

EXTERIOR WALL ASSEMBLIES

WALL ASSEMBLIES AS DESCRIBED IN KEYNOTES 200, 204 AND 530.
PER TABLE 602 OF THE 2012 NC BUILDING CODE: EXTERIOR WALLS MUST BE 1-HOUR FIRE RATED ON TYPE VA BUILDINGS WHERE THERE IS LESS THAN 30 FEET OF FIRE SEPARATION DISTANCE. REFER TO SITE PLAN FOR LOCATIONS AND CALCULATIONS.

GUARDRAIL LOADS AND DESIGN

RAILING AS DESCRIBED IN KEYNOTE 571
GUARDRAILS TO BE DESIGNED IN ACCORDANCE WITH 2012 NC BUILDING CODE SECTIONS 1013 AND 1607: GUARDRAILS TO BE 42" IN HEIGHT, WITH PICKETS SPACED A MAXIMUM OF 4" O.C. AND A BOTTOM RAIL SPACED TO REJECT A 2" SPHERE.
GUARDRAIL SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST A LINEAR LOAD OF 50 PLF
GUARDRAIL SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST A CONCENTRATED LOAD OF 200 LBS. APPLIED IN ANY DIRECTION.
INTERMEDIATE RAILS AND BALUSTERS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST A CONCENTRATED LOAD OF 50 LBS. APPLIED ON A 1FT SQUARE AREA AT ANY POINT IN THE SYSTEM.
LOADING SHALL NOT BE APPLIED SIMULTANEOUSLY.

BUILDING 1 MASONRY CALCULATIONS

FRONT & REAR ELEVATIONS

TOTAL AREA	6288 SF
AREA OF WINDOWS AND DOORS	1234 SF
NET SURFACE AREA	5054 SF
AREA OF STONE	1554 SF
PERCENTAGE STONE	31%

END ELEVATION (FACING STREET)

TOTAL AREA	2044 SF
AREA OF WINDOWS AND DOORS	180 SF
NET SURFACE AREA	1864 SF
AREA OF STONE	630 SF
PERCENTAGE OF STONE	34%

STONE MATERIAL IS THINSET PREMANUFACTURED STONE

**PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL**
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By Brent Wilkinson 11/5/2015

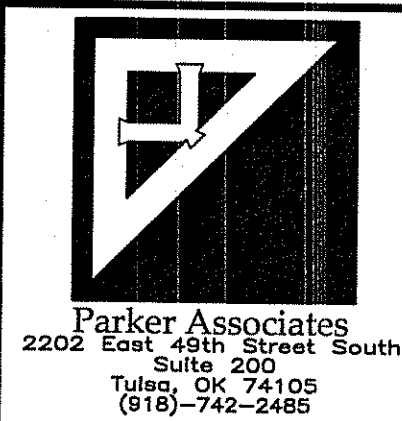
Revised building elevations only.
No changes to construction plans.

KEYNOTES

104. CONCRETE RETAINING WALL, RE: FOUNDATION PLANS AND DTLS.
168. 4X4 PRESSURE TREATED COLUMN WRAPPED WITH 12 LAYERS OF 5/8" DENSGLOSS FIRE RATED GYPSUM SHEATHING FOR 1-HR FIRE RATING WITH ALUMINUM OR PVC FOR A FINISHED SIZE OF 8X8.
200. FIBER-CEMENT SIDING ATTACHED TO MOISTURE RESISTANT BARRIER AND 7/16" O.S.B. SHEATHING AND STUDS PER SCHEDULE WITH R-13 BATT INSULATION AND 5/8" F.R. GYP. BD. AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACES.
202. FIBER-CEMENT SIDING ATTACHED TO MOISTURE RESISTANT BARRIER AND 7/16" O.S.B. SHEATHING AND ROOF TRUSSES.
208. SHAKES SINGLE CEMENT FIBER SIDING ON MOISTURE BARRIER AND 7/16" O.S.B. SHEATHING AND ROOF TRUSSES.
410. FIBERGLASS ARCHITECTURAL SHINGLES ON 15 LB. FELT ON DECKING PER SCHEDULE ON ROOF TRUSSES WITH R-30 INS. W/ 5/8" FIRE RESISTANT GYP. BOARD ON RESILIENT CHANNELS AT CEILING. OMIT INS. OVER NON-CONDITIONED SPACES.
470. CONTINUOUS RIDGE VENT.
528. STONE VENEER ON METAL LATH ON EXPOSED CONCRETE STEM WALL.
530. STONE VENEER ON METAL LATH ON 2 LAYERS OF MOISTURE RESISTANT BARRIER ON SHEATHING ON STUDS W/ R-13 BATT INSULATION W/ 5/8" FIRE RESISTANT GYP. BD. AT INTERIOR.
532. STONE SILL OR CAP TO BE INSTALLED PER MFR REQUIREMENTS.
536. TRIM STONE ACCENT WITH KEY AT LOCATIONS SHOWN.
538. ALUMINUM CLAD 2X6 OVER STONE PER DETAIL.
540. ALUMINUM DRIP ON 2X6 FASCA.
544. GUTTER WITH DOWNSPOUTS AND SPLASH BLOCKS AT GRADE.
561. 12X18 VINYL OR PLASTIC LOUVERED VENT. DUMMY. 2X4 TRIM AT TOP & BOTTOM PER DETAIL.
563. 18X24 VINYL OR PLASTIC LOUVERED VENT. DUMMY. PROVIDE 2X4 TRIM AT TOP & BOTTOM PER DETAIL.
571. POLY-VINYL RAILING SYSTEM WITH TOP RAIL AT 3'-6" A.F.F. AND 1 1/2" X 1 1/2" PICKETS SPACED 4" O.C. WITH 1X4 TRIM AT TOP AND BOTTOM. RAILING LENGTHS OVER 8'-0" TO HAVE A STRUCTURAL POST AT CENTER INSTALLED PER MFR. RECOMMENDATIONS.
583. CEMENT BOARD CLADDING ON BEAM OR FRAMING.
591. 2X8 TRIM.
593. CLAD BEAM WITH 2 LAYERS OF 5/8" EXT. FIRE RESISTANT GYPSUM BOARD AND CEMENT BOARD TRIM AT EXTERIOR.
595. PREFINISHED VINYL SHUTTER 1'-3" WIDE X LENGTH OF WINDOW AND TRIM.

