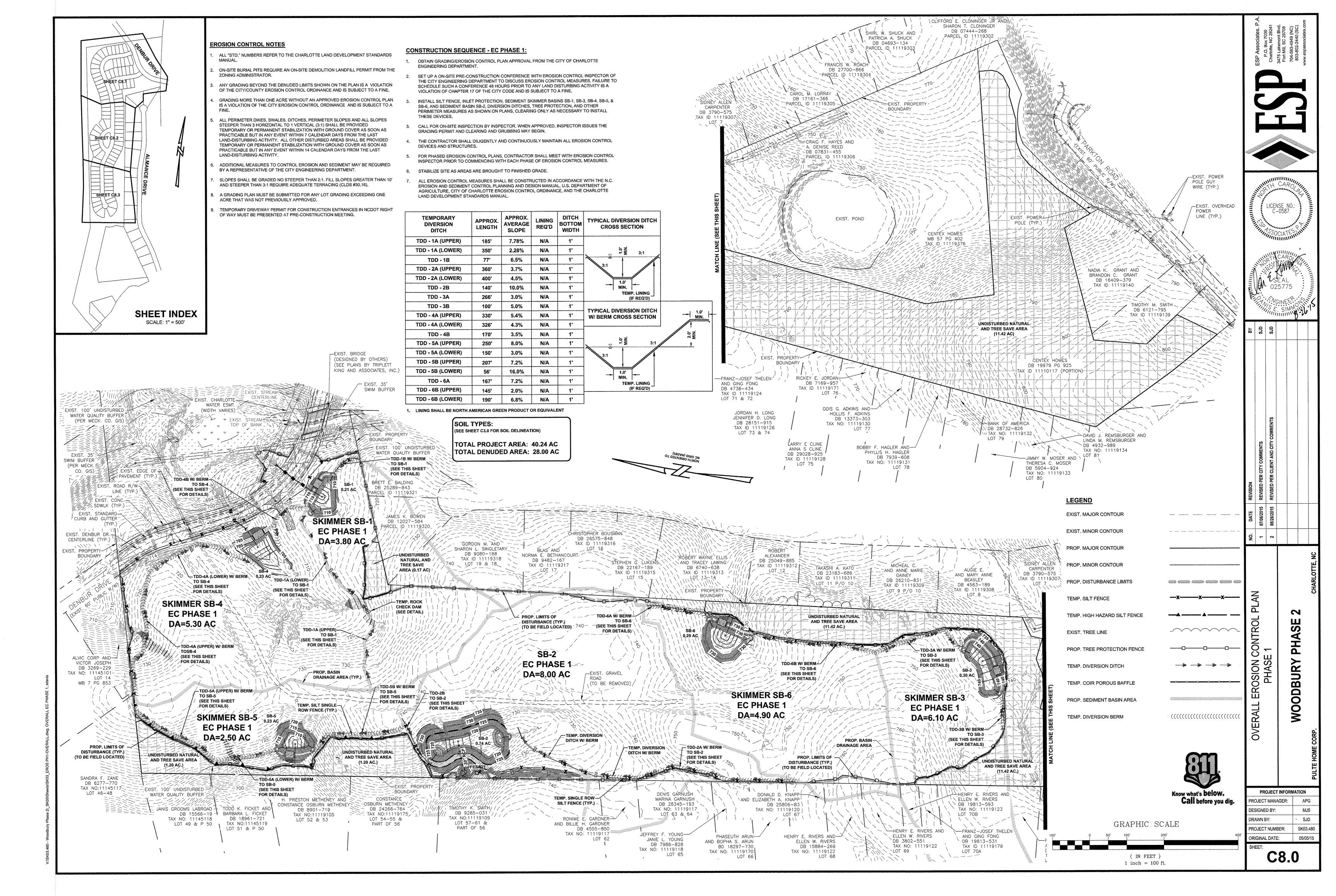


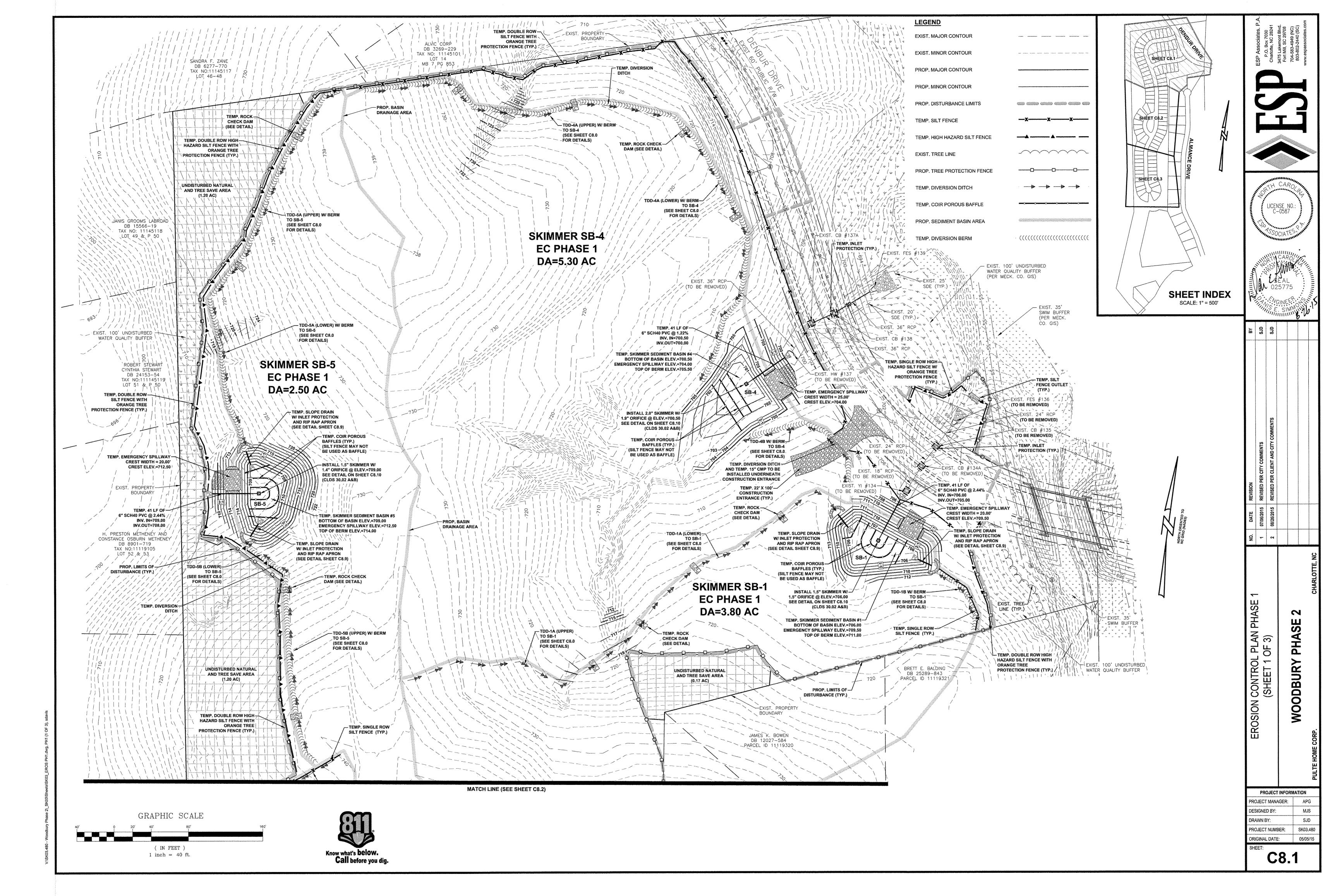
PROJECT INFOR	MATION
PROJECT MANAGER:	APG
DESIGNED BY:	MJS
DRAWN BY:	SJD
PROJECT NUMBER:	SK03.480
ORIGINAL DATE:	08/26/2015
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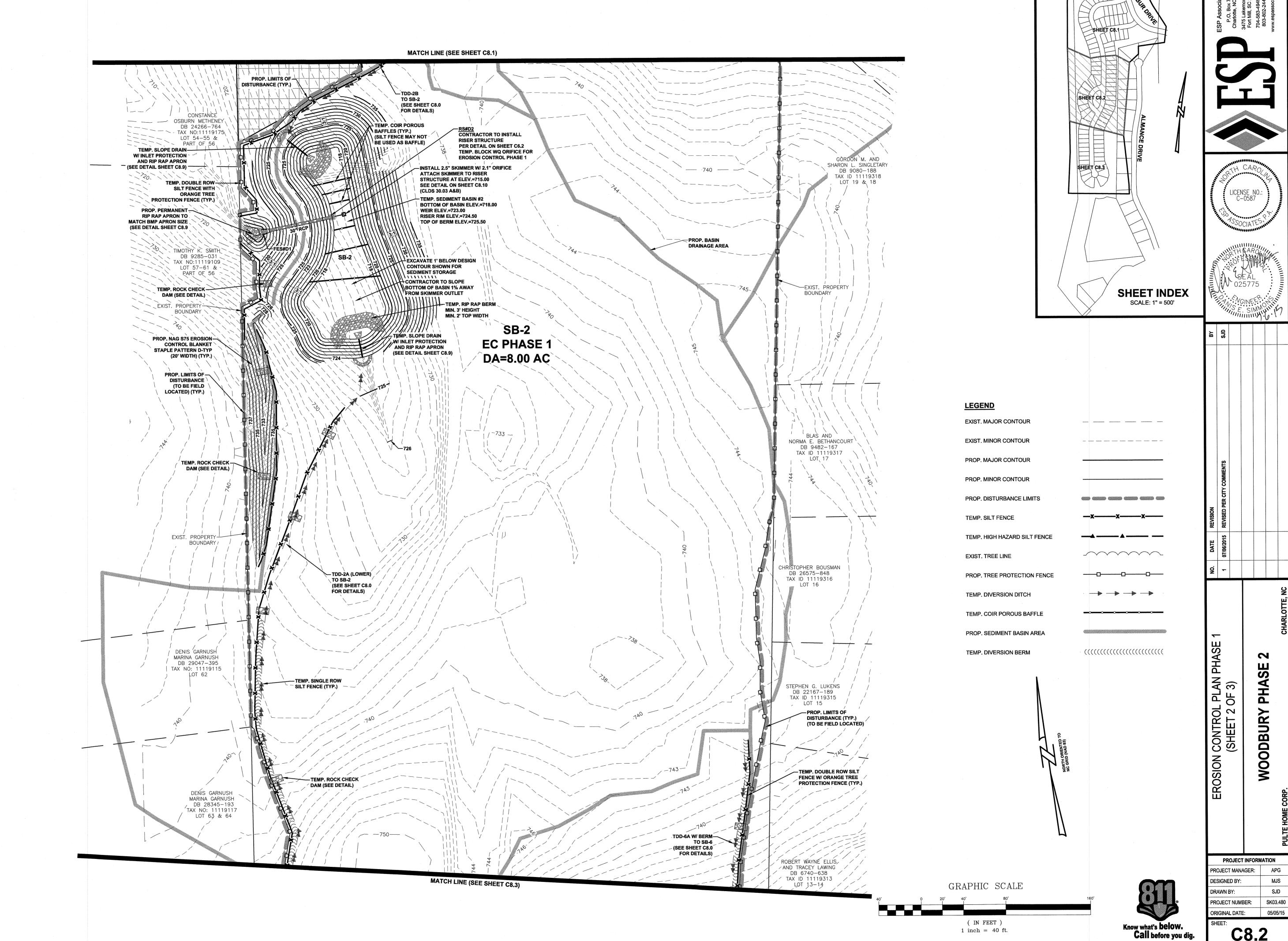
MAGNOLIA LILY AVE. SIGHT DISTANCE PROFILES (SHEET 2 OF 2)

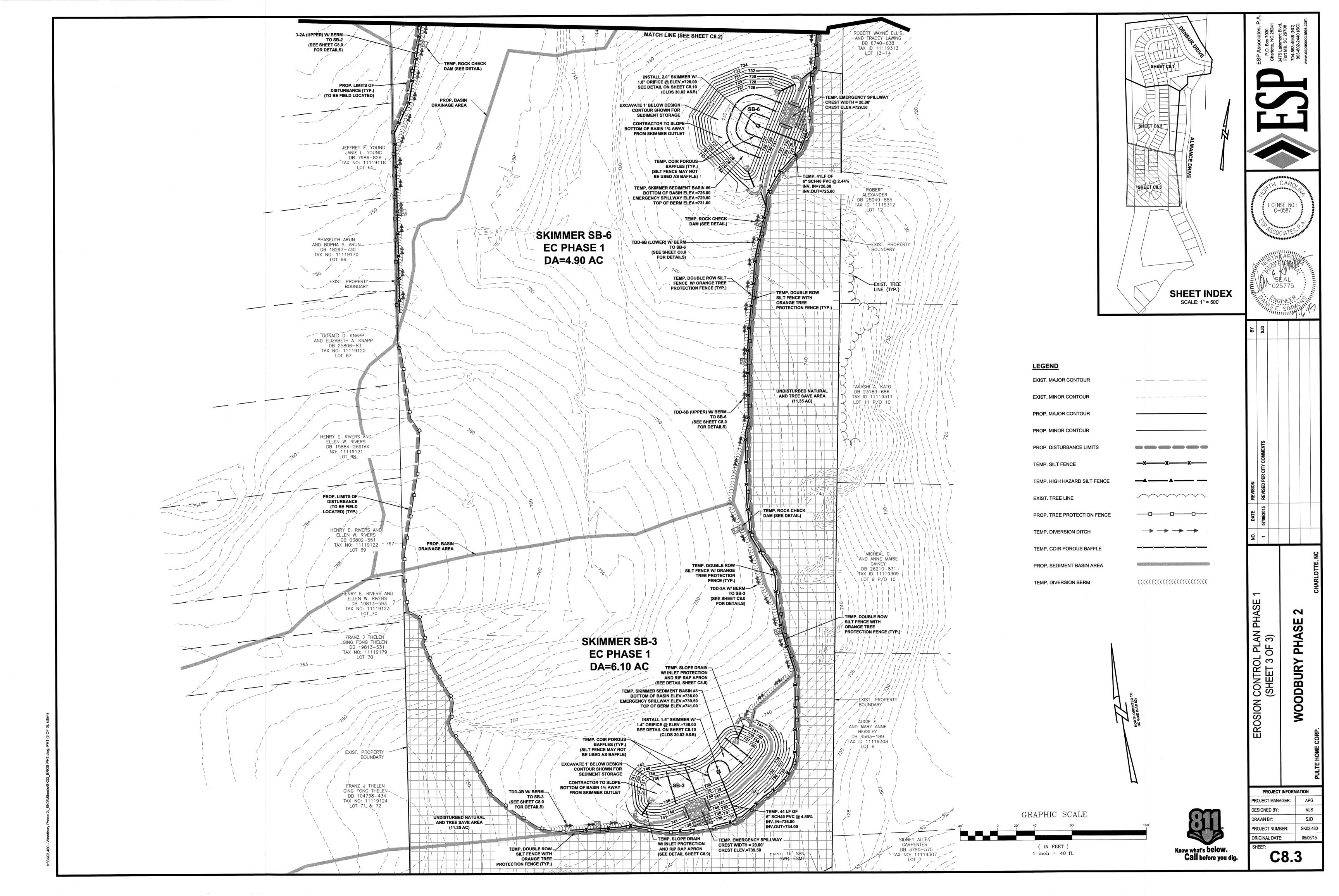
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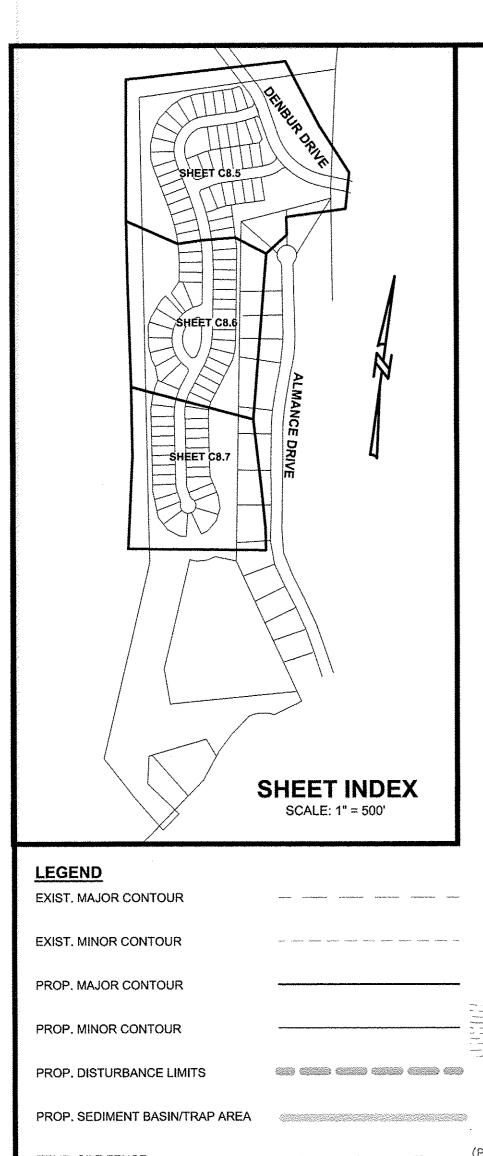
WOODBURY











TAX NO: 11145101;

PROP. RETAINING WALL WITH FENCING PER **OWNER SPECIFICATIONS** (DESIGNED BY OTHERS)

DRAINAGE AREA (TYP.)

TEMP, DOUBLE ROW-

HIGH HAZARD SILT

PROTECTION (TYP.)

SANDRA F. ZANE DB 6277-770

TAX NO:11145117

LOT 46-48

AND TREE SAVE AREA

(1.20 AC)

PROP. RETAINING WALL-WITH FENCING PER

OWNER SPECIFICATIONS

(DESIGNED BY OTHERS)

TEMP. DOUBLE ROW-

FENCE W/ ORANGE TREE

**PROTECTION FENCE (TYP.)** 

DB 15566-19

TAX NO: 11145118

LOT 49 & P 50

HIGH HAZARD SILT

TODD K. FICKET AND

TAX NO:11145119 \

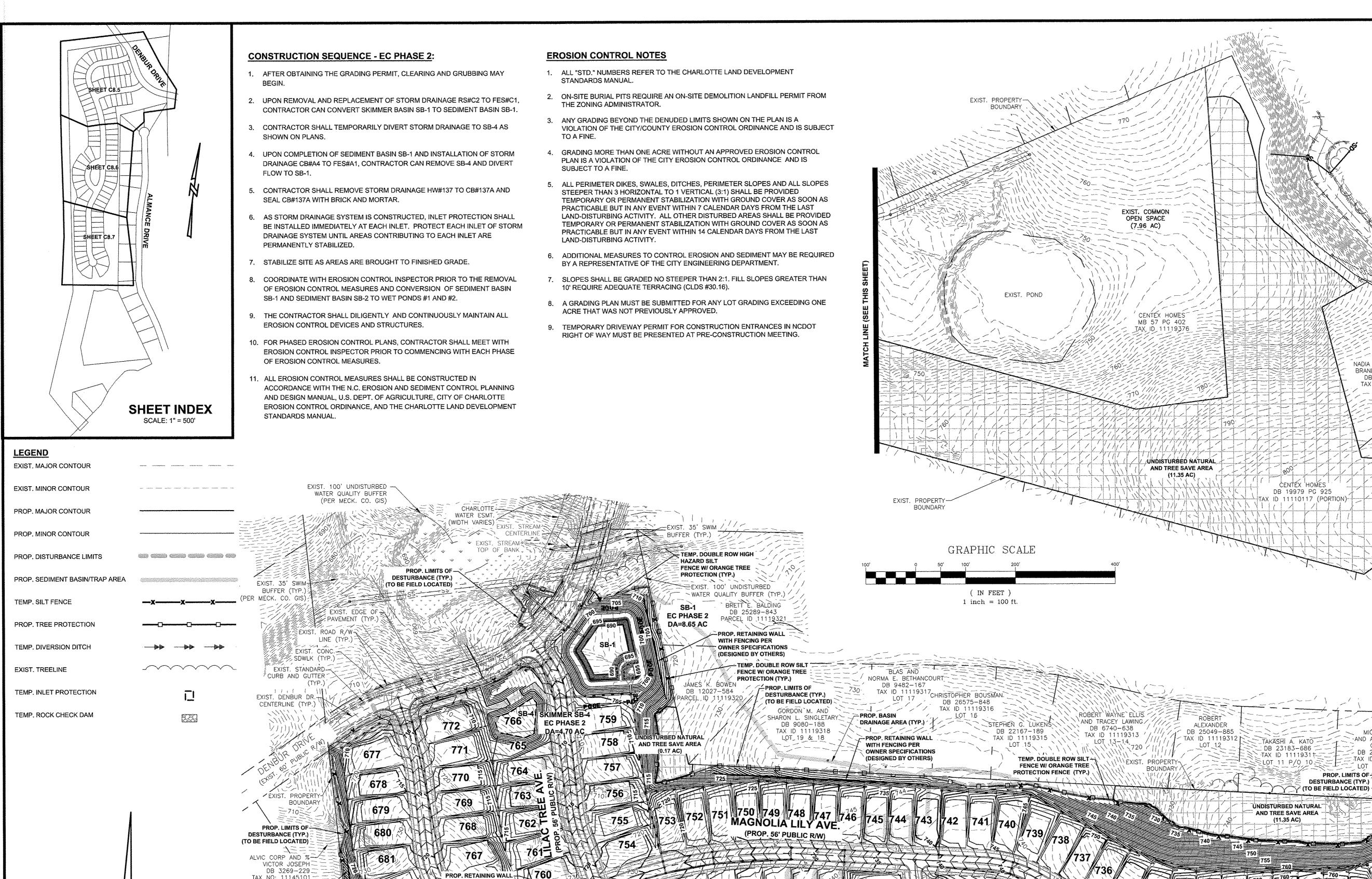
BARBARA L. FICKET

, LOT 51 & P 50

FENCE W/ ORANGE TREE

MB 7 PG 853

OWNER SPECIFICATIONS



UNDISTURBED NATURAL

AND TREE SAVE AREA

(1.20 AC)

CONSTANCE

OSBURN METHENEY

DB 24266-764

LEXIST. 100' UNDISTURBED

H. PRESTON METHENEY AND

CONSTANCE OSBURN METHENEY

DB 8901-719

TAX NO:11119105

LOT 52 & 53

WATER QUALITY BUFFER (TYP.)

