

PRELIMINARY PLANNED  
MULTI-FAMILY SUBDIVISION  
APPROVAL  
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
By Brent Wilkinson 4/16/2015  
Conversion of garage units to 4 carriage units.

# MARVIN ROAD APARTMENTS MULTI-FAMILY DEVELOPMENT

JOHNSTON ROAD (HWY 521) AND MARVIN ROAD  
CHARLOTTE, NORTH CAROLINA 28277



http://development.charmeck.org

**ENGINEERING**  
PCO / DETENTION / DRAINAGE PLAN

**APPROVED**  
By Brendan Smith (bmsmith@charlottenc.gov) at 4:19 pm, Apr 14, 2015

**EROSION CONTROL**  
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

**APPROVED**  
By Brendan Smith (bmsmith@charlottenc.gov) at 4:19 pm, Apr 14, 2015

**URBAN FORESTRY**  
TREE ORDINANCE

**APPROVED**  
By Gary Turner (704-336-4330) at 4:47 pm, Apr 07, 2015

**CDOT**

**APPROVED**



**SHEET INDEX:**

	LAND DEVELOPMENT INITIAL SUBMITTAL	LAND DEVELOPMENT SECOND SUBMITTAL	EARLY GRADING PERMIT	LAND DEVELOPMENT THIRD SUBMITTAL	LAND DEVELOPMENT PERMIT SET	LAND DEVELOPMENT RTAP SUBMITTAL
C-0.0	05/01/2013	07/24/2013	08/26/2013	09/16/2013	10/25/2013	03/18/2015
C-0.1	05/01/2013	07/24/2013		09/16/2013	10/25/2013	03/18/2015
C-1.0	05/01/2013	07/24/2013		09/16/2013	10/25/2013	03/18/2015
C-1.1	05/01/2013	07/24/2013		09/16/2013	10/25/2013	03/18/2015
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C-1.3	05/01/2013	07/24/2013		09/16/2013	10/25/2013	03/18/2015
C-2.0	05/01/2013	07/24/2013	08/26/2013	09/16/2013	10/25/2013	03/18/2015
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C-2.4	05/01/2013	07/24/2013	08/26/2013	09/16/2013	10/25/2013	03/18/2015
C-3.0	05/01/2013	07/24/2013		09/16/2013	10/25/2013	03/18/2015
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C-3.5	05/01/2013	07/24/2013		09/16/2013	10/25/2013	03/18/2015
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L-1.9	05/01/2013	07/24/2013		09/16/2013	10/25/2013	03/18/2015
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A2.11	05/01/2013	07/24/2013		09/16/2013	10/25/2013	03/18/2015
A2.12	05/01/2013	07/24/2013		09/16/2013	10/25/2013	03/18/2015
A2.21	05/01/2013	07/24/2013		09/16/2013	10/25/2013	03/18/2015
A2.22	05/01/2013	07/24/2013		09/16/2013	10/25/2013	03/18/2015
A2.31	05/01/2013	07/24/2013		09/16/2013	10/25/2013	03/18/2015
A2.32	05/01/2013	07/24/2013		0		

**DEVELOPMENT SUMMARY**

PARCEL ID#: 223-531-06  
 ZONING: R-3  
 PETITION NO.: 2014-005  
 TOTAL SITE ACREAGE: 18.77 ACRES  
 IMPERVIOUS AREA: 8.4 ACRES  
 PROPOSED USE: RESIDENTIAL / APARTMENTS FOR RENT  
 MAXIMUM UNITS: 281 UNITS  
 PROPOSED UNITS: 277 UNITS  
 STANDARD UNITS: 277 UNITS  
 CARRIAGE UNITS: 4 UNITS  
 TOTAL UNITS: 281 UNITS  
 MAXIMUM DENSITY: 14.84 DUA  
 PROPOSED DENSITY: 14.78 DUA  
 MAXIMUM FLOOR AREA RATIO: 1.0  
 PROVIDED FLOOR AREA RATIO: 354,583 SF / 18,7743,560 = 0.43  
 MINIMUM SETBACK: 14' FROM BOG. SETBACKS VARY  
 MINIMUM SIDE YARD: 5 FEET  
 MINIMUM REAR YARD: 30 FEET  
 MAXIMUM HEIGHT: 75 FEET OR 4 STORIES  
 MAXIMUM HEIGHT OF CARRIAGE UNITS: 26.5 FEET  
 PROPOSED CARRIAGE UNIT HEIGHT: 26.5 FEET  
 PROPOSED BUILDING HEIGHT: 3-4 STORIES  
 BUILDING SEPARATION: ≥ 10 FEET

REQUIRED PARKING: 476 SPACES (1.5 SPACES x UNIT) 476 SPACES MAX. 2 SPACES  
 PROVIDED PARKING: 478 SPACES (1.7 SPACES / UNIT)

ACCESSIBLE PARKING REQUIRED: 9 SPACES  
 ACCESSIBLE PARKING PROVIDED: 12 SPACES  
 VAN ACCESSIBLE SPACES REQUIRED: 2 SPACES  
 VAN ACCESSIBLE SPACES PROVIDED: 2 SPACES  
 GARAGE SPACES PROVIDED: 37 GARAGES

BICYCLE PARKING:  
 SHORT-TERM REQUIRED: 1 SPACE PER 20 UNITS  
 SHORT-TERM PROVIDED: 14 SPACES (277 UNITS/20)  
 LONG-TERM REQUIRED: NONE  
 LONG-TERM PROVIDED: NONE

LOADING SPACES REQUIRED: 4 (1 FOR EACH STRUCTURE IN EXCESS OF 25 UNITS)  
 4 (PROPOSED DRIVE AISLES W/ HEAVY-DUTY PAVING TO SERVE AS LOADING SPACES)

**BUFFER REQUIREMENTS:**  
 A 30' CLASS B BUFFER SHALL BE REQUIRED WHERE ABUTTING PARCELS 223-531-08 AND 223-531-09. WITHIN BUFFER, A 6' SCREEN WALL IS REQUIRED FROM MARVIN ROAD TO NEW PUBLIC ROAD. A 6' SCREEN FENCE IS REQUIRED FROM NEW PUBLIC ROAD TO THE SWIM BUFFER.

**OPEN SPACE**  
 REQUIRED OPEN SPACE: 6.3 ACRES (34%)  
 PROVIDED OPEN SPACE: 6.3 ACRES

**SOLID WASTE SUMMARY**  
 SOLID WASTE CONTAINERS  
 REQUIRED: 8-CU YARD COMPACTOR PER 90 UNITS  
 PROVIDED: 25-CU YARD COMPACTOR (PICKUP 1/WEEK)

**RECYCLING CONTAINERS**  
 REQUIRED: 6 CARTS PER 80 UNITS (96 GALLONS EACH)  
 PROVIDED: 17 CARTