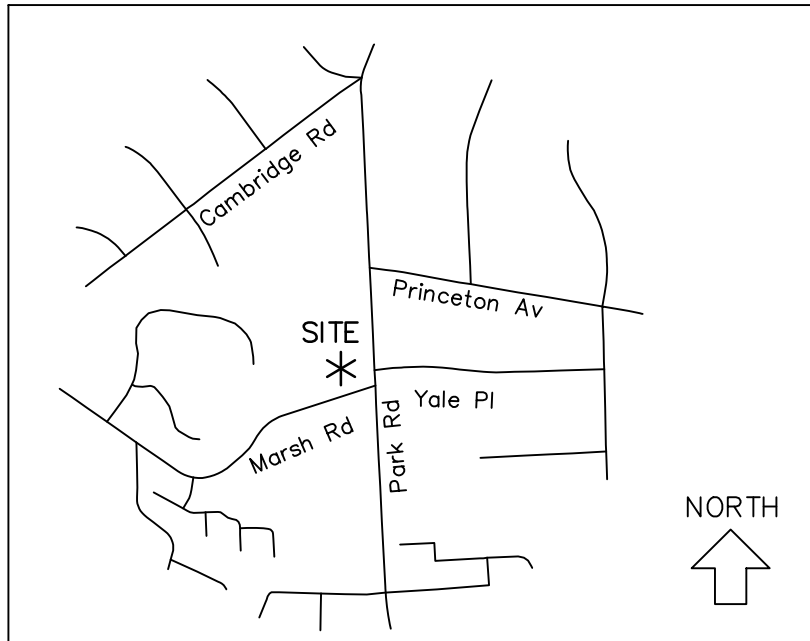


PARK AND MARSH SENIOR APARTMENTS

CHARLOTTE, NC
CHARLOTTE HOUSING AUTHORITY
400 EAST BOULEVARD CHARLOTTE, NC 28203
P: 704.353.0324



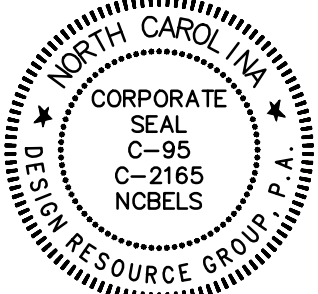
VICINITY MAP (NOT TO SCALE)



design resource group

- landscape architecture
- civil engineering
- urban design
- land planning
- traffic engineering
- transportation planning

2459 wilkinson boulevard, suite 200
charlotte, nc 28208
p 704.343.0608 f 704.358.3093
www.drgpr.com



PARK AND MARSH SENIOR

APARTMENTS

CHARLOTTE, NC

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400 EAST BOULEVARD

CHARLOTTE, NC 28203

704.353.0324

CONSTRUCTION
DOCUMENTS



PROJECT #: 004-046
DRAWN BY: DK
CHECKED BY: DM

COVER
SHEET

JANUARY 16, 2015

REVISIONS:
1. 03/24/15 PER CDC REVIEW

C0.00



Know what's below.
Call before you dig.

CONSTRUCTION DOCUMENTS

GENERAL NOTES:

- SURVEY INFORMATION OBTAINED BY LUCAS-FORMAN INCORPORATED.
- ARCHITECTURAL DIMENSIONS TO BE VERIFIED BY SURVEYOR. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- ALL ROAD IMPROVEMENTS ALONG MARSH ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CMLOS# 50.05 (9" SIGNS ONLY)
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- CURB AND GUTTER SHOWN ON PLANS ALONG MARSH ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL.
- PRIOR TO CO, SURVEYOR SEALED AS-BUILT DRAWINGS OF UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED.
- NONSTANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60- 90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
- ALL CONSTRUCTION TO CONFORM TO CHARLOTTE / MECKLENBURG LAND DEVELOPMENT STANDARDS.
- FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE COUNTY FIRE MARSHALL DURING THE BUILDING PERMIT PROCESS.


ENGINEER'S NOTES:

- CONTRACTOR SHALL NOTIFY THE ENGINEER OF WORK 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INTERPRETATIONS FOR ANY QUESTIONS REGARDING THESE DRAWINGS PRIOR TO COMMENCEMENT OF WORK OR ORDERING OF MATERIALS AND SHALL BEAR THE COST OF ALL REWORK IF NOT PROPERLY COORDINATED.
- CONTRACTOR SHALL PROVIDE ENGINEER RECORD DRAWING INFORMATION FROM A REGISTERED LAND SURVEYOR UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN A PERMIT FOR ANY EXCAVATION PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY
- THE ENGINEER OF WORK SHALL NOT BE RESPONSIBLE FOR THE ENFORCEMENT OF SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY STANDARDS, LAWS AND REGULATIONS.
- CONTRACTOR SHALL ADJUST ALL PROPOSED AND EXISTING FACILITIES TO FINAL GRADE.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE FIELD DATA AND THE INFORMATION SHOWN HEREON. ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY WORK DONE WITHOUT PROPER NOTIFICATION AND COORDINATION.
- THE ENGINEER PREPARING THESE PLANS SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE DESIGN ENGINEER PRIOR TO IMPLEMENTATION.
- PRIVATE WATER AND SANITARY SEWER SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH N.C.D.E.N.R. REGULATIONS IN THE PRESENCE OF THE ENGINEER PRIOR TO ACTIVATION OF FACILITIES.
- EXISTING SANITARY SEWER AND WATER SYSTEM SHOWN PER PROVIDED SURVEY AND CMUD REFERENCE DRAWINGS. EXISTING PUBLIC UTILITY INFORMATION IS SHOWN FOR REFERENCE ONLY AND EXISTING SIZES, INVERTS AND LOCATIONS SHALL BE FIELD VERIFIED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL SUBSTRUCTURES, WHETHER SHOWN HEREON OR NOT, AND PROTECT FROM DAMAGE DURING INSTALLATION. THE EXPENSE OF REPAIR OR REPLACEMENT OF SAID STRUCTURES SHALL BE BORNE BY THE CONTRACTOR.
- A LICENSED UTILITY CONTRACTOR WILL INSTALL THE TAPS AND METERS. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE TAPS AND METERS TO CMUD STANDARDS AND REGULATIONS.
- SANITARY YARD HYDRANTS SHALL NOT BE 'STOP AND DRAIN', 'STOP AND WASTE', OR 'WEEP HOLE' TYPE HYDRANTS.
- IF CONTRACTOR OPTS TO INSTALL PRECAST STRUCTURES, CONTRACTOR SHALL BE REQUIRED TO VERIFY RIM ELEVATIONS AND LAYOUT OF ALL PIPES, INCLUDING SIZE AND INVERTS OF EXISTING FACILITIES, PRIOR TO THE ORDERING OF MATERIALS.
- IT SHALL BE THE RESPONSIBILITY OF THE INSTALLER TO ADJUST ALL PRECAST STRUCTURES TO FINISHED GRADE IN ACCORDANCE WITH AGENCY SPECIFICATIONS AND MANUFACTURER RECOMMENDATIONS. NO ADDITIONAL PAYMENT WILL BE MADE FOR ADJUSTING FACILITIES TO FINISHED GRADE.
- FIRE HYDRANTS ARE TO BE 10' CLEAR OF ANY OBSTRUCTIONS.
- FDC LOCATIONS SHALL BE IN ACCORDANCE W/ CFD REQUIREMENTS.
- FIRE SPRINKLER SIZING AND FDC CONNECTIONS TO BE SIZED AND LOCATED PER THE RECOMMENDATIONS OF THE FIRE SPRINKLER CONSULTANT. ALL REFERENCES SHOWN HEREON ARE FOR SCHEMATIC PURPOSES ONLY.