DB 3790~575 AND MARY ANNE BEASLEY DB 4563-189 LOT\_8 \_ -TEMP. DOUBLE ROW SILT FENCE W/ ORANGE TREE PROTECTION (TYP. SKIMMER SB-2 EC PHASE 2 BURY Š Š SILT FENCE W/ ORANGE TREE PROTECTION FENC → HENRY E. RIVERS AND ELLEN W. RIVERS DB 19813-593 TAX NO: 11119123 ESIGNED BY: DRAWN BY: FRANZ-JOSEF THELEN PROJECT NUMBER: AND GING FONG ORIGINAL DATE: TAX ID 11119179

TIMOTHY K. SMITH AND BILLIE H. GARDNER DB 4555-850 TAX NO:11119109 TAX NO: 11119117 LOT 57-61 & PART OF 56

EXIST, PROPERTY-

BOUNDARY \_

JEFFREY F. YOUNG-JANIE L. YOUNG DB 7986-828 TAX NO: 11119118 LOT 65

MARINA GARNUSH

TAX NO: 11119117

DB 28345-193

PROP. LIMITS OF-

DESTURBANCE (TYP.)

(TO BE FIELD LOCATED)

LOT 63 & 64 PHASEUTH ARUN-AND BOPHA S. ARUN BD 18297-730 TAX NO: 11119170

TAX NO: 11119120 ) LOT 67 ( HENRY E. RIVERS AND-X ELLEN W. RIVERS TAX NO: 11119122 LOT 66

`AND ELIZABETH A. KNAPP!

DB 25806-83\

HENRY E. RIVERS AND ELLEN W. RIVERS DB 3802-551 DB 15884-269

DRAINAGE AREA (TYP.) \

BRANDON C. GRANT DB 16409-379

TAX ID 11119140

TAX ID 11119309

PROP. LIMITS OF

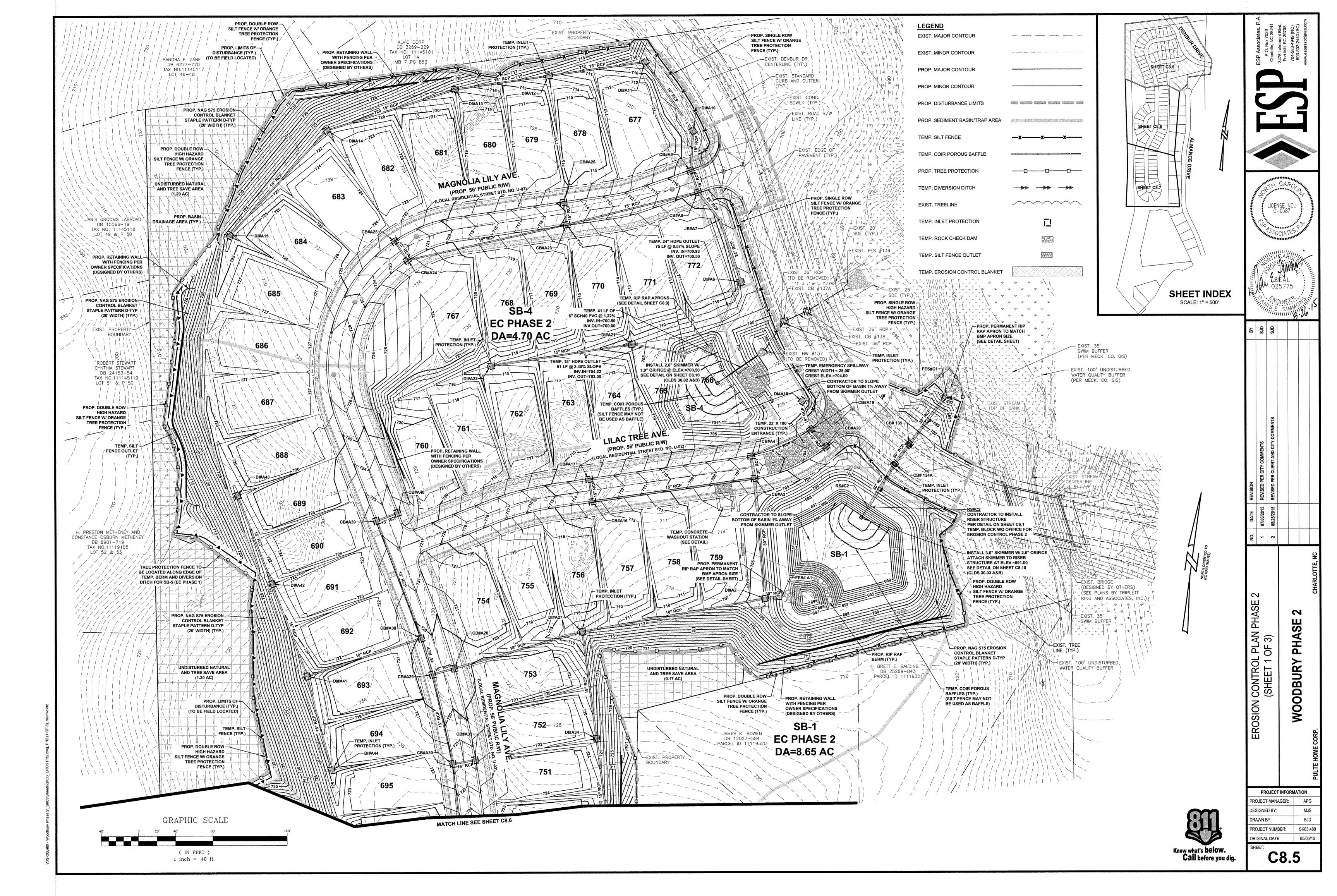
DESTURBANCE (TYP.)