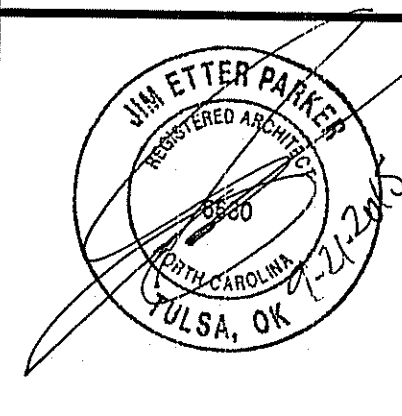
Northlake Apartments

Charlotte, North Carolina



**Covington Realty
Partners**

135 North Meramec
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314-727-2424

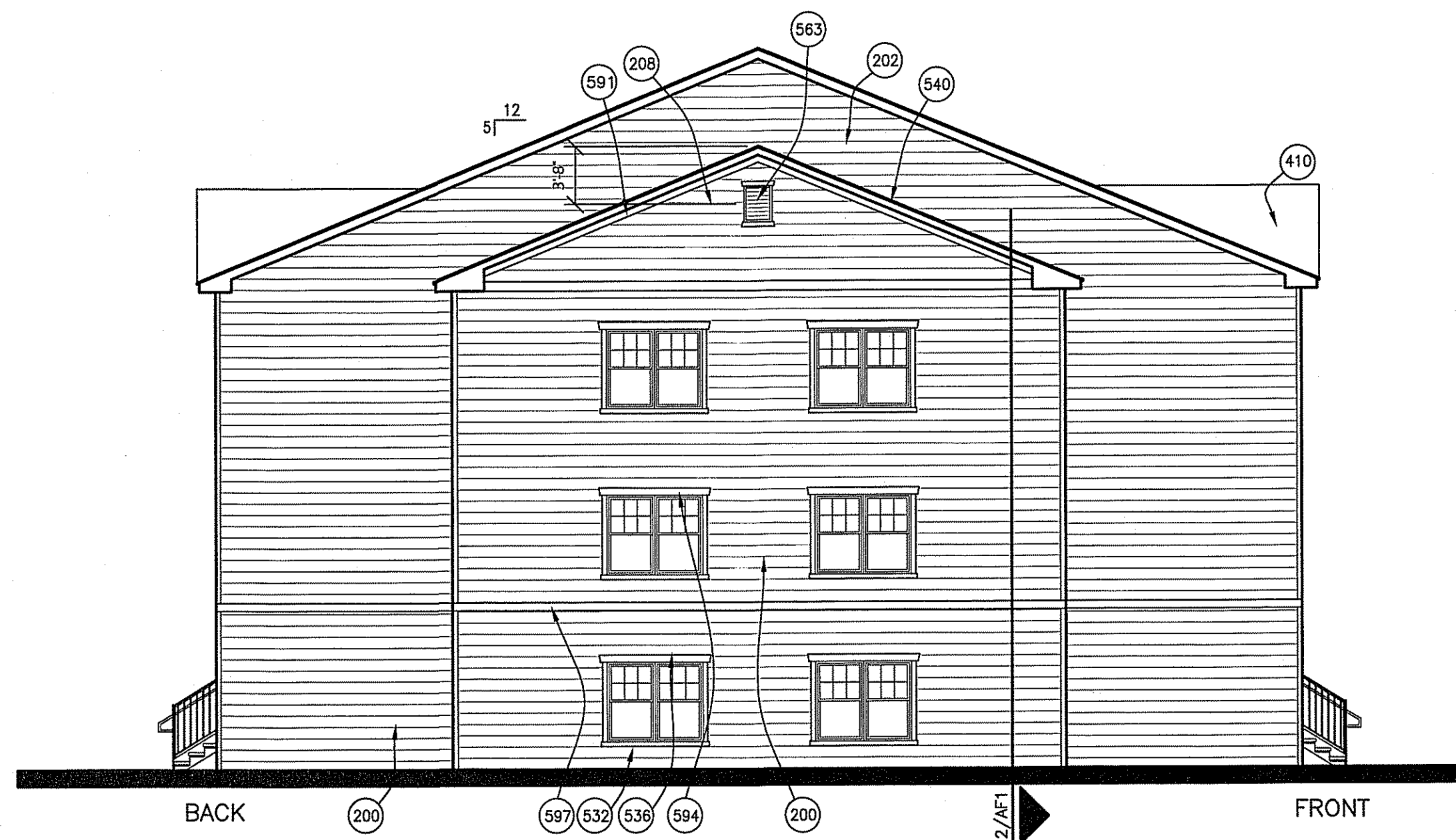


JOB NUMBER: 28025
DRAWN BY: JEP, SLAT
DATE: 02/10/2014
REV 1 5/19/14
REV 2 8/20/14
REV 3 10/27/14

BUILDING 1
ELEVATION
SHEET
NUMBER AB3 OF 11



1 BLDG 2 FRONT/BACK ELEVATION
1/8" = 1'-0" BACK ELEVATION IS REVERSED FROM SHOWN ELEVATION



2 BLDG 2 END ELEVATION
1/8" = 1'-0"

BUILDING 2 MASONRY CALCULATIONS

FRONT & REAR ELEVATIONS	
TOTAL AREA	4210 SF
AREA OF WINDOWS AND DOORS	910 SF
NET SURFACE AREA	3300 SF
AREA OF STONE	988 SF
PERCENTAGE STONE	30%

STONE MATERIAL IS THINSET PREMANUFACTURED STONE

KEYNOTES

104. CONCRETE RETAINING WALL, RE FOUNDATION PLANS AND DTLS.
200. FIBER-CEMENT SIDING ATTACHED TO MOISTURE-RESISTANT BARRIER AND 7/16" O.S.B. SHEATHING AND STUDS PER SCHEDULE WITH R-13 BATT INSULATION AND 5/8" F.R. GYP. BD. AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACES.
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470. CONTINUOUS RIDGE VENT.
530. STONE VENEER ON METAL LATH ON 2 LAYERS OF MOISTURE-RESISTANT BARRIER ON SHEATHING ON STUDS WR-13 BATT INSULATION W/ 5/8" FIRE-RESISTANT GYP. BD. AT INTERIOR.
532. STONE SILL OR CAP TO BE INSTALLED PER MFR REQUIREMENTS.
536. TRIM STONE ACCENT WITH KEY AT LOCATIONS SHOWN.
538. ALUMINUM CLAD 2x6 OVER STONE PER DETAIL.
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583. CEMENT BOARD CLADDING ON BEAM OR FRAMING.
591. 2x8 TRIM.
595. PREFINISHED VINYL SHUTTER 1'-3" WIDE X LENGTH OF WINDOW AND TRIM.
597. 6" WIDE CEMENT BOARD TRIM ON 1x4 BLOCKING AT TOP AND BOTTOM PER DETAILS.



EXTERIOR WALL ASSEMBLIES

WALL ASSEMBLIES AS DESCRIBED IN KEYNOTES 200, 204 AND 530.

PER TABLE 602 OF THE 2012 NC BUILDING CODE: EXTERIOR WALLS MUST BE 1-HOUR FIRE RATED ON TYPE VA BUILDINGS WHERE THERE IS LESS THAN 30 FEET OF FIRE SEPARATION DISTANCE. REFER TO SITE PLAN FOR LOCATIONS AND CALCULATIONS.

GARDRAIL LOADS AND DESIGN

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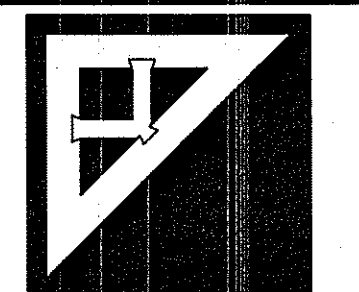
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Northlake Apartments

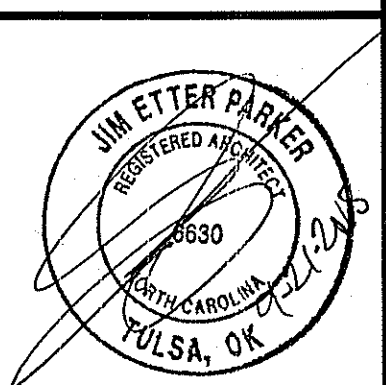
Charlotte, North Carolina



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Covington Realty Partners

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JOB NUMBER: 28025
DRAWN BY: JEP,SLAT
DATE: 02/10/2014
REV 1 5/19/14
REV 2 8/20/14
REV 3 10/27/14

BUILDING 2
ELEVATION
SHEET AB5 OF 11

BUILDING 7 MASONRY CALCULATIONS

FRONT & REAR ELEVATIONS

TOTAL AREA	5012 SF
AREA OF WINDOWS AND DOORS	1004 SF
NET SURFACE AREA	4008 SF
AREA OF STONE	1230 SF
PERCENTAGE STONE	31%

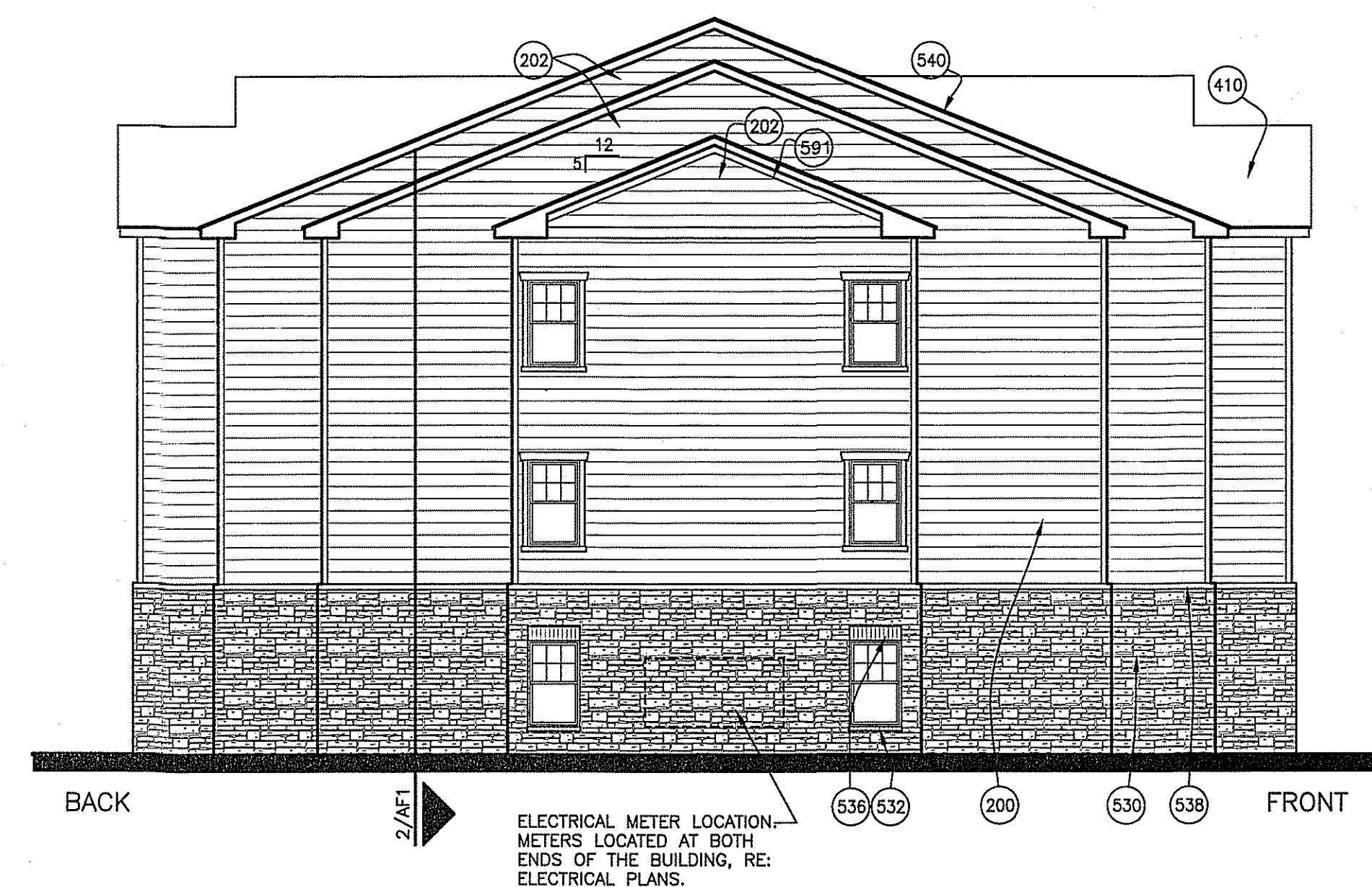
END ELEVATION (FACING STREET)

TOTAL AREA	2007 SF
AREA OF WINDOWS AND DOORS	90 SF
NET SURFACE AREA	1917 SF
AREA OF STONE	613 SF
PERCENTAGE OF STONE	32%

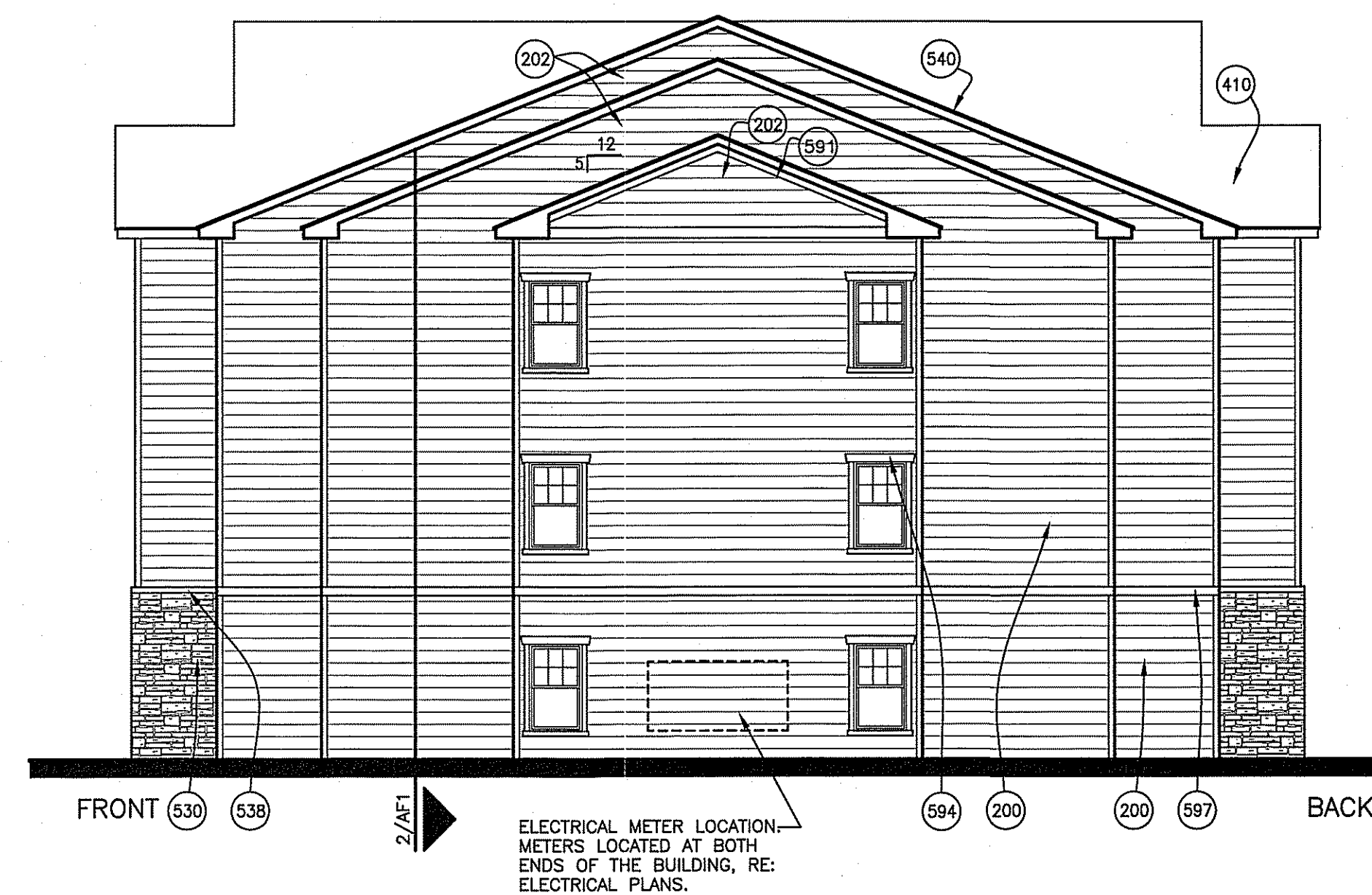
STONE MATERIAL IS THINSET PREMANUFACTURED STONE



1 BLDG 7 FRONT/BACK ELEVATION
1/8" = 1'-0"



2 BLDG 7 END ELEVATION
1/8" = 1'-0" FACING STREET



3 BLDG 7 END ELEVATION
1/8" = 1'-0"

KEYNOTES

104. CONCRETE RETAINING WALL. RE: FOUNDATION PLANS AND DTLS.
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EXTERIOR WALL ASSEMBLIES

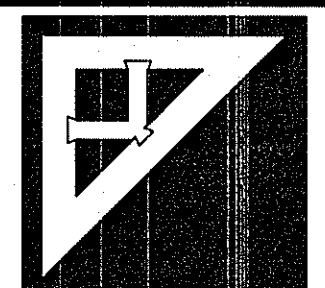
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Northlake Apartments

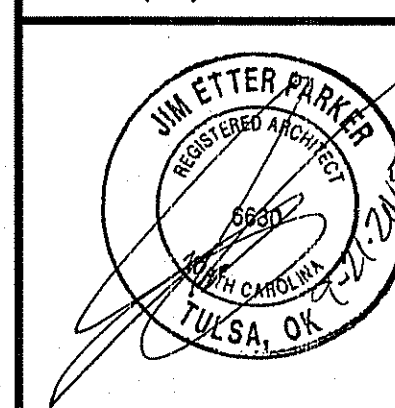
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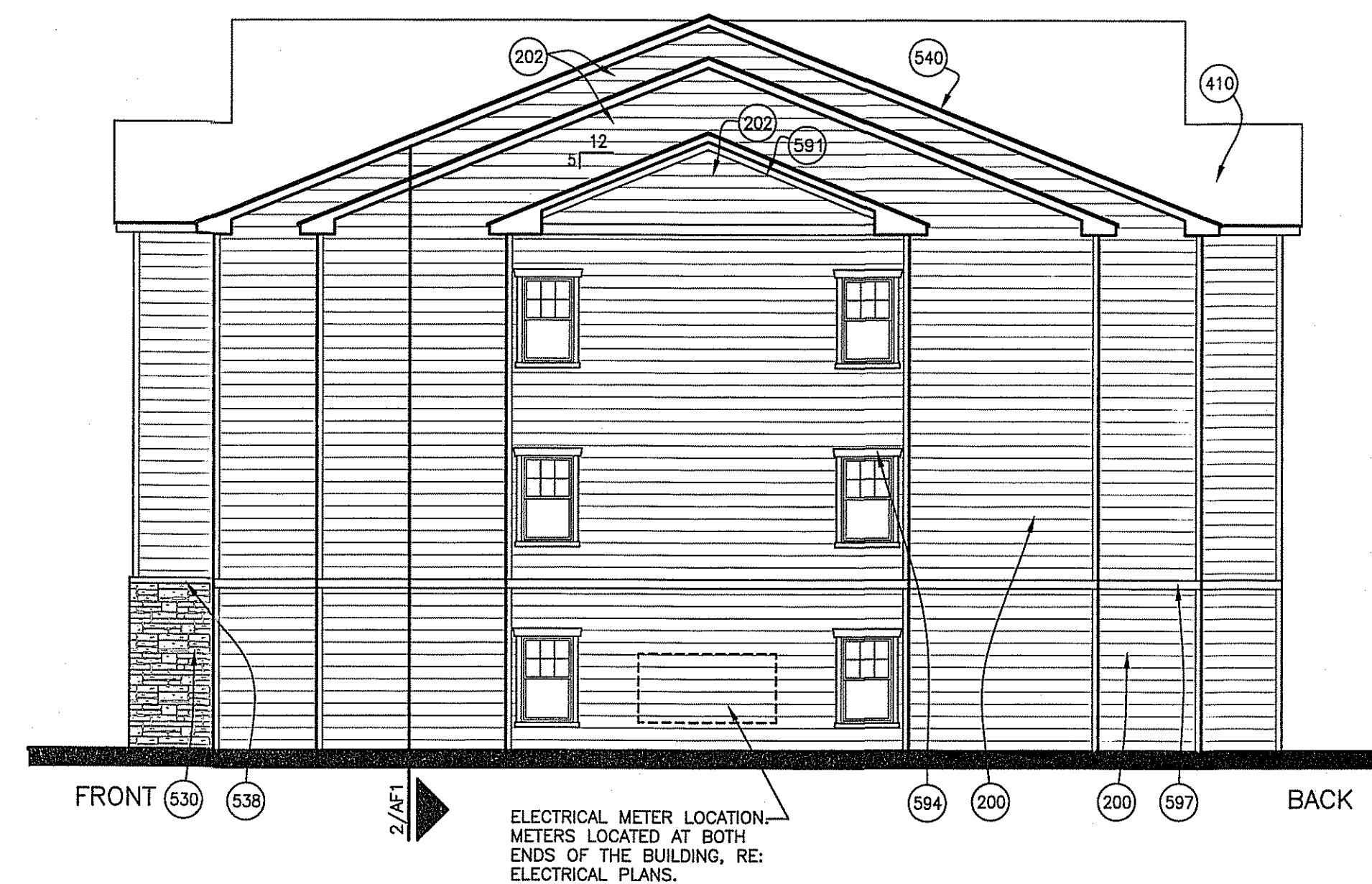


JOB NUMBER: 28025
DRAWN BY: JEP, SLAT
DATE: 02/10/2014
REV 1 5/19/14
REV 2 8/20/14
REV 3 10/27/14

BLDG 7 ELEVATIONS
SHEET NUMBER AB7 OF 11



1 BLDG 5 FRONT ELEVATION
1/8" = 1'-0"



2 BLDG 5 END ELEVATION
1/8" = 1'-0"



3 BLDG 5 BACK ELEVATION
1/8" = 1'-0"

KEYNOTES

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470. CONTINUOUS RIDGE VENT.
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536. TRIM STONE ACCENT WITH KEY AT LOCATIONS SHOWN.
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561. 12x18 VINYL OR PLASTIC LOUVERED VENT, DUMMY. 2X4 TRIM AT TOP & BOTTOM PER DETAIL.
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595. REFINISHED VINYL SHUTTER 1'-3" WIDE X LENGTH OF WINDOW AND TRIM.

EXTERIOR WALL ASSEMBLIES

WALL ASSEMBLIES AS DESCRIBED IN KEYNOTES 200, 204 AND 530.

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LOADING SHALL NOT BE APPLIED SIMULTANEOUSLY.

BUILDING 5 MASONRY CALCULATIONS

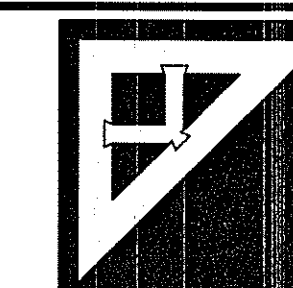
FRONT ONLY (FACING PARKING)

TOTAL AREA	5012 SF
AREA OF WINDOWS AND DOORS	1004 SF
NET SURFACE AREA	4008 SF
AREA OF STONE	1230 SF
PERCENTAGE STONE	31%

STONE MATERIAL IS THINSET PREMANUFACTURED STONE

Northlake Apartments

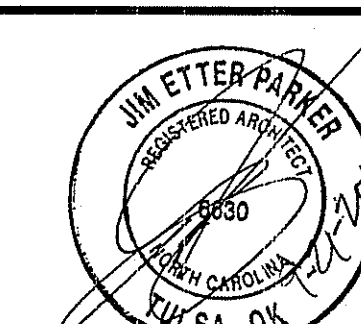
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REV 5/19/14
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BLDG 5
ELEVATIONS

SHEET
NUMBER AB7.1 OF 11

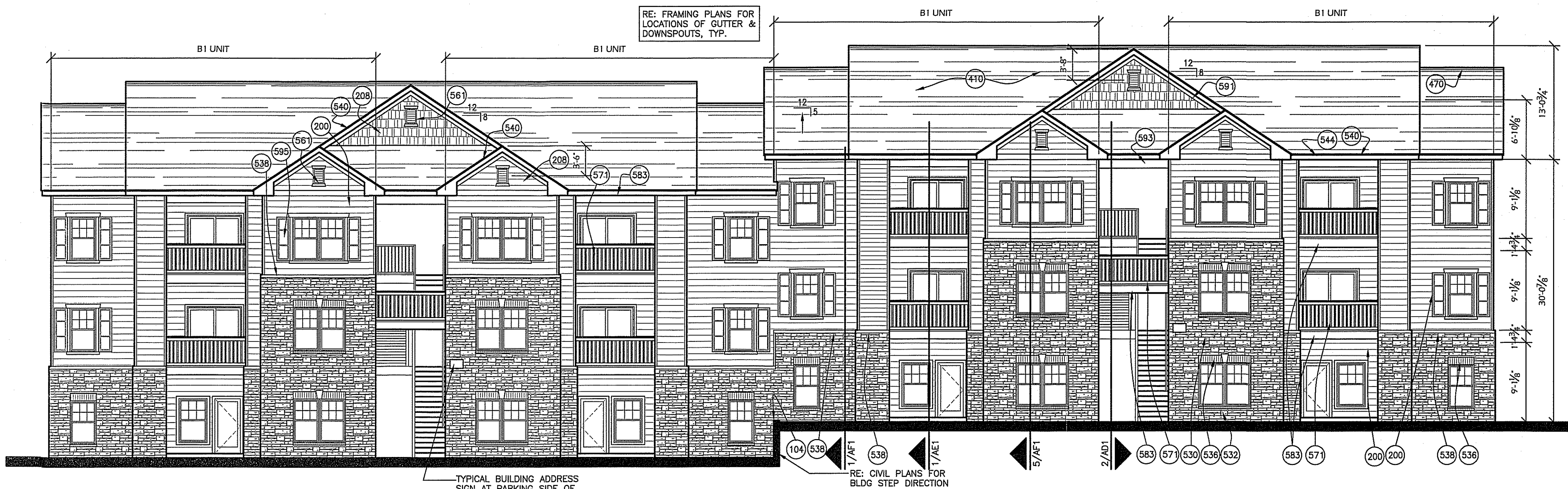
BUILDING 6 MASONRY CALCULATIONS	
FRONT ONLY (FACING PARKNG)	
TOTAL AREA	4500 SF
AREA OF WINDOWS AND DOORS	1000 SF
NET SURFACE AREA	3500 SF
AREA OF STONE	1168 SF
PERCENTAGE STONE	33%

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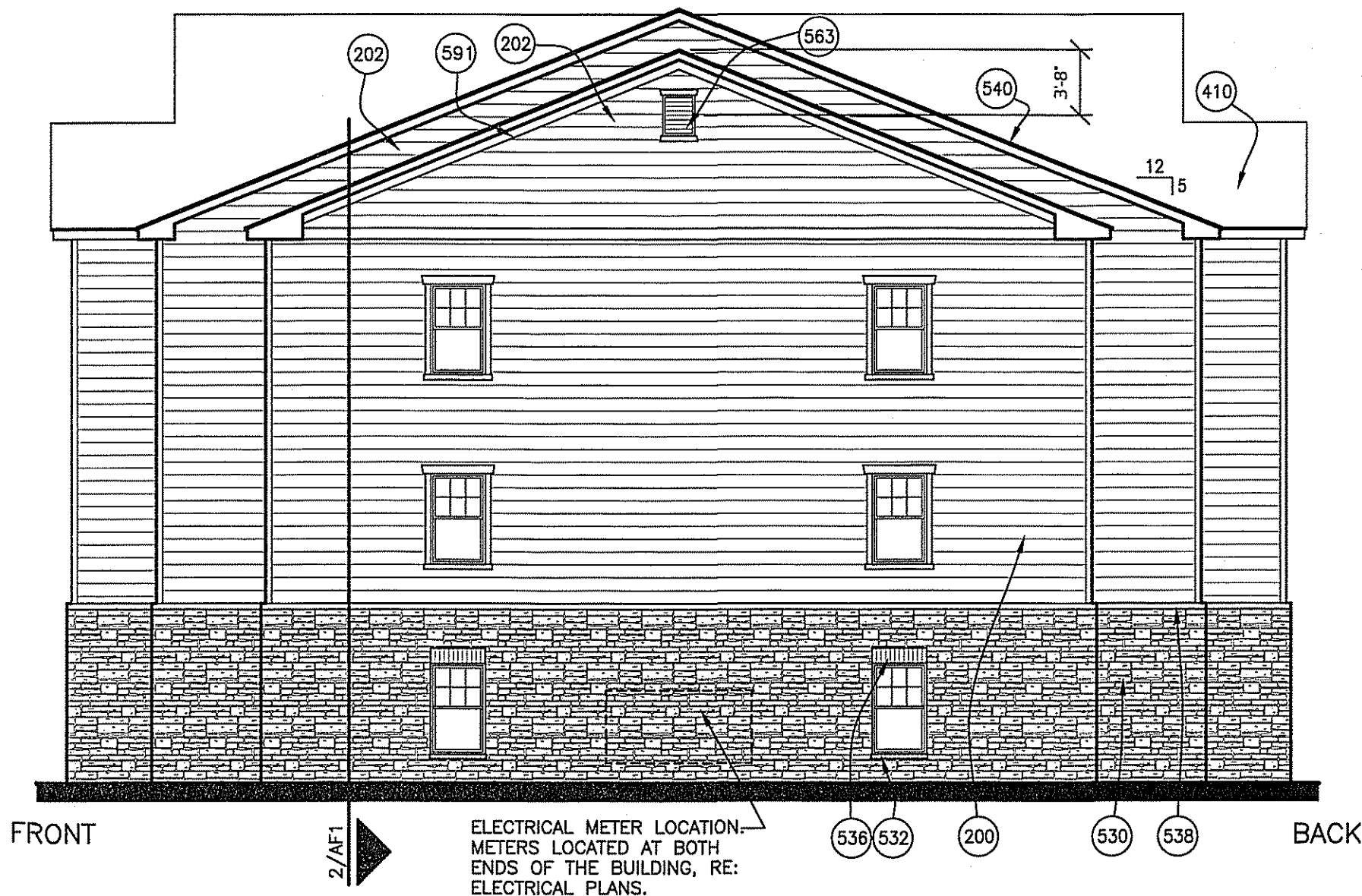
BUILDING 8 MASONRY CALCULATIONS	
FRONT & REAR ELEVATIONS	
TOTAL AREA	4500 SF
AREA OF WINDOWS AND DOORS	1000 SF
NET SURFACE AREA	3500 SF
AREA OF STONE	1288 SF
PERCENTAGE STONE	37%

END ELEVATION (FACING STREET)	
TOTAL AREA	2007 SF
AREA OF WINDOWS AND DOORS	90 SF
NET SURFACE AREA	1917 SF
AREA OF STONE	613 SF
PERCENTAGE OF STONE	32%

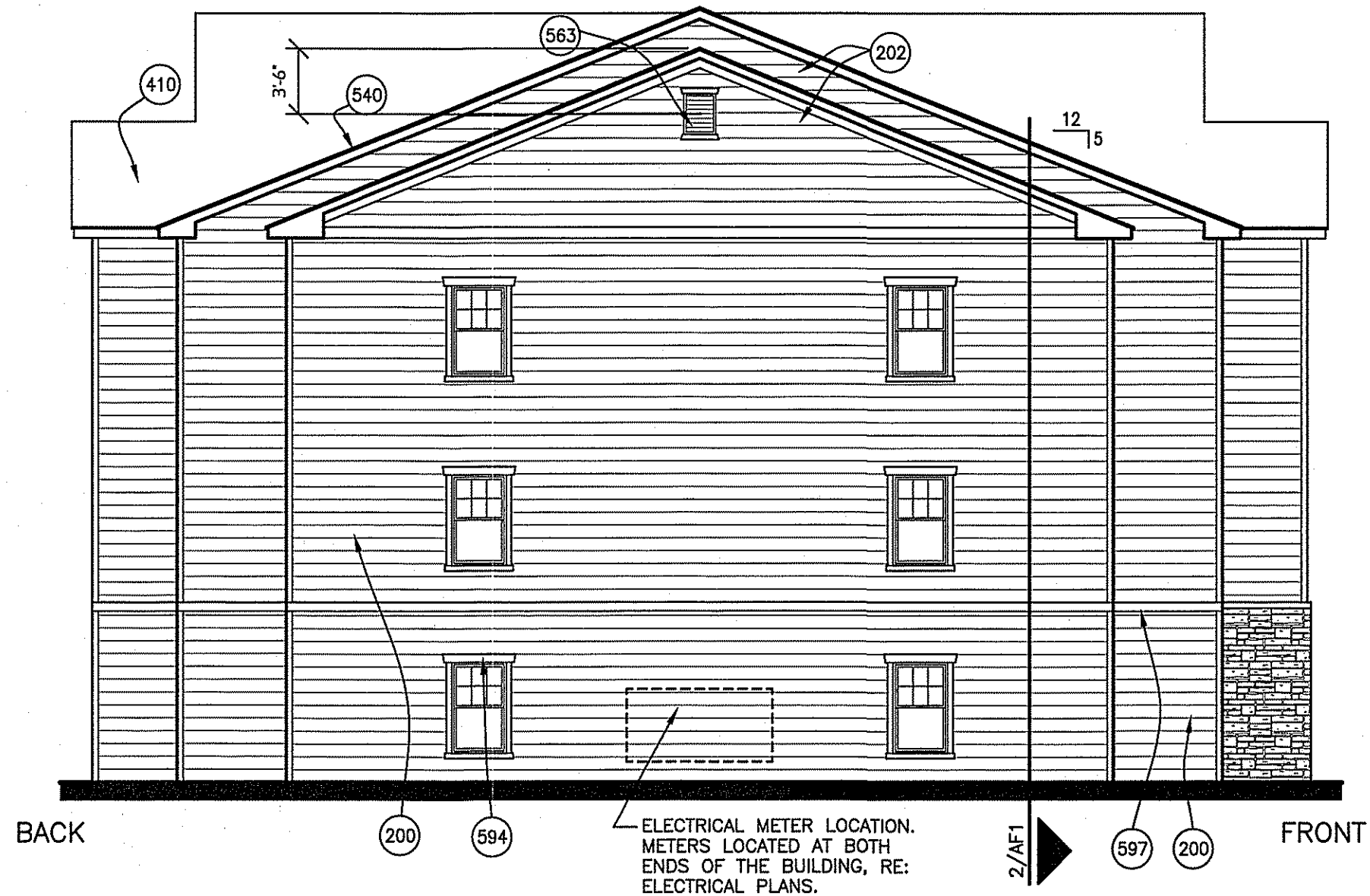
STONE MATERIAL IS THINSET PREMANUFACTURED STONE



1 BLDGS 6&8 FRONT/BACK ELEVATION
1/8" = 1'-0"



2 BLDG 8 END ELEVATION
1/8" = 1'-0" FACING STREET



3 BLDGS 6&8 END ELEVATION
1/8" = 1'-0"

KEYNOTES

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540. ALUMINUM DRIP ON 2x6 FASCIA.
544. GUTTER WITH DOWNSPOUTS AND SPLASH BLOCKS AT GRADE.
561. 12x18 VINYL OR PLASTIC LOUVERED VENT. DUMMY. 2X4 TRIM AT TOP & BOTTOM PER DETAIL.
563. 18x24 VINYL OR PLASTIC LOUVERED VENT. DUMMY. PROVIDE 2X4 TRIM AT TOP & BOTTOM PER DETAIL.
571. POLY-VINYL RAILING SYSTEM WITH TOP RAIL AT 3'-6" A.F.F. AND 1 1/2" X 1 1/2" PICKETS SPACED 4" O.C. WITH 1X4 TRIM AT TOP AND BOTTOM. RAILING LENGTHS OVER 8'-0" TO HAVE A STRUCTURAL POST AT CENTER INSTALLED PER MFR. RECOMMENDATIONS.
583. CEMENT BOARD CLADDING ON BEAM OR FRAMING.
591. 2X8 TRIM.
593. CLAD BEAM WITH 2 LAYERS OF 5/8" EXT. FIRE RESISTANT GYPSUM BOARD AND CEMENT BOARD TRIM AT EXTERIOR.
595. PREFINISHED VINYL SHUTTER 1'-3" WIDE X LENGTH OF WINDOW AND TRIM.
597. 6" WIDE CEMENT BOARD TRIM ON 1X4 BLOCKING AT TOP AND BOTTOM PER DETAILS.

EXTERIOR WALL ASSEMBLIES

WALL ASSEMBLIES AS DESCRIBED IN KEYNOTES 200, 204 AND 530.

PER TABLE 602 OF THE 2012 NC BUILDING CODE: EXTERIOR WALLS MUST BE 1-HOUR FIRE RATED ON TYPE VA BUILDINGS WHERE THERE IS LESS THAN 30 FEET OF FIRE SEPARATION DISTANCE. REFER TO SITE PLAN FOR LOCATIONS AND CALCULATIONS.

GARDRAIL LOADS AND DESIGN

RAILING AS DESCRIBED IN KEYNOTE 571

GUARDRAILS TO BE DESIGNED IN ACCORDANCE WITH 2012 NC BUILDING CODE SECTIONS 1013 AND 1607: GUARDRAILS TO BE 42" IN HEIGHT, WITH PICKETS SPACED A MAXIMUM OF 4" O.C. AND A BOTTOM RAIL SPACED TO REJECT A 2" SPHERE.

GUARDRAIL SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST A LINEAR LOAD OF 50 PLF

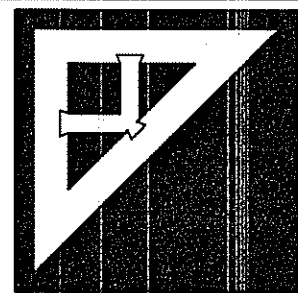
GUARDRAIL SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST A CONCENTRATED LOAD OF 200 LBS. APPLIED IN ANY DIRECTION.

INTERMEDIATE RAILS AND BALUSTERS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST A CONCENTRATED LOAD OF 50 LBS. APPLIED ON A 1FT SQUARE AREA AT ANY POINT IN THE SYSTEM.

LOADING SHALL NOT BE APPLIED SIMULTANEOUSLY.

Northlake Apartments

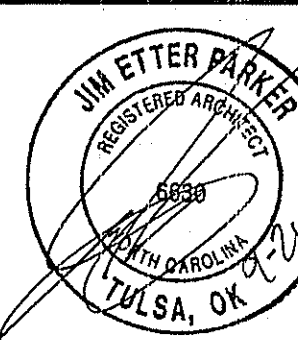
Charlotte, North Carolina



Parker Associates
2202 East 49th Street South,
Suite 200
Tulsa, OK 74105
(918)-742-2485

Covington Realty
Partners

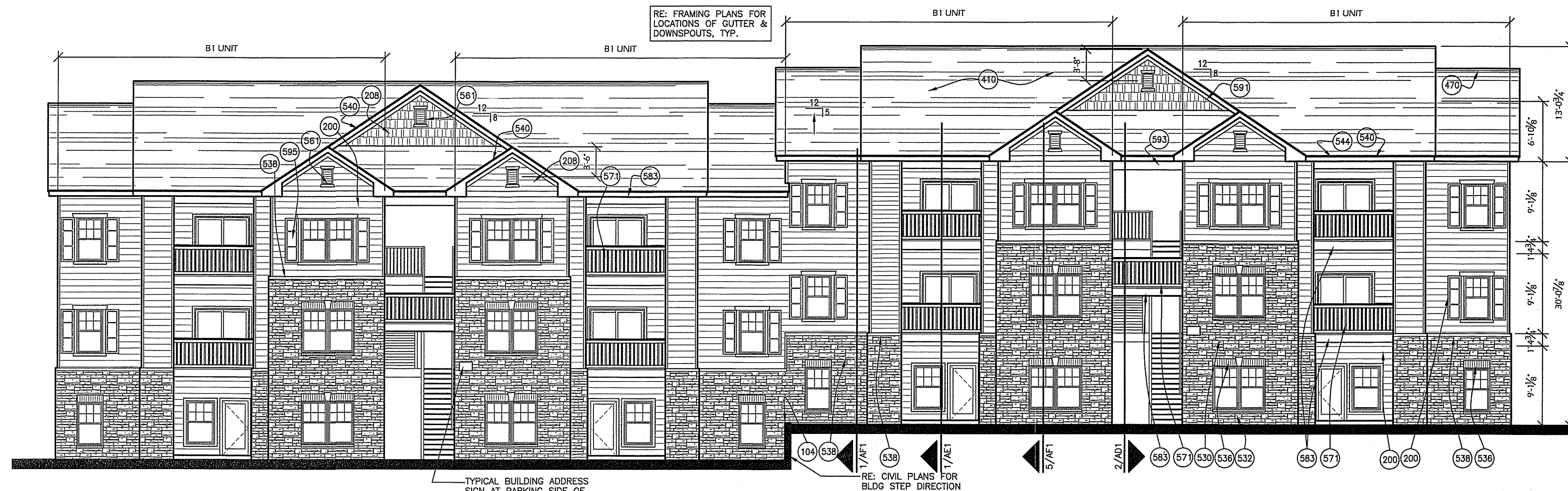
135 North Meramec
Suite 500
St. Louis, MO 63105
314-727-2424



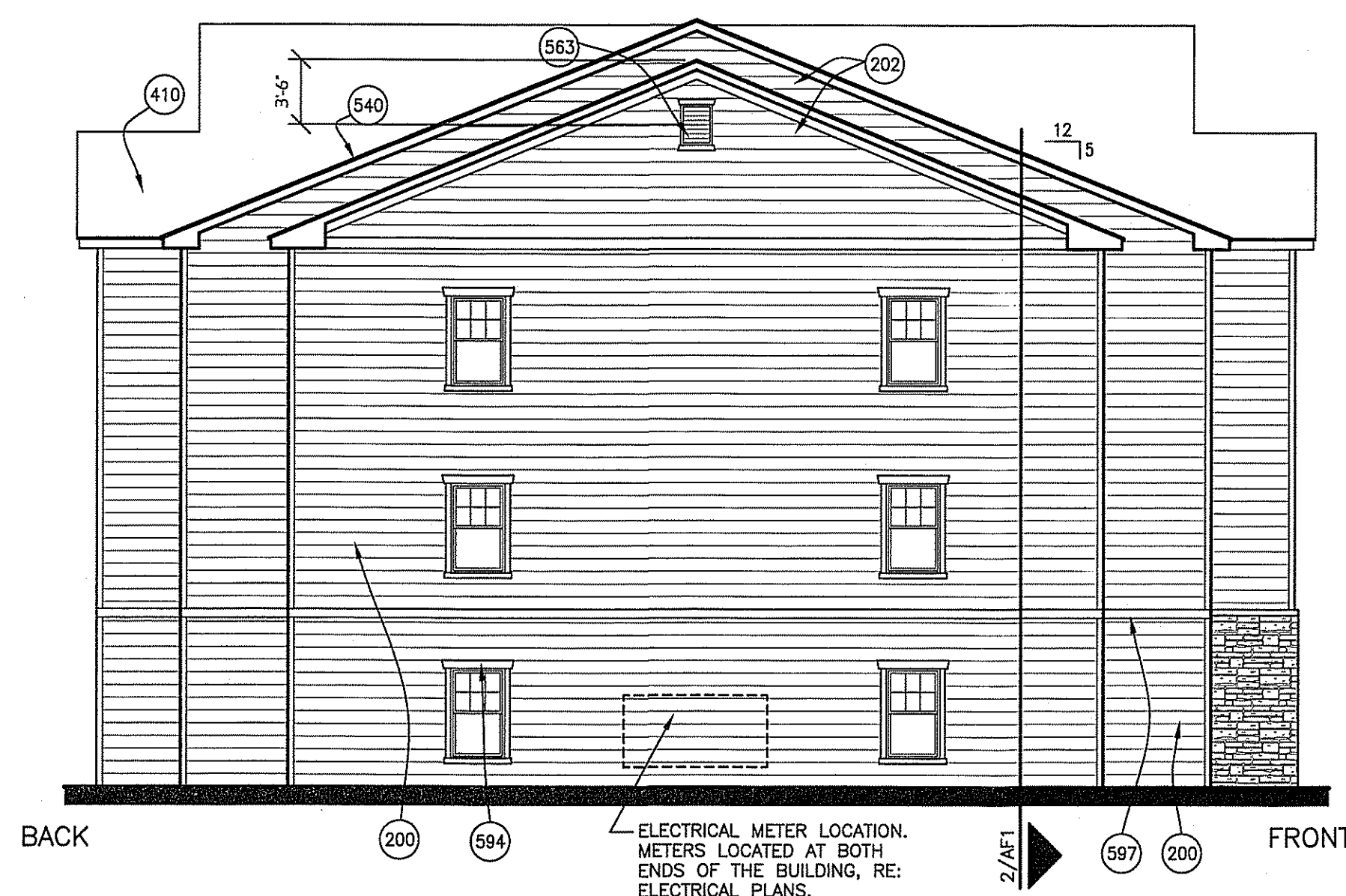
JOB NUMBER: 28025
DRAWN BY: JEP, SLAT
DATE: 02/10/2014
REV. 5/19/14
REV. 8/20/14
REV. 10/27/14

BLDGS 6&8
ELEVATIONS

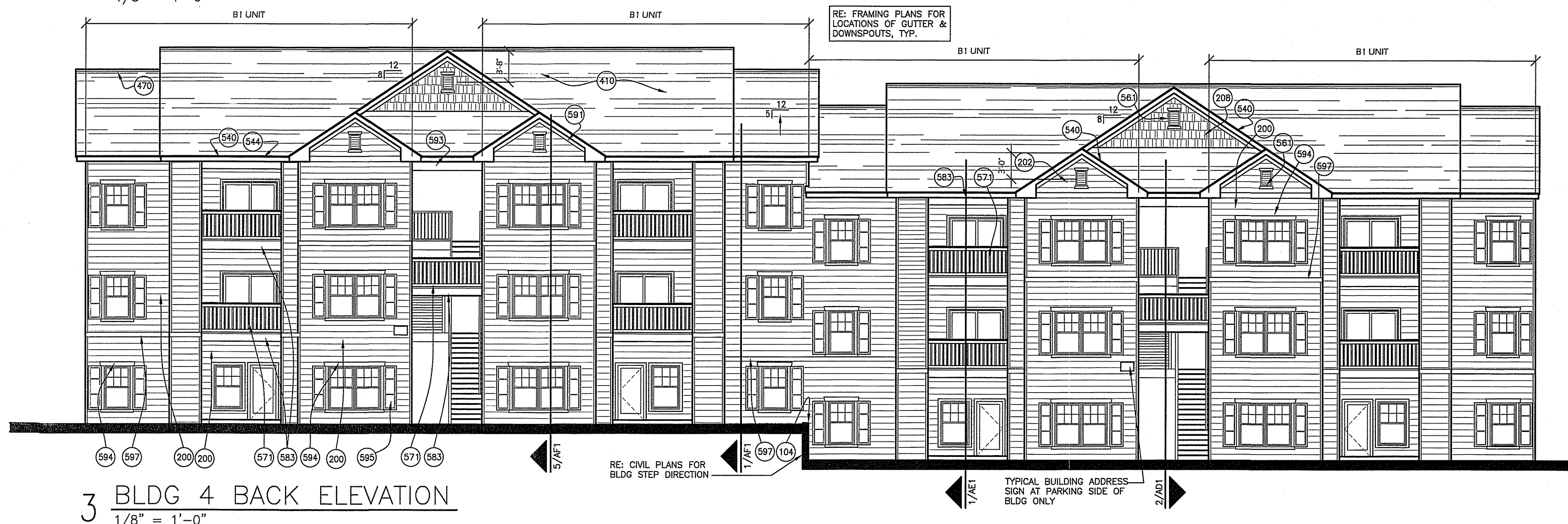
SHEET AB9 OF 11
NUMBER



1 BLDG 4 FRONT ELEVATION
1/8" = 1'-0" FACING PARKING



2 BLDG 4 END ELEVATION
1/8" = 1'-0"



3 BLDG 4 BACK ELEVATION
1/8" = 1'-0"

KEYNOTES

104. CONCRETE RETAINING WALL, RE: FOUNDATION PLANS AND DTLS.
200. FIBER CEMENT SIDING ATTACHED TO MOISTURE RESISTANT BARRIER AND 7/16" O.S.B. SHEATHING AND STUDS PER SCHEDULE WITH R-13 BATT INSULATION AND 5/8" F.R. GYP. BD. AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACES.
202. FIBER CEMENT SIDING ATTACHED TO MOISTURE RESISTANT BARRIER AND 7/16" O.S.B. SHEATHING AND ROOF TRUSSES.
208. SHAKE SHINGLE CEMENT FIBER SIDING ON MOISTURE BARRIER AND 7/16" O.S.B. SHEATHING AND ROOF TRUSSES.
410. FIBERGLASS ARCHITECTURAL SHINGLES ON 15 LB. FELT ON DECKING PER SCHEDULE ON ROOF TRUSSES WITH R-30 INS. W/ 5/8" FIRE RESISTANT GYP. BOARD ON RESILIENT CHANNELS AT CEILING. OMIT INS. OVER NON-CONDITIONED SPACES.
470. CONTINUOUS RIDGE VENT.
530. STONE VENEER ON METAL LATH ON 2 LAYERS OF MOISTURE RESISTANT BARRIER ON SHEATHING ON STUDS W/ R-13 BATT INSULATION W/ 5/8" FIRE RESISTANT GYP BD. AT INTERIOR.
532. STONE SILL OR CAP TO BE INSTALLED PER MFR REQUIREMENTS.
536. TRIM STONE ACCENT WITH KEY AT LOCATIONS SHOWN.
538. ALUMINUM CLAD 2x6 OVER STONE PER DETAIL.
540. ALUMINUM DRIP ON 2x6 FASCIA.
544. GUTTER WITH DOWNSPOUTS AND SPLASH BLOCKS AT GRADE.
561. 12x18 VINYL OR PLASTIC LOUVERED VENT. DUMMY. 2x4 TRIM AT TOP & BOTTOM PER DETAIL.
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EXTERIOR WALL ASSEMBLIES

WALL ASSEMBLIES AS DESCRIBED IN KEYNOTES 200, 204 AND 530.

PER TABLE 602 OF THE 2012 NC BUILDING CODE: EXTERIOR WALLS MUST BE 1-HOUR FIRE RATED ON TYPE VA BUILDINGS WHERE THERE IS LESS THAN 30 FEET OF FIRE SEPARATION DISTANCE. REFER TO SITE PLAN FOR LOCATIONS AND CALCULATIONS.

GARDRAIL LOADS AND DESIGN

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GUARDRAIL SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST A LINEAR LOAD OF 50 PLF

GUARDRAIL SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST A CONCENTRATED LOAD OF 200 LBS. APPLIED IN ANY DIRECTION.

INTERMEDIATE RAILS AND BALUSTERS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST A CONCENTRATED LOAD OF 50 LBS. APPLIED ON A 1FT SQUARE AREA AT ANY POINT IN THE SYSTEM.

LOADING SHALL NOT BE APPLIED SIMULTANEOUSLY.