SITE DATA

TAX MAP NO:	147-101-72
ZONING:	R43-MF
SITE AREA:	2.23 AC (97,141 SF)
PROPOSED USE:	LOW INCOME SENIOR APARTMENTS
PROPOSED UNITS:	92 UNITS
DENSITY:	41.26 DUA
PARKING REQUIRED:	23 SPACES (.25 SPACES PER UNIT)
PARKING PROVIDED:	41 REGULAR SPACES 8 COMPACT SPACES 10 ACCESSIBLE SPACES 2 VAN ACCESSIBLE SPACES 11 ON-STREET SPACES 72 TOTAL SPACES
BICYCLE PARKING REQUIRED:	N/A
REQUIRED TREE SAVE AREA:	13,906 SF (SEE SHEET C6.0 FOR CALCULATIONS)
PROVIDED TREE SAVE AREA:	+13,906 SF
OPEN SPACE REQUIRED:	29,143 SF (30% SITE AREA)
OPEN SPACE PROVIDED:	+29,143 SF
SETBACK:	30' FROM PARK RD. R/W 15' FROM MARSH RD. R/W 10' FROM NORTHERN PROPERTY LINE
SIDE YARD:	40'
REAR YARD:	40'
BUILDING HEIGHT MAXIMUM:	100'
MARSH ROAD:	100'
SIDE YARD:	100'
REAR YARD:	100'
PARK ROAD:	40' AT EXISTING SETBACK. ONE ADDITIONAL FOOT OF HEIGHT IS ALLOWED FOR EVERY TWO FEET IN DISTANCE THE PORTION OF THE BUILDING IS FROM THE EXISTING SETBACK.
PROPOSED BUILDING HEIGHT:	3 & 4 STORY (SEE SHEET C2.03 FOR BLDG. HEIGHT EXHIBIT ALONG PARK RD.)
TRASH PICK UP REQUIRED:	8 CY COMPACTOR PER 90 UNITS
TRASH PICK UP PROVIDED:	15 CY COMPACTOR
RECYCLE PICK UP REQUIRED:	288 SF
RECYCLE PICK UP PROVIDED:	288 SF
ESTIMATED TIME OF COMPLETION:	JULY 2016
NOTE:	ALL UTILITIES TO BE UNDERGROUND

CONSULTANTS:

DEVELOPER:	CHARLOTTE HOUSING AUTHORITY 400 EAST BOULEVARD CHARLOTTE, NC 28203 704.353.0324	
ARCHITECT:	AXIOM ARCHITECTURE, PA 333 W. TRADE ST. SUITE 200 CHARLOTTE, NC 28202 704.927.9900	 http://development.charmeck.org
LANDSCAPE ARCH.:	DESIGN RESOURCE GROUP, PA 2459 WILKINSON BOULEVARD SUITE 200 CHARLOTTE, NC 28208 704.343.0608	
CIVIL ENGINEER:	DESIGN RESOURCE GROUP, PA 2459 WILKINSON BOULEVARD SUITE 200 CHARLOTTE, NC 28208 704.343.0608	
SURVEYOR:	LUCAS-FORMAN INCORPORATED 4000 STUART ANDREW BLVD. CHARLOTTE, NC 28217 704.527.6626	



<http://development.charmeck.org>

ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

URBAN FORESTRY
TREE ORDINANCE

CDOT

NOTE: THIS PLAN APPROVAL DOES NOT INCLUDE COMMERCIAL ZONING. ALL BUILDING PERMITS AND ZONING APPROVALS CAN BE OBTAINED AT MECKLENBURG COUNTY CODE ENFORCEMENT. PLEASE CALL CTAC AT 704-336-3829 FOR MORE INFORMATION.

APPROVED

APPROVED

APPROVED

APPROVED

By Keith Bryant at 2:27 pm, Apr 17, 2015

Approved as noted. NEEDS
SIGNAL AGREEMENT AND
PAYMENT.



- landscape architecture
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10 0

SCALE: 1" = 20'

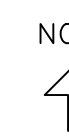
PROJECT #: 004-046
DRAWN BY: BG
CHECKED BY: DM

SITE PLAN

JANUARY 16, 2015

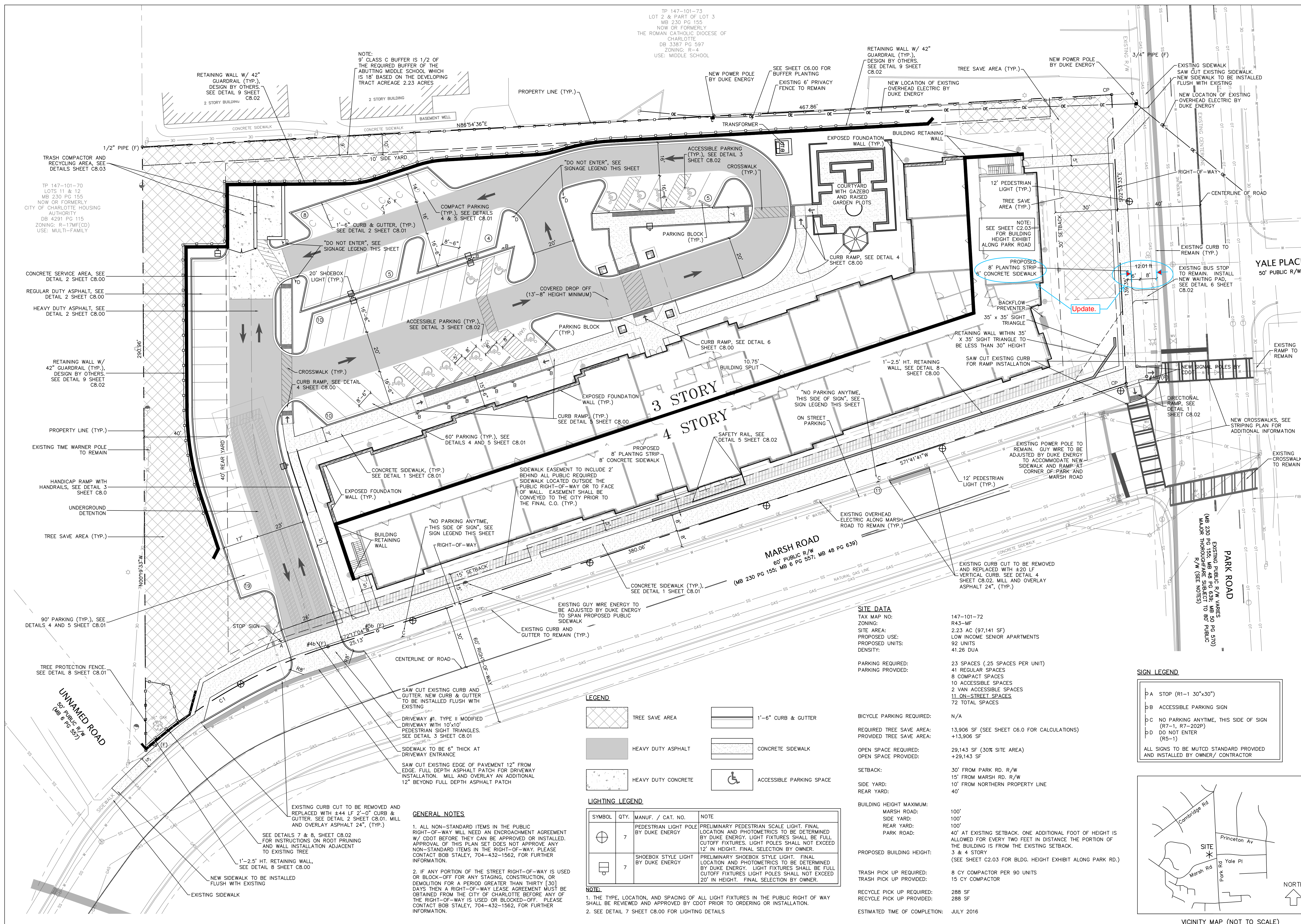
REVISIONS:

1. 03/24/15 PER COC REVIEW



VICINITY MAP (NOT TO SCALE)

C2.00



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