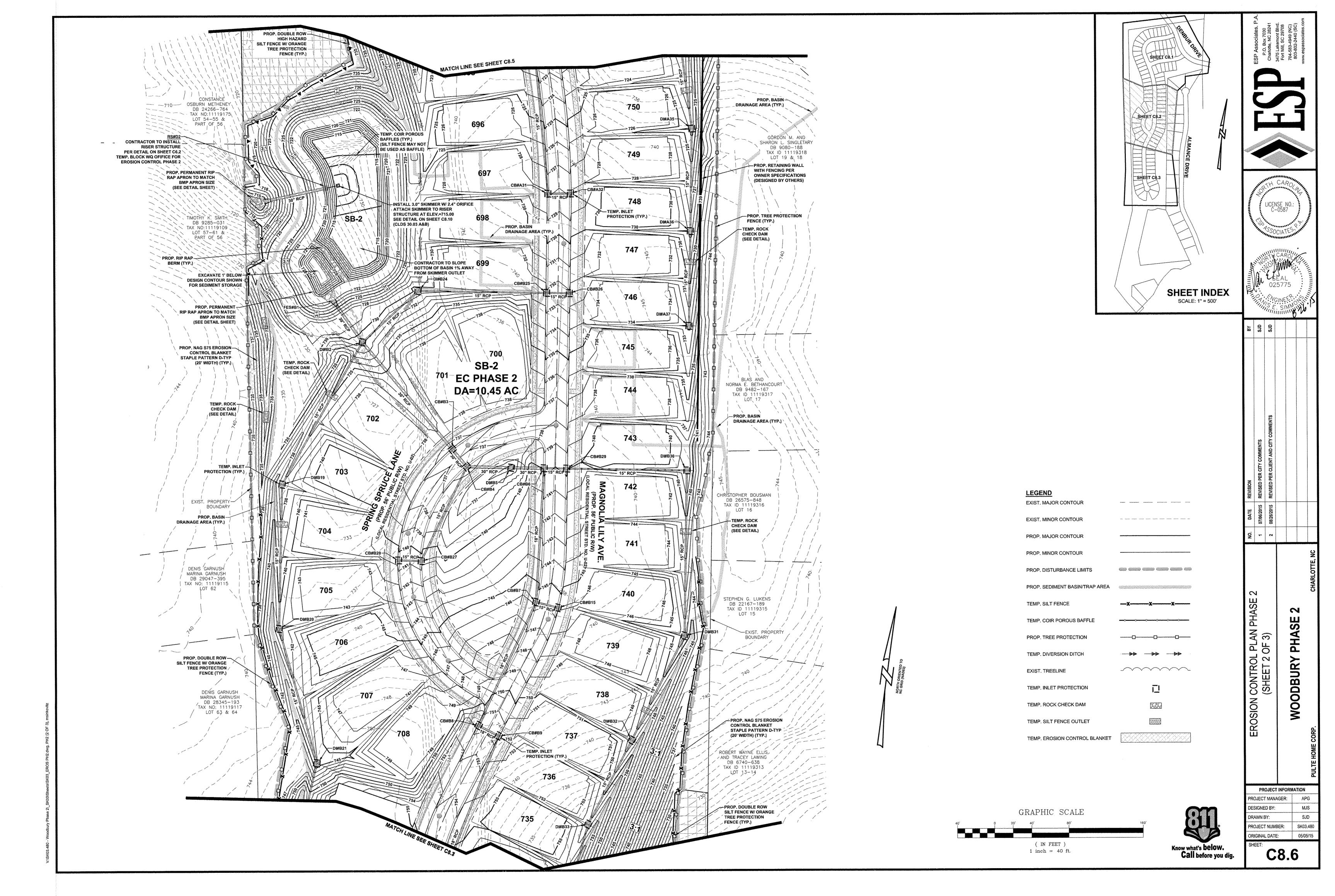
DB 6121-795

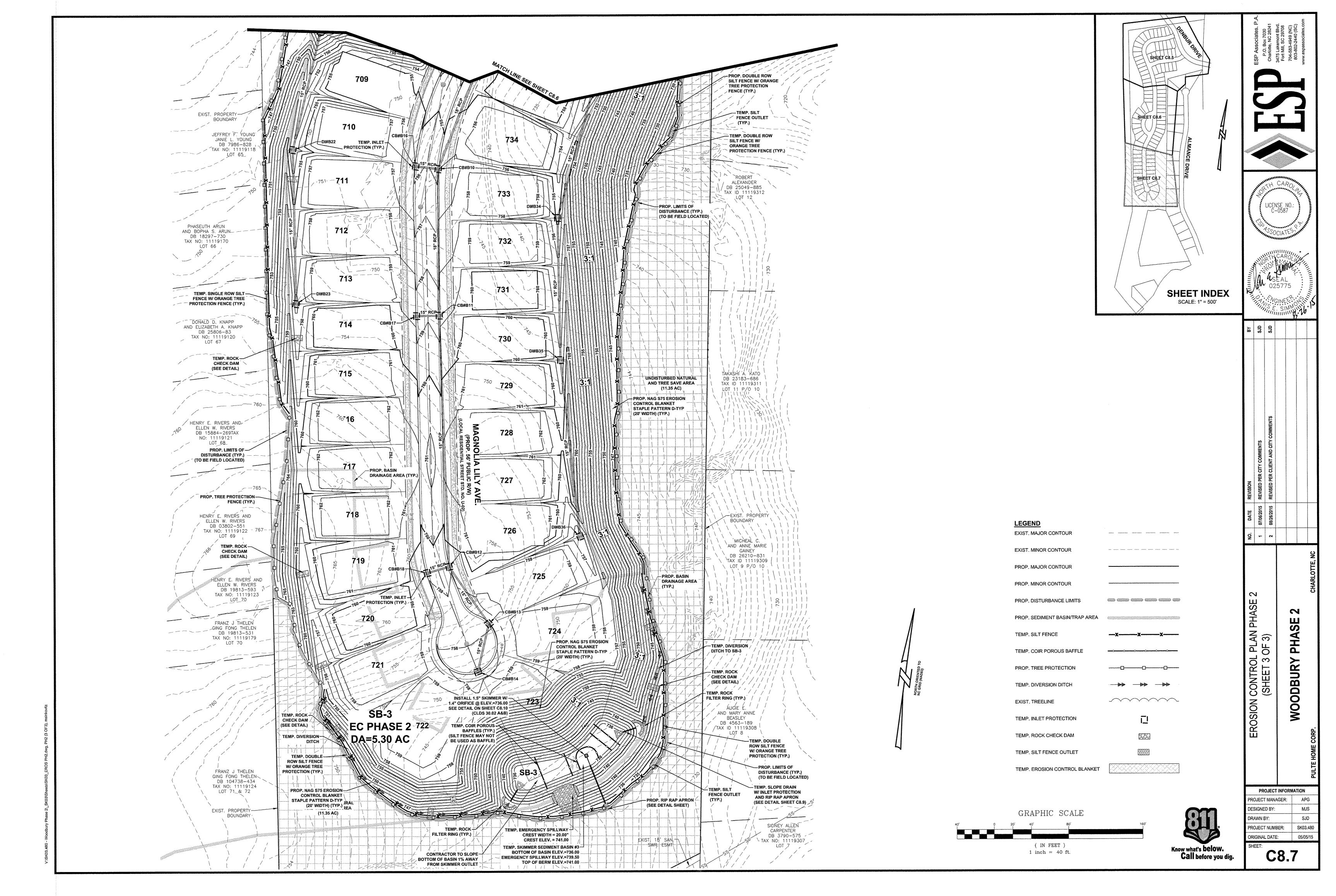
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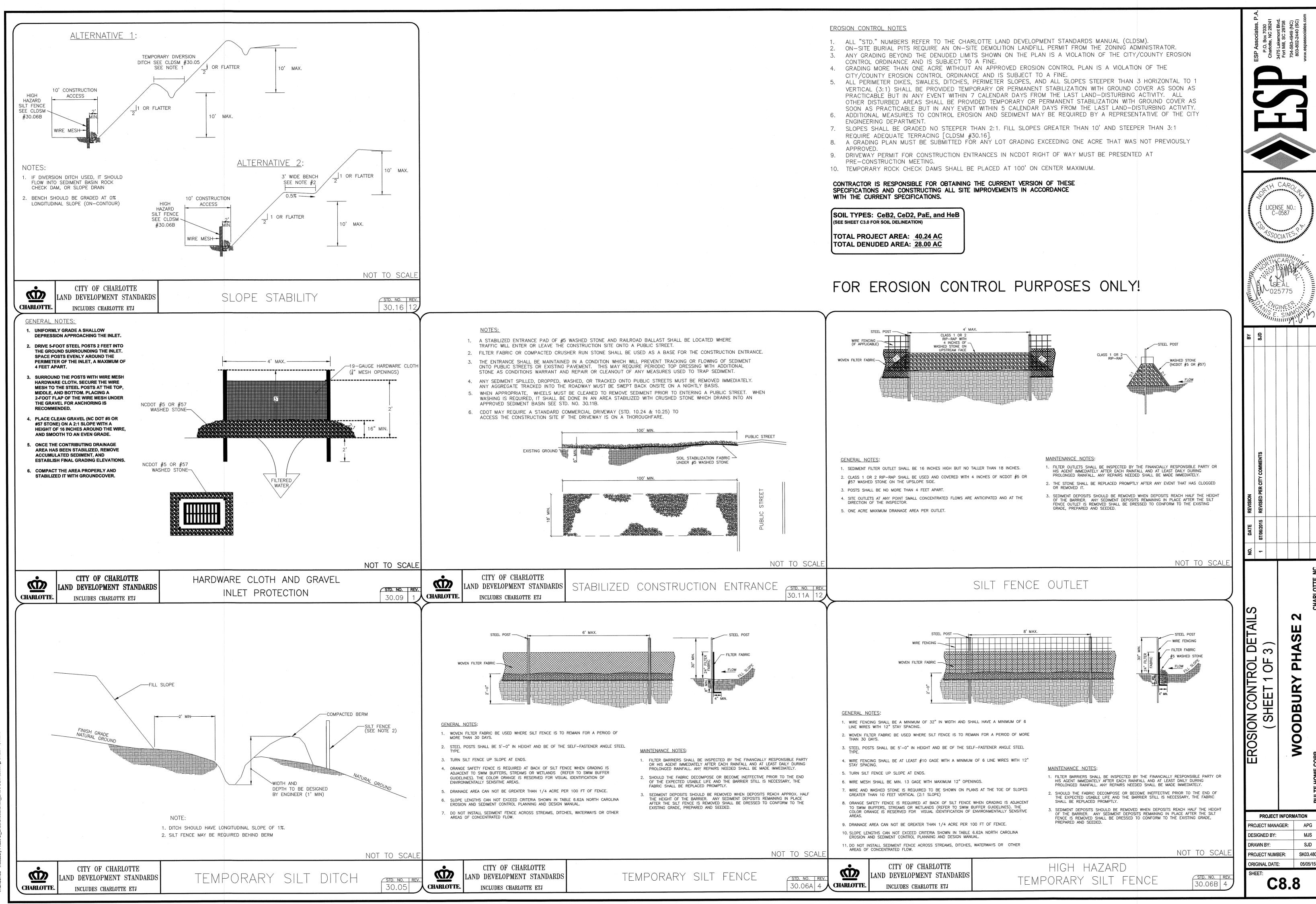
C8.4

Know what's below. Call before you dig.