BUILDING 4 MASONRY CALCULATIONS

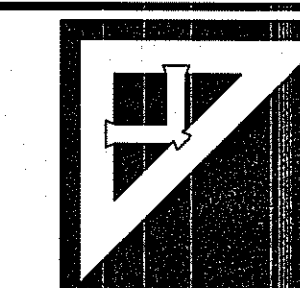
FRONT ONLY (FACING PARKING)

TOTAL AREA	4500 SF
AREA OF WINDOWS AND DOORS	1000 SF
NET SURFACE AREA	3500 SF
AREA OF STONE	1168 SF
PERCENTAGE STONE	33%

STONE MATERIAL IS THINSET PREMANUFACTURED STONE

Northlake Apartments

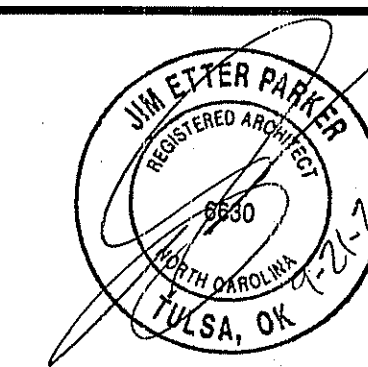
Charlotte, North Carolina



Parker Associates
2202 East 49th Street South,
Suite 200
Tulsa, OK 74105
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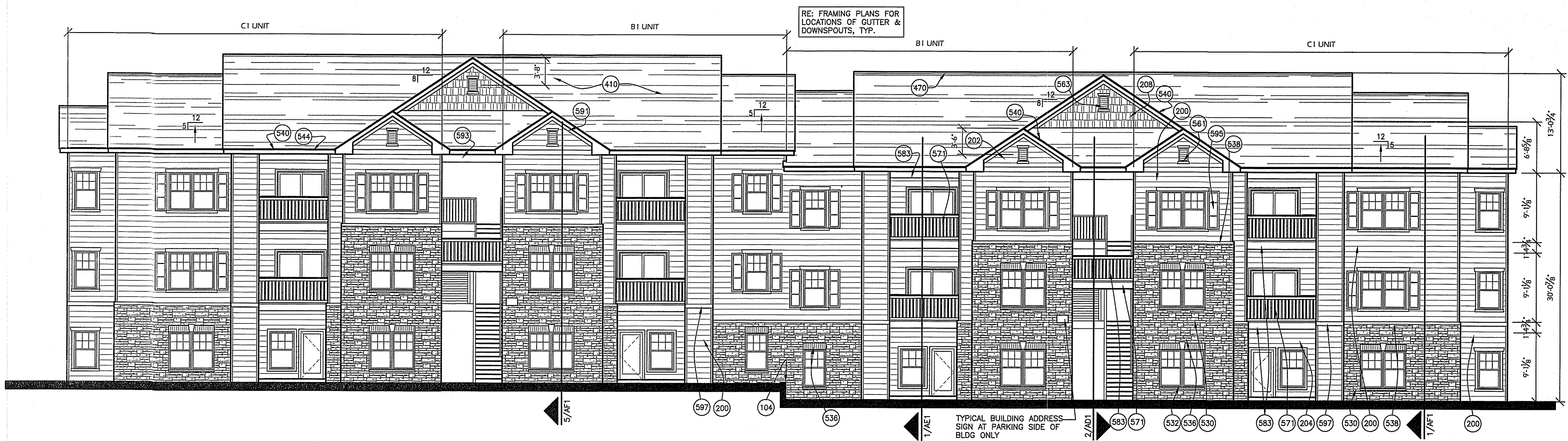
Covington Realty Partners

135 North Meramec
Suite 500
St. Louis, MO 63105
314-727-2424

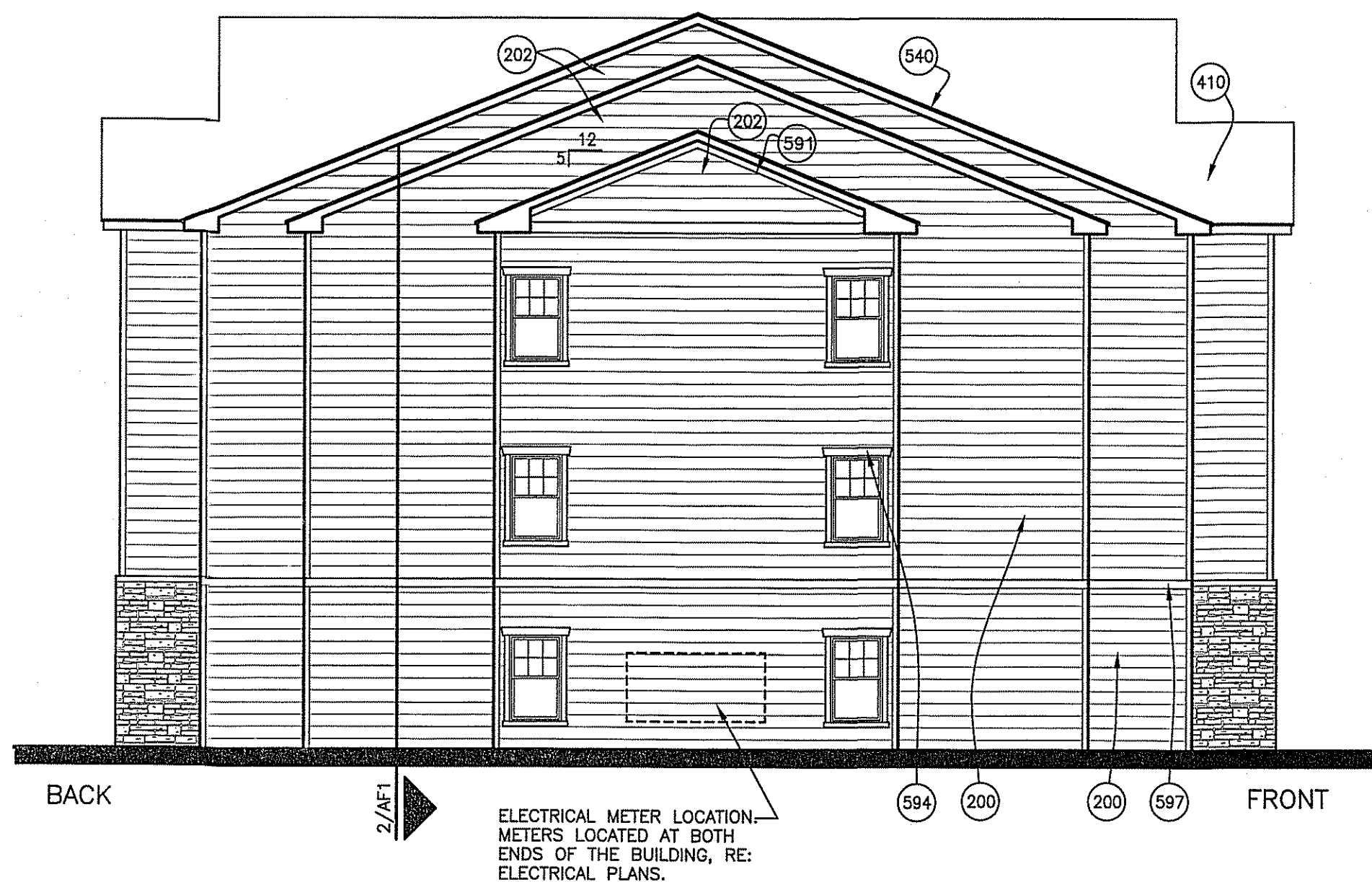


JOB NUMBER: 28025
DRAWN BY: JEP, SLAT
DATE: 02/10/2014
REV. 1: 5/19/14
REV. 2: 8/20/14
REV. 3: 10/27/14

BLDG 4 ELEVATIONS
SHEET NUMBER AB9.1 of 11



1 BLDG 3 FRONT/BACK ELEVATION
1/8" = 1'-0" BACK ELEVATION IS REVERSED FROM SHOWN ELEVATION



2 BLDG 3 END ELEVATION
1/8" = 1'-0"

BUILDING 3 MASONRY CALCULATIONS

FRONT & REAR ELEVATIONS	
TOTAL AREA	5196 SF
AREA OF WINDOWS AND DOORS	1180 SF
NET SURFACE AREA	4016 SF
AREA OF STONE	1304 SF
PERCENTAGE STONE	32%

STONE MATERIAL IS THINSET PREMANUFACTURED STONE

KEYNOTES

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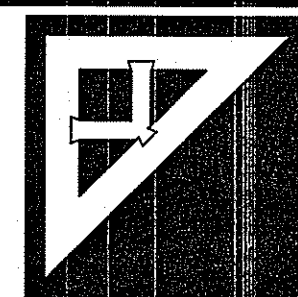
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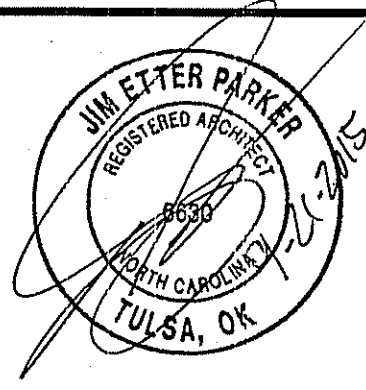
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BUILDING 3 ELEVATIONS
SHEET AB11 OF 11