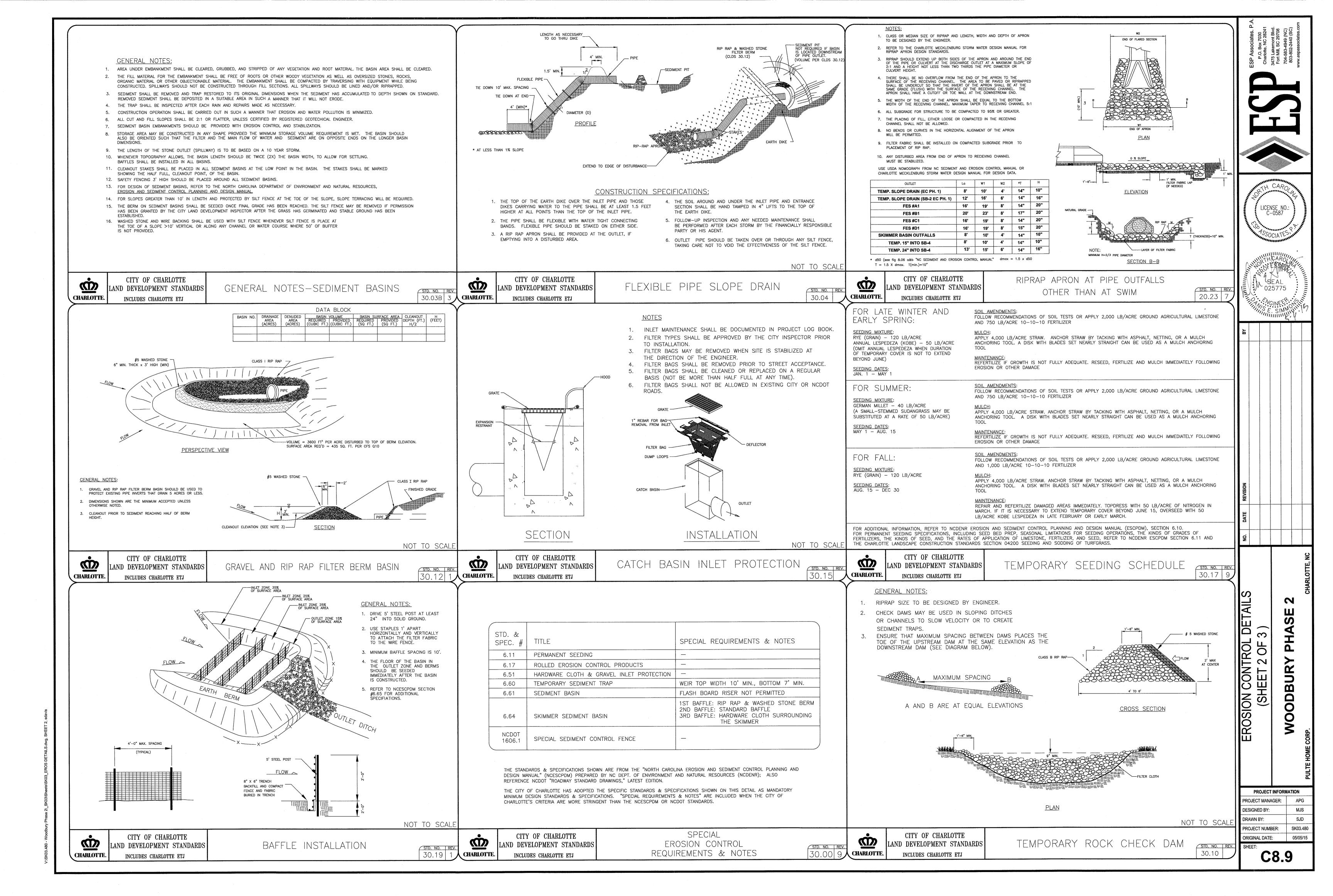


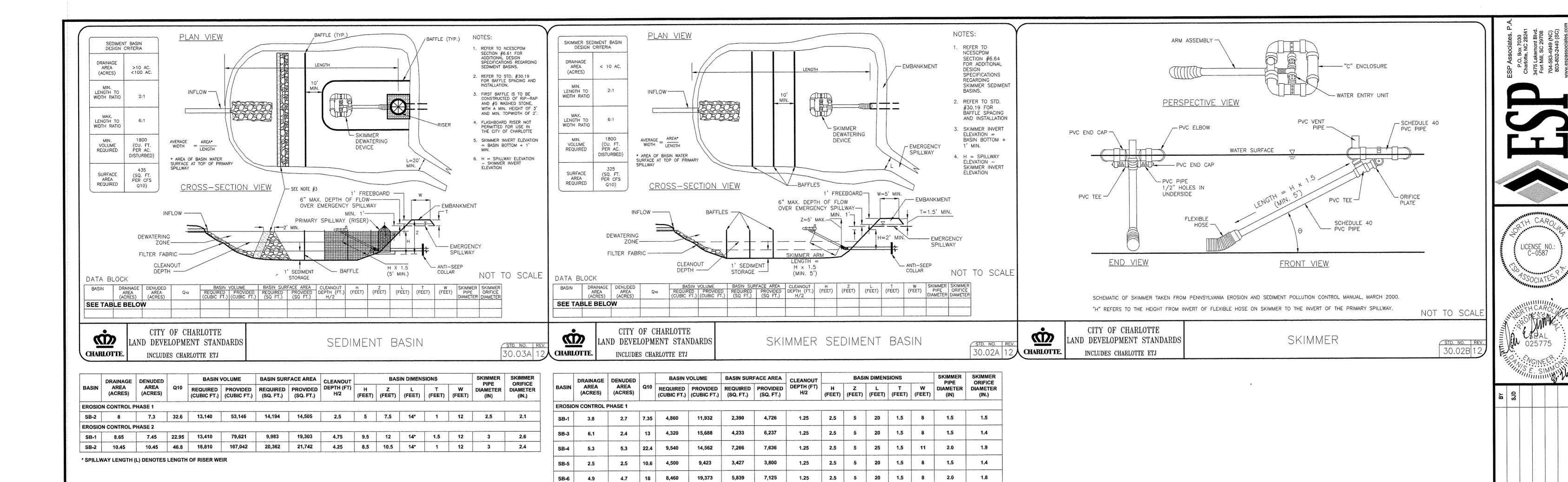






V-SK03 480 - Woodhiry Phase 2/ SK03/Sheets/SK03 FROS





1.25

2.5 5

2.5 5 25 1.5 11 2.0

4.7 19.8 8,460 6,443 7,196 1.25 4.7 SAND BAG (TYP)-MINIMUM 10 mil FLAGGING PLASTIC LINING STAKES AND FLAGGING ON 3 SIDES (OR ALTERNATIVE TO ENHANCE VISIBILITY MAXIMUM VOLUME 1500 GALLONS (SITE AGGREGATE/TOTAL) MINIMUM 10 mil -PLASTIC LINING (SEE NOTE 7) BERM (SEE NOTE 8) FUEL ACCESS/ LANE SHALL PITCH TOWARD CONTAINMENT AT 2% OR LESS PROVIDE A STABILIZED \_ACCESS TO THE FUEL **PLAN VIEW** TANK(S) (SEE NOTE 5) NOTES: 1. ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD. 2. FUEL CONTAINMENT AREAS SHALL NOT BE LOCATED WITHIN 100 FEET OF A DRAINAGE WAY, CREEK, STREAM, WETLAND OR STORMWATER INLET. 3. FUEL CLEAN-UP MATERIALS AND A FIRE EXTINGUISHER SHALL BE AVAILABLE ON SITE. IF NOT LOCATED NEXT TO THE FUEL TANK, PROVIDE SIGNAGE INDICATING THE LOCATION OF THE CLEAN-UP MATERIALS, FIRE EXTINGUISHER, AND CONTACT INFORMATION OF PERSONNEL RESPONSIBLE FOR SPILL CLEAN-UP/EMERGENCY RESPONSE. 4. VOLUME FOR THE CONTAINMENT AREA SHALL BE EQUAL TO THE VOLUME OF THE TANK PLUS 10% OF THE TANK VOLUME (MINIMUM),

5. STABILIZED ACCESS TO THE FUEL CONTAINMENT AREA SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE SWPPP. THE STABILIZED ENTRANCE SHALL HAVE A MINIMUM LENGTH TO ACCOMMODATE THE LARGEST VEHICLE ON SITE AND FUEL

6. A TEMPORARY COVER SHALL BE INSTALLED OVER THE CONTAINMENT AREA TO PREVENT STORMWATER FROM ENTERING THE

AND SIDES THAT ARE PROTECTED FROM PRECIPITATION, PLASTIC SHEETING CAN BE ATTACHED/LOWERED FROM THE ROOF DURING STORM EVENTS TO PROTECT SIDES OF STRUCTURE. PRECIPITATION THAT COLLECTS WITHIN SECONDARY CONTAINMENT

CONTAINMENT AREA FOR TEMPORARY FUEL TANKS

AREA MUST BE COLLECTED AND DISPOSED IN COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

7. PLASTIC LINING (OR EQUIVALENT) MUST BE RESISTANT TO PETROLEUM PRODUCTS.

8. A CONTAINMENT AREA MUST BE PROVIDED EVEN IF THE FUEL TANK IS DOUBLE-WALLED.

CONTAINMENT AREA. AT A MINIMUM, THE TEMPORARY COVER SHALL HAVE A ROOF THAT SLOPES AWAY FROM FUELING AREA

**EROSION CONTROL PHASE 2** 

17.3 2,880

STAKES AND FLAGGING ON 3 SIDES (OR ALTERNATIVE TO-ENHANCE VISIBILITY) MAXIMUM VOLUME 1500 GALLONS (SITE AGGREGATE/TOTAL) PREFABRICATED CONTAINMENT UNIT (SEE NOTE 8) FUEL ACCESS/ LANE \_\_SHALL\_PITCH\_TOWARD CONTAINMENT AT 2% OR LESS PROVIDE A STABILIZED ACCESS TO THE FUEL TANK(S) (SEE NOTE 5) **PLAN VIEW** 

- 1. ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
- 2. FUEL CONTAINMENT AREAS SHALL NOT BE LOCATED WITHIN 100 FEET OF A DRAINAGE WAY, CREEK, STREAM, WETLAND OR STORMWATER INLET.
- 3. FUEL CLEAN-UP MATERIALS AND A FIRE EXTINGUISHER SHALL BE AVAILABLE ON SITE. IF NOT LOCATED NEXT TO THE FUEL TANK, PROVIDE SIGNAGE INDICATING THE LOCATION OF THE CLEAN-UP MATERIALS, FIRE EXTINGUISHER, AND CONTACT INFORMATION OF PERSONNEL RESPONSIBLE FOR SPILL CLEAN-UP/EMERGENCY RESPONSE.
- 4. VOLUME FOR THE CONTAINMENT AREA SHALL BE EQUAL TO THE VOLUME OF THE TANK PLUS 10% OF THE TANK VOLUME (MINIMUM).
- 5. STABILIZED ACCESS TO THE FUEL CONTAINMENT AREA SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE SWPPP. THE STABILIZED ENTRANCE SHALL HAVE A MINIMUM LENGTH TO ACCOMMODATE THE LARGEST VEHICLE ON SITE AND FUEL
- 6. A TEMPORARY COVER SHALL BE INSTALLED OVER THE CONTAINMENT AREA TO PREVENT STORMWATER FROM ENTERING THE CONTAINMENT AREA. AT A MINIMUM, THE TEMPORARY COVER SHALL HAVE A ROOF THAT SLOPES AWAY FROM FUELING AREA AND SIDES THAT ARE PROTECTED FROM PRECIPITATION. PLASTIC SHEETING CAN BE ATTACHED/LOWERED FROM THE ROOF DURING STORM EVENTS TO PROTECT SIDES OF STRUCTURE, PRECIPITATION THAT COLLECTS WITHIN SECONDARY CONTAINMENT
- 7. THE PREFABRICATED CONTAINMENT UNIT (INCLUDING SIDES AND BOTTOM) MUST BE CAPABLE OF CONTAINING PETROLEUM PRODUCTS AND MUST BE CONSTRUCTED SO THAT ANY DISCHARGE FROM THE FUEL TANK WILL NOT BE RELEASED INTO THE

AREA MUST BE COLLECTED AND DISPOSED IN COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

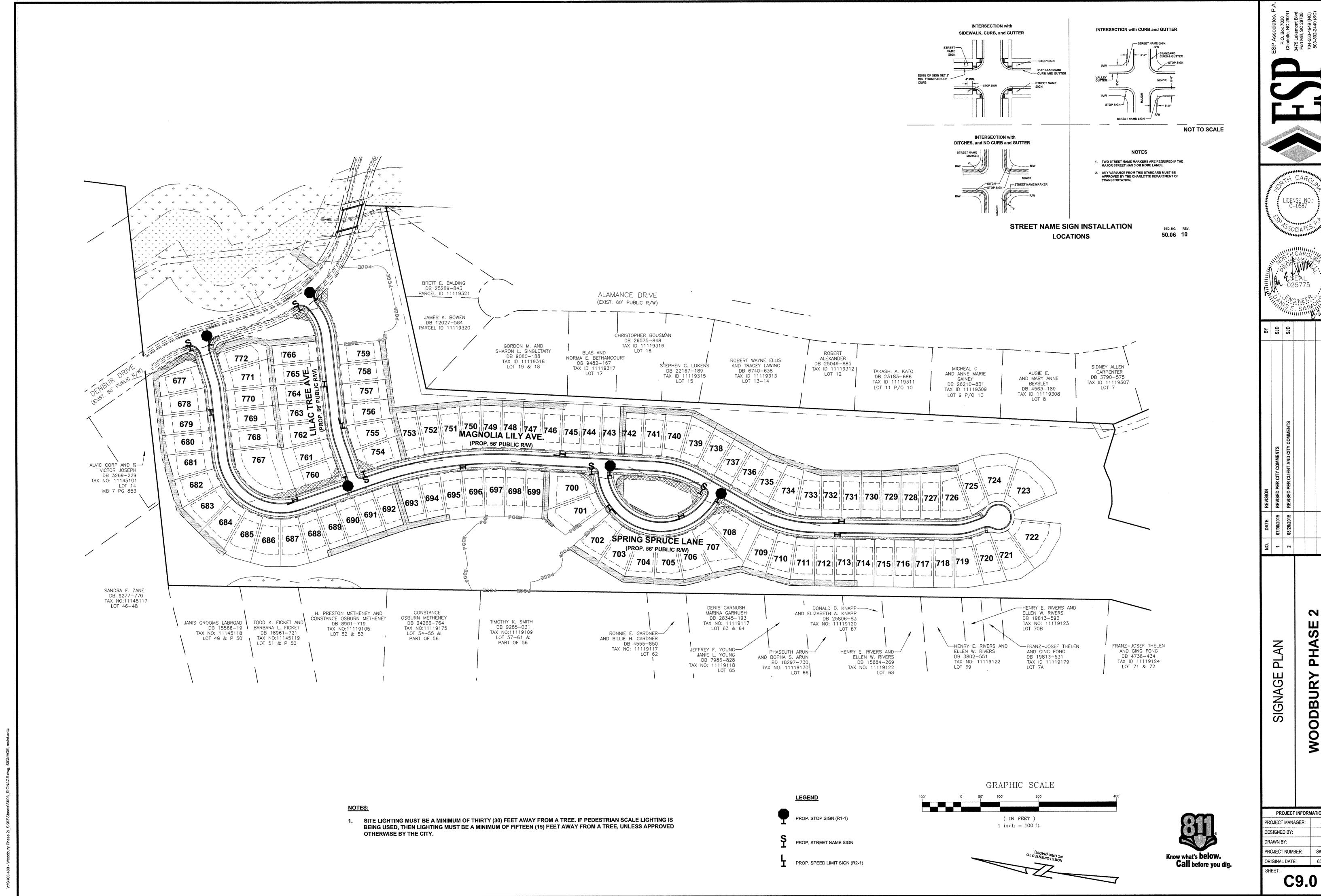
8. A CONTAINMENT AREA MUST BE PROVIDED EVEN IF THE FUEL TANK IS DOUBLE-WALLED.

CONTAINMENT AREA FOR TEMPORARY FUEL TANKS - PREFABRICATED UNIT

PROJECT INFORMATION PROJECT MANAGER: DESIGNED BY: DRAWN BY: PROJECT NUMBER: ORIGINAL DATE:

TAIL

05/05/15







NO.	DATE	REVISION	à
~	07/06/2015	07/06/2015 REVISED PER CITY COMMENTS	3
2	08/26/2015	08/26/2015 REVISED PER CLIENT AND CITY COMMENTS	3
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PROJECT INFORM	MATION
PROJECT MANAGER:	APG
DESIGNED BY:	MJS
ORAWN BY:	SJD
PROJECT NUMBER:	SK03,480
ORIGINAL DATE:	05/05/15

	CLIFFORD E. CLONINGER JR AND SHARON T. CLONINGER	S. P.A. 241 60 C) S.com
STREET TREE PLANTING SCHEDULE  SYMBOL QUANTITY BOTANICAL NAME COMMON NAME SIZE SPACING LOCATION	SHIRL W. SHUCK AND PATRICIA A. SHUCK DB 04693-134 PARCEL ID 11119303  SHIRL W. SHUCK AND PARCEL ID 11119302  EXIST. SIGN—	Associates O. Box 7030 rlotte, NC 285 Lakemont Bl Mill, SC 297 583-4949 (Nu 5802-2440 (S
121 QUERCUS PHELLOS WILLOW OAK 3" CAL. PER PLAN, 40'-50' ON CENTER MAGNOLIA LILY AVENUE	FRANCIS W. ROACH	ESP A P.C Chart 3475 L Fort N 704-5 803-8
24 QUERCUS NUTTALII NUTTALL OAK 3" CAL. PER PLAN, 40'-50' ON CENTER LILAC TREE AVE.	PARCEL ID 11119304  OF PAVEMENT (TYP.)	
20 ULMUS PARVIFOLIA LACEBARK ELM 3" CAL. PER PLAN, 40'-50' ON CENTER SPRING SPRUCE LANE  STREET NAME  PLANTABLE MINIMUM QUANTITY QUANTITY  STREET NAME  PLANTABLE MINIMUM QUANTITY QUANTITY  STREET NAME	CAROL M. LORRAY DB 17161-366 PARCEL ID 11119305  EXIST. PROPERTY  CAROL M. LORRAY DB 17161-366 PARCEL ID 11119305	
LENGTH (LF)   REQUIRED   PROVIDED	EXIST. PROPERTY BOUNDARY  OF PAVEMENT (TYP.)  EXIST. GUARD RAIL (TYP.)	
SPRING SPRUCE LANE 758 19 20  DENBUR DRIVE * N/A 141 141  DENBUR DRIVE * N/A 141 141  Woodbury Phase 1 Platted Areas  TREE SAVE TOTAL COS TOTAL PLATTED  (AC.) (AC.) (AC.)	CRAIG F. HAYES AND A. DENISE REED DB 07831-455 CENTER LINE (TYP.)	
*DENBUR DRIVE PLANTING REQUIREMENTS PER WOODBURY PHASE 1 PLANS BY ESP ASSOCIATES, P.A. PERMIT # SSF1-2007086  MAP 1 13.66 24.12 53.96  MAP 2 31.23 43.69 55.52  MAP 3 5.14 6.41 11.42	PARCEL ID 11119306  EXIST. COMMON  OPEN SPACE  —FXIST. OVERHEA	
NOTES:  MAP 4 0.00 0.70 3.20  MAP 5 0.00 0.16 20.01	(7.96 AC)  POWER POLE GUY WIRE (TYP.)  POWER (TYP.)	CAROLA LA
2. SITE LIGHTING MUST BE A MINIMUM OF THIRTY (30) FEET AWAY FROM A TREE. IF PEDESTRIAN SCALE LIGHTING IS BEING USED, THEN LIGHTING MUST BE A MINIMUM OF FIFTEEN (15) FEET AWAY FROM A TREE, UNLESS APPROVED OTHERWISE BY THE CITY.  MAP 6 0.00 0.00 1.75  MAP 7 0.00 0.58 28.01  MAP 8 0.00 0.00 3.9	HIS SHE	LICENSE NO.: C-0587
MAP 9         3.53         4.83         9.86           MAP 10         0.00         0.16         9.59	EXIST. POND  EXIST. POWER POLE (TYP.)	ASSOCIATES, ILLIAND
2. REMOVAL OF EXISTING TREES PLANTED WITHIN PROPOSED SIGHT DISTANCE TRIANGLES AND EASEMENTS TO BE DETERMINED BY THE CITY OF CHARLOTTE.  3. LOCATION AND NUMBER OF TREES PROPOSED TO BE PLANTED WITHIN SIGHT DISTANCE TRIANGLES AND TOTAL 66.337 101.451 264.19	CENTEX HOMES MB 57 PG 402 TAX ID 11119376  CENTEX HOMES MB 57 PG 402 FOLE (TYP.)  EXIST. CABLE—  EXIST. CABLE—	WITH CAROUS
EASEMENTS TO BE DETERMINED BY THE CITY OF CHARLOTTE.  4. CONTRACTOR TO COORDINATE TREE PLANTING WITH CITY OF CHARLOTTE URBAN FORESTRY AND CONSTRUCTION INSPECTORS  GRAPHIC SCALE	NADIA K. GRANT AND BRANDON C. GRANT	THE STANDARD OF THE STANDARD O
100' 0 50' 100' 200' 400'	DB 16409-379 TAX ID 11119140	025775 SAG - 8 - 5 - 5 - 5 - 5 - 5 - 5 - 5 - 5 - 5
TREE SAVE:  ( IN FEET )  TOTAL SITE AREA:  TOTAL TREE SAVE REQUIRED (PHASE 1 & 2):  79.02 AC	TIMOTHY M. SMITH DB 6121-795 TAX ID 11119139	SINGINE SIMM
(316.07 AC x 25%)= EXIST. PHASE 1 TREE SAVE PLATTED (SEE TABLE): 66.337 AC PROP. PHASE 2 TREE SAVE REQUIRED: 12.683 AC	EXIST. OVERHEAD	SUD SUD
PROP. PHASE 2 TREE SAVE PROVIDED: 12.72 AC PROP. TREE SAVE PROVIDED (PHASE 1 & 2): 79.06 AC	UNDISTURBED NATURAL AND TREE SAVE AREA (11.35 AC)  EXIST. PROPERTY—  CENTEY HOMES	
THE STREAM	EXIST. PROPERTY— BOUNDARY DB 19979 PG 925 FRANZ-JOSEF THELEN AND GING FONG DB 4738-434 RICKEY E. JORDAN— CENTEX HOMES DB 19979 PG 925 TAX ID 11110117 (PORTION)	
CHARLOTTE— WATER ESMT.  (WIDTH VARIES)  CHARLOTTE— WATER ESMT.  (WIDTH VARIES)  CHARLOTTE— WATER ESMT.  (SEE PLANS BY TRIPLETT  KING AND ASSOCIATES, INC.)  EXIST. PHASE 1 TREES WITHIN BRIDGE	TAX ID 11119124 DB 7169-957 LOT 71 & 72 TAX ID 11119171 LOT 76	
EXIST. STREAM  EXIST. STREAM  EXIST. STREAM  DRIVE BETWEEN BRIDGE AND NW PROPERTY BOUNDARY.	ODIS G. ADKINS AND— HOLLIS F. ADKINS DB 13373-303 TAX NO: 11119130	82
EXIST. 15' SAN. SWR. ESMT. SWR. ESMT.	JORDAN H. LONG JENNIFER D. LONG DB 28151-915 LOT 77  BANK OF AMERICA DB 28732-826 TAX NO: 11119132 LOT 79  LINDA M. REMSBURGER AND LINDA M. REMSBURGER	Y COMMEN
EXIST. 5' CONCRETE TO SIDEWALK (TYP.)  CENTER LINE (TYP.)  Ot (£887N) GIABO ON GEROLE TO THE SIDEWALK (TYP.)	TAX ID 11119126 LOT 73 & 74, BOBBY F. HAGLER AND— PHYLLIS H. HAGLER DB 7939-608 TAX NO: 11119131  THERESA C. MOSER  LOT 81  LINDA M. REMISBURGER DB 4932-989 TAX NO: 11119134 LOT 81	COMMENTS
EXIST. 25'  EXIST. CHARLOTTE WATER QUALITY BUFFER  SDE (TYP.)  WATER SWR. ESMT.  (WIDTH VARIES)	LOT 78  DB 5904-924  TAX NO: 11119133  LOT 80	PER CITY
BRETT E. BALDING DB 25289-843 PARCEL ID 11119321  ALAMANCE DRIVE		REVISIO REVISEC REVISEC
EXIST. 20' SDE (TYP.)  JAMES K. BOWEN  (EXIST. 60' PUBLIC R/W)		DATE 07/06/2015 08/26/2015
EXIST. PROPERTY— BOUNDARY  DB 12027-584 PARCEL ID 11119320  COMMON OPEN SPACE  (10 99 AC)  COMMON OPEN SPACE  CHRISTOPHER BOUSMAN DB 26575-848		NO 2
GORDON M. AND TAX ID 11119316 SHARON L. SINGLETARY DB 9080-188 TAX ID 11119318 DB 9482-167  DB 9482-167  DB 9482-167	ROBERT WAYNE ELLIS AND TRACEY LAWING  ROBERT WAYNE ELLIS ALEXANDER DB 25049-885	E, NC
758 UNDISTURBED NATURAL AND TREE SAVE AREA (0.17 AC)  ON THE STEPHEN G. DB 22167  ON TAX ID 11119317  EXIST. PROPERTY BOUNDARY  ON TO 19 & 18  ON TO 19 & 18	TAX ID 11119312   TAKASHI A. KATO   MICHEAL C.   AND ANNE MARIE   AUGIE E.   CARPENTER   DB 3790-575   TAX ID 11119311   DB 26210-831   DB 26210-831   BEASLEY   TAX ID 11119307   PROP. CONCRETE SIDEWALK   MICHEAL C.   AND ANNE MARIE   AUGIE E.   DB 3790-575   TAX ID 11119307   PROP. STORM DRAINAGE EASEMENT   MICHEAL C.   AND ANNE MARIE   DB 3790-575   TAX ID 11119307   PROP. STORM DRAINAGE EASEMENT   MICHEAL C.   AUGIE E.   DB 3790-575   TAX ID 11119307   PROP. STORM DRAINAGE EASEMENT   MICHEAL C.   AUGIE E.   DB 3790-575   TAX ID 11119307   PROP. STORM DRAINAGE EASEMENT   MICHEAL C.   AUGIE E.   DB 3790-575   TAX ID 11119307   PROP. STORM DRAINAGE EASEMENT   MICHEAL C.   AUGIE E.   DB 3790-575   TAX ID 11119307   PROP. STORM DRAINAGE EASEMENT   MICHEAL C.   AUGIE E.   DB 3790-575   TAX ID 11119307   PROP. STORM DRAINAGE EASEMENT   MICHEAL C.   AUGIE E.   DB 3790-575   TAX ID 11119307   PROP. STORM DRAINAGE EASEMENT   MICHEAL C.   AUGIE E.   DB 3790-575   TAX ID 11119307   PROP. STORM DRAINAGE EASEMENT   MICHEAL C.   AUGIE E.   DB 3790-575   TAX ID 11119307   PROP. STORM DRAINAGE EASEMENT   MICHEAL C.   AUGIE E.   DB 3790-575   TAX ID 11119307   PROP. STORM DRAINAGE EASEMENT   MICHEAL C.   AUGIE E.   DB 3790-575   TAX ID 11119307   PROP. STORM DRAINAGE EASEMENT   MICHEAL C.   AUGIE E.   DB 3790-575   TAX ID 11119307   PROP. STORM DRAINAGE EASEMENT   MICHEAL C.   AUGIE E.   DB 3790-575   TAX ID 11119307   PROP. STORM DRAINAGE EASEMENT   MICHEAL C.   AUGIE E.   DB 3790-575   TAX ID 11119307   PROP. STORM DRAINAGE EASEMENT   MICHEAL C.   AUGIE E.   DB 3790-575   TAX ID 11119307   PROP. STORM DRAINAGE EASEMENT   MICHEAL C.   AUGIE E.   DB 3790-575   TAX ID 11119307   PROP. STORM DRAINAGE EASEMENT   MICHEAL C.   AUGIE E.   DB 3790-575   TAX ID 11119307   PROP. STORM DRAINAGE EASEMENT   MICHEAL C.   AUGIE E.   DB 3790-575   TAX ID 11119307   TAX ID 11119307	PLA
678 770 764 W g 757 757 757 757 757 757 757 757 757 7	EXIST. PROPERTY— BOUNDARY  LOT 11 P/O 10  TAX ID 11119309 LOT 9 P/O 10  EXIST. 15' SAN.—  EXIST. 15' SAN.—  SWR FSMT  LOT 11 P/O 10  TAX ID 11119309 LOT 7  (SDE)  PROP. UNDISTURBED NATURAL AREAS AND TREE SAVE AREAS	
756 PROP. 240' SIGHT DISTANCE (TYP.) 750 749 748 747 746 745 744 743 742 744	SWR, ESMT.	
679  755  751  752  751  750  749  746  745  744  743  747  746  747  746  747  746  747  746  747  748  748	739 738 COMMON OPEN SPACE COMM	
ALVIC CORP AND TREES MAY BE TREES MAY BE	737 736  COMMON OPEN SPACE (19.99 AC)  EXIST. CONCRETE SIDEWALK	
DB 3269-229 TAX NO: 11145101 LOT 14 MB 7 PG 853  COT 14 MB 7 PG 853	735 734 723 720 PROP. SIGHT TRIANGLE	
683  694  693  694  694  695  TREES MAY BE LIMBED UP TO 6 FT IN SIGHT DISTANCE TRIANGLES (TYP.) PROP. 240' SIGHT DISTANCE (TYP.) SIGHT DISTANCE (TYP.)	733 732 731 730 729 728 727 726 COMMON OPEN SPACE (19,99 AC)	
	708	<b>X X X X X X X X X X</b>
703/// // // // // // // // // // // // //	PROP. 35' x 35' 709 SIGHT TRIANGLE (TYP.)	ME, CO
UNDISTURBED NATURAL (19.99 AC)  AND TREE SAVE AREA (1.20 AC)  COMMON OPEN SPACE (19.99 AC)  AND TREE SAVE AREA (1.20 AC)  COMMON OPEN SPACE (19.99 AC)  (19.99 AC)  (19.99 AC)  (19.99 AC)	PROP. 280' PROP. 280' SIGHT DISTANCE (TYP.) COMMON OPEN SPACE (11.35 AC)	TR M
SANDRA F. ZANE  DB 6277-770  TAX NO:11145117  EXIST. 100' UNDISTURBED  TAX NO.21145117	(19.99 AC)  EXIST. PROPERTY	PROJECT INFORMATION
WATER QUALITY BUFFER  H. PRESTON METHENEY AND CONSTANCE  CONSTANCE OSBURN METHENEY  JANIS GROOMS LABROAD TODD K. FICKET AND DB 8901-719 DB 24266-764 TIMOTHY K. SMITH	DENIS GARNUSH MARINA GARNUSH DD 00NALD D. KNAPP MARINA GARNUSH AND ELIZABETH A. KNAPP DB 25806-83 TAX NO: 11119117 TAX NO: 11119120  BOUNDARY HENRY E. RIVERS AND ELLEN W. RIVERS DB 19813-593 TAX NO: 11119123	PROJECT MANAGER: APG  DESIGNED BY: MJS  DRAWN BY: S.ID
DB 15566-19 \ BARBARA L. FICKET \ TAX NO:11119105 TAX NO:11119175 DB 9285-031  TAX NO: 11145118 DB 18961-721 LOT 52 & 53 LOT 54-55 & TAX NO:11119109 RONNIE E. GARDNER \ LOT 49 & P 50 \ TAX NO:11145119 PART OF 56 PART OF 56 DB 4555-850	LOT 63 & 64  LOT 67  HENRY E. RIVERS AND FRANZ-JOSEF THELEN  FRANZ-JOSEF THELEN	DRAWN BY: SJD PROJECT NUMBER: SK03,480 ORIGINAL DATE: 05/05/15
LOT 62	JEFFREY F. YOUNG PHASEUTH ARUN HENRY E. RIVERS AND SING FONG AND GING FONG BLLEN W. RIVERS AND GING FONG AND BOPHA S. ARUN ELLEN W. RIVERS DB 3802-551 DB 19813-531 DB 4738-434 Know what's below.  TAX NO: 11119118 TAX NO: 11119179 TAX NO: 11119179 LOT 7A TAX NO: 11119179 LOT 7A  ELLEN W. RIVERS AND GING FONG DB 4738-434 Know what's below.  TAX NO: 11119118 TAX NO: 11119179 LOT 7A  ELLEN W. RIVERS AND GING FONG DB 4738-434 TAX NO DB 19813-531 DB 19813-531 TAX NO: 11119124 TAX NO: 11119179 LOT 7A  ELLEN W. RIVERS AND GING FONG DB 4738-434 TAX NO: 11119124 TAX NO: 11119179 TAX NO: 11119179 LOT 7A  ELLEN W. RIVERS AND GING FONG DB 4738-434 TAX NO: 11119124 TAX NO: 11119179 TAX NO: 11119179 LOT 7A  ELLEN W. RIVERS AND GING FONG DB 4738-434 TAX NO: 11119124 TAX NO: 11119179 TAX NO: 11119179 LOT 7A  ELLEN W. RIVERS AND GING FONG DB 4738-434 TAX NO: 11119124 TAX NO: 11119179 TAX NO: 11119179 LOT 7A  ELLEN W. RIVERS AND GING FONG DB 4738-434 TAX NO: 11119124 TAX NO: 11119179 TAX NO: 11119179 LOT 7A  ELLEN W. RIVERS AND GING FONG DB 4738-434 TAX NO: 11119124 TAX NO: 11119179 TAX NO: 11119179 LOT 7A  ELLEN W. RIVERS AND GING FONG DB 4738-434 TAX NO: 11119124 TAX NO: 11119179 TAX NO: 11119179 LOT 7A  ELLEN W. RIVERS AND GING FONG DB 4738-434 TAX NO: 11119124 TAX NO: 11119179 TAX NO: 1111917	
	LOT 65 LOT 66 LOT 68	

## NOTES: 1. REMOVE WIRE AND NYLON TWINE FROM BALL AND CANOPY. CHARLOTTE URBAN FORESTRY - TREE PLANTING AND PRESERVATION REQUIREMENTS: 2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION. PLANT MATERIAL 3. STAKING IS REQUIRED FOR ALL TREES IN R.O.W. OR UPON MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER AND 8' TALL FOR SINGLE-STEM TREES. ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 REQUEST OF ARBORIST. TRUNKS, AND MINIMUM 10' TALL. WHERE 3" SINGLE-STEM CALIPER TREES ARE SPECIFIED/REQUIRED THE MINIMUM HEIGHT SHALL BE 10' TALL, IF MULTI-STEM 4. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A TREES ARE SPECIFIED THEN THEY SHALL BE A MINIMUM OF 12' TALL. LEGAL MANNER. ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE 5. RESEED UNMULCHED, DISTURBED AREAS. SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE FREE OF ABRASIONS, DAMAGE, DISEASE, 3/4" NYLON STRAP -----6" SLIP KNOT WITH STOP KNOT. PESTS AND CRACKS. ALL PRUNING CUTS GREATER THAN ½ INCH DIAMETER SHALL HAVE CALLUS TISSUE FORMED PRIOR TO PLANTING. NO PRUNING CUT ON 6" LARGER THAN TREE DIAMETER THE TRUNK SHALL BE MORE THAN ONE-HALF THE DIAMETER OF THE CENTRAL LEADER AT THE HEIGHT WHERE THE CUT WAS MADE. ROOT FLARES SHALL BE ROOT CROWN TO LOCATED AT GRADE. TREES WITH MORE THAN 2" OF SOIL COVERING THE ROOT BALL/FLARE FROM WILL NOT BE ACCEPTED (CLDS.40.09). BE AT FINISH GRADE SIZE OF REQUIRED PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (LATEST EDITION) AS PUBLISHED BY THE 4" HIGH / 6" WIDE MAXIMUM AMERICAN NURSERY & LANDSCAPE ASSOCIATION, EXCEPT WHERE SPECIFIED/AUTHORIZED BY URBAN FORESTRY. -4" MAXIMUM LAYER OF MULCH BERM OUTSIDE OF ROOTBAL ALL REQUIRED TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CONFIGURATION. 3 - 1"x2"x18" WOOD STAKES -PERIMETER TREES IN URBAN ZONES SHALL BE 3" IN CALIPER AND BE FREE OF BRANCHES UP TO 6' FROM THE TOP OF THE BALL. WITH CENTERED 3/8" HOLE DRIVEN IN LINE WITH STRAP A MINIMUM OF 50% OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN 20 TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE (3 OR EQUALLY SPACED AROUND TREE MORE) SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES. 75% OF REQUIRED TREES MUST BE LARGE MATURE SPECIES EXCEPT IN SITUATIONS WITH OVERHEAD POWER LINE CONFLICTS. PLANTING REQUIREMENTS SEE CLDS 40.01 (ON PLAN) FOR DETAILED TREE PLANTING REQUIREMENTS. REMOVE TYPICAL EXCESS SOIL -FROM ROOT CROWN PLASTIC HOSE PARTS WILL NOT BE ACCEPTED FOR TREE STAKING. SEE CLDS 40.01 FOR APPROVED STAKING METHOD/MATERIALS. ALL STRAPPING, AND TOP 1/3 OF WIRE BASKET AND BURLAP MUST BE CUT AWAY AND REMOVED FROM ROOT BALL WHEN PLANTING. AND ANY NAILS/PINS, ETC. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW ROOT BALL DIA. TOPSOIL, OR TILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF REMOVE TOP 1/3 OF WIRE 274 SQUARE FEET PER LARGE MATURE TREE AND 200 SQUARE FEET PER SMALL MATURE TREE). 12. REVIEW SOIL REQUIREMENTS IN THE TREE ORDINANCE GUIDELINES AT: HTTP://LANDPERMITS.CHARMECK.ORG THEN CLICK TREES. RAISE PIT BOTTOM TO SET ROOT CROWN AT THE CORRECT HEIGHT. FIRM SOIL UNDER ROOT BALL UTILITY ISSUES LARGE MATURING TREES MAY NOT BE PLANTED WITHIN 25' OF OVERHEAD POWER DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING. CALIPER HEIGHT (RANGE) MAX. HEIGHT MIN. ROOT BALL DIA. MIN. ROOT BALL DEPTH ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES. NO LIGHT POLES, UTILITY POLES OR TRANSFORMERS CAN BE INSTALLED IN TREE ISLANDS. COMMERCIAL SCALE LIGHTING (> 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 30' FROM A TREE. PEDESTRIAN SCALE LIGHTING (≤ 15' IN HEIGHT) MUST CITY OF CHARLOTTE BE A MINIMUM DISTANCE OF 15' FROM A TREE, LIGHTING PLAN TO BE PROVIDED BY OTHERS. TREE PLANTING LAND DEVELOPMENT STANDARDS TREE SAVE AND PRESERVATION TREE PROTECTION MUST BE INSTALLED AND VERIFIED BY URBAN FORESTRY PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY. (FOR SINGLE AND MULTI-STEM TREES) CHARLOTTE. INCLUDES CHARLOTTE ETJ SHOW TREE PROTECTION AND TREES SAVE AREAS ON EROSION CONTROL, GRADING AND LANDSCAPE PLAN SHEETS. COMMERCIAL TREE SAVE AREAS MUST BE RECORDED ON A FINAL PLAT WITH THE MECKLENBURG COUNTY REGISTER OF DEEDS BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED. A 10' NO BUILD ZONE AROUND TREE SAVE AREAS MUST BE REFERENCED ON THE PLAT. SPACING VARIES SEE LANDSCAPE PLAN 20. THE AREA OF ANY EASEMENTS (WATER, SEWER, UTILITY, ETC.) CAN NOT BE COUNTED TOWARD THE TREE SAVE REQUIREMENT. ANY ALTERATIONS TO TREE SAVE AREAS MUST BE ACCOMPLISHED WITHOUT MECHANIZED EQUIPMENT. NO STRUCTURE WILL BE ALLOWED WITHIN 10' OF TREE SAVE AREAS UNLESS APPROVED BY URBAN FORESTRY. 22. 1. SCARIFY ROOT MASS OF 23. ALL TREES ON PUBLIC PROPERTY ARE PROTECTED AND REMOVAL MUST BE PERMITTED BY THE CITY ARBORIST (704)336-4262. CONTAINERIZED PLANT MATERIAL. **GENERAL** 2. INSTALL CONTAINERIZED PLANTS AT 24. CALL (704) 336-3622 FOR AN INSPECTION OF TREE PROTECTION/PLANTING AREAS, A MINIMUM OF 5 DAYS BEFORE A CO IS NEEDED. FINSHED GRADE VISIT CITY OF CHARLOTTE'S LAND DEVELOPMENT WEBSITE FOR ADDITIONAL INFORMATION AND URBAN FORESTRY REQUIREMENTS: TAMP PLANTING MIX FIRMLY HTTP://LANDPERMITS.CHARMECK.ORG THEN CLICK TREES. AS PIT IS FILLED AROUND EACH PLANT BALL. 26. CONTRACTOR SHALL MULCH ALL SHRUB BEDS WITH DOUBLE HAMMERED HARDWOOD MULCH. 4. OMIT COLLAR AROUND EACH SHRUB CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANS. QUANTITIES ARE FOR CONVENIENCE ONLY. IF THERE IS A DISCREPANCY BETWEEN THE 27. WHEN IRRIGATION SYSTEM IS PRESENT. "V" TRENCH AROUND — ENTIRE PLANTING BED PLANTING PLAN AND THE PLANTING SCHEDULE, THE PLAN SHALL PREVAIL. SOAK EACH PLANT BALL AND ALL CONSTRUCTION MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH CITY OF CHARLOTTE AND MECKLENBURG COUNTY STANDARDS. PIT IMMEDIATELY AFTER CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO INSTALLATION AND NOTIFY ESP ASSOCIATES IMMEDIATELY IF FIELD CONDITIONS WARRANT PLANTING BED EACH PLANT BALL TO INSTALLATION. ADJUSTMENT OF PLANT MATERIALS. COORDINATE LANDSCAPE INSTALLATION WITH ANY IRRIGATION CONSTRUCTION. IRRIGATION IS TO BE DESIGNED AND INSTALLED BY OTHERS, AND MIGHT TYPICAL PLANTING BED DETAIL CAUSE ADJUSTMENTS TO THE PLANT LOCATIONS. IRRIGATION DESIGN AND LOCATION IS NOT INCLUDED IN THE PLANTING PLAN. ALL AREAS NOT MULCH BEDS OR PAVED TO BE FESCUE SEED OR SOD AS DIRECTED BY OWNER. TOPSOIL SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND USED FOR BACKFILLING ALL PITS FOR PLANTS. REVIEW SOIL REQUIREMENTS IN THE CITY OF CHARLOTTE TREE ORDINANCE. CONTRACTOR IS RESPONSIBLE FOR THE VIABILITY OF ALL PLANT MATERIAL FOR A MINIMUM PERIOD OF ONE YEAR AFTER ACCEPTANCE FROM OWNER. EQUALS MEDIAN 34. IN AREAS WHERE CONSTRUCTION GRAVEL IS EMBEDDED IN THE SOIL, CONTRACTOR SHALL REMOVE CONTAMINATED SOIL TO A DEPTH OF 8" AND FILL WITH WIDTH IN FEET CLEAN TOPSOIL. CONTRACTOR SHALL IMPORT CLEAN TOPSOIL AT NO CHARGE TO OWNER IF REQUIRED TO FILL THESE EXCAVATIONS. TO 12" MAX. CONTRACTOR SHALL REPAIR (RESEED OR SOD) ANY LAWN AREAS DAMAGED DUE TO PLANT MATERIAL INSTALLATION. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT ALL UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION AND SHALL NOT BE IMPACTED BY PLANTINGS. CONTRACTORS ARE RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, ETC. AS NECESSARY TO ENSURE PUBLIC SAFETY. TYPICAL PLANTING BED PLAN CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS BEFORE STARTING SITE WORK. TYPICAL BED CROWNING PROPERTY OWNERS MUST FOLLOW A ROUTINE SCHEDULE OF WATERING, FERTILIZATION, PEST CONTROL AND PRUNING. TREES WHICH ARE DETERMINED TO BE DEAD, DISEASED, DAMAGED, OR MALNOURISHED SHALL BE CORRECTED ALL LANDSCAPING TO BE INSTALLED OUTSIDE OF ALL SIGHT TRIANGLES AND/OR SIGHT DISTANCE LINES. CONTRACTOR RESPONSIBLE FOR LOCATING ALL SIGHT TRIANGLES AND SIGHT DISTANCE LINES PRIOR TO INSTALLATION. TREES CAN BE LIMBED UP TO 6 FEET IN SIGHT DISTANCE TRIANGLES. LANDSCAPER SHALL NOTIFY URBAN FORESTRY STAFF OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES. LARGE MATURING TREES MUST BE A MINIMUM 25 FEET FROM ANY OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL CITY OF CHARLOTTE URBAN FORESTER TO RESOLVE BEFORE PLANTING. **@** LAND DEVELOPMENT STANDARDS CHARLOTTE. INCLUDES CHARLOTTE ETJ 1. REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT. SEE APPROVED TRE 2. LANDSCAPING PLANS SHALL SHOW THE LOCATIONS OF ALL TREE PROTECTION FENCES. PRESERVATION PLAN FOR REQUIRED RADIUS 3. REFER TO CITY OF CHARLOTTE LANDSCAPE CONSTRUCTION STANDARDS SECTION 01000 FOR GENERAL SPECIFICATION REGARDING TREE PROTECTION. SPECIFIED BALL DIAMETER TOP OF BALL AS DUG 2" MAXIMUM OF SOIL COVERING ACCEPTABLE NATURAL SOIL LINE PLAN VIEW OF ROOT ZONE -ROOT CROWN

ONE FOOT FOR EACH INCH OF TRUNK DIAMETER OR 1/2 HEIGHT OF TREE WHICHEVER IS GREATER

TREE PROTECTION DETAIL

INTERNATIONAL SOCIETY OF ARBORICULTURE SPECS

REMOVAL

CHARLOTTE.

CITY OF CHARLOTTE

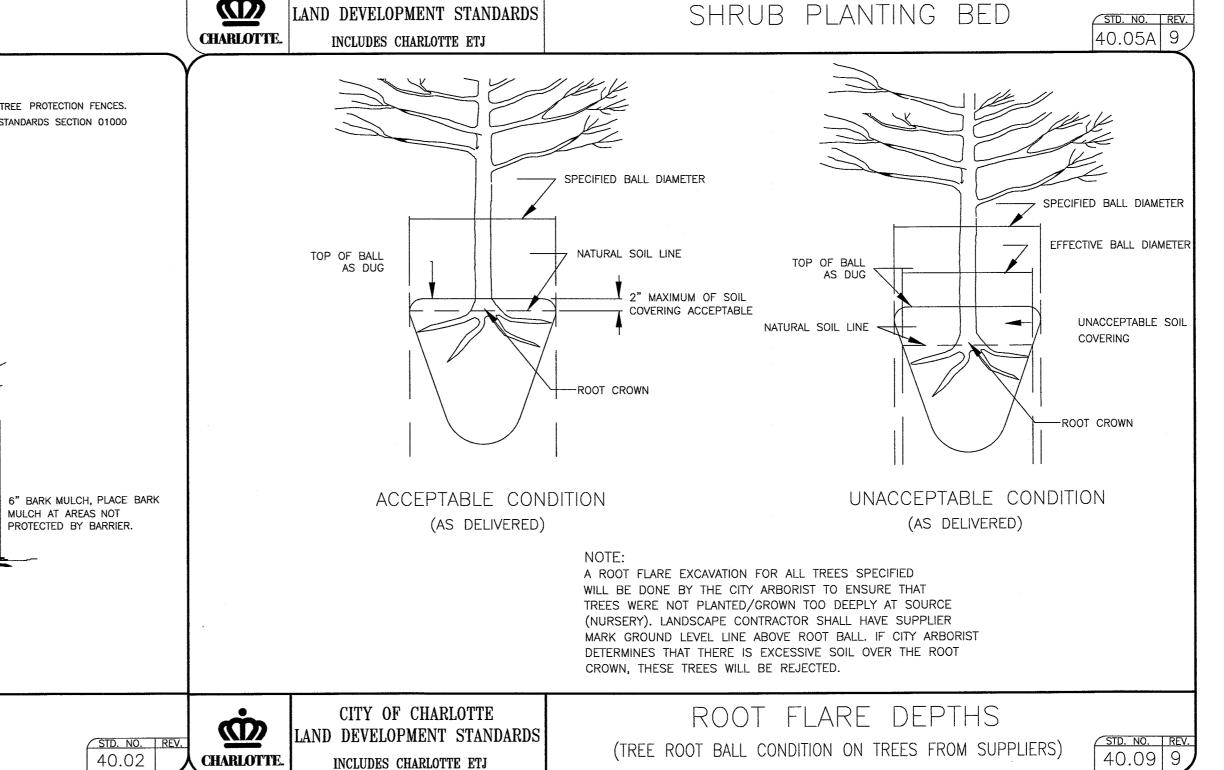
INCLUDES CHARLOTTE ETJ

AND DEVELOPMENT STANDARDS

DEAD TREES AND SCRUB OR UNDER & GROWTH SHALL BE CUT FLUSH WITH ADJACENT GRADE. NO GRUBBING-ALLOWED UNDER DRIP LINE.

2"x4" STANDARDS + 1"x4" RAILS

OR ORANGE SAFETY FENCING





NOT TO SCAL

MINIMIZE SETTLEMENT

STD. NO. REV

40.01

Ш AND NOTE ANTIN PROJECT INFORMATION PROJECT MANAGER: **DESIGNED BY:** DRAWN BY: PROJECT NUMBER: ORIGINAL DATE: 05/05/15 C10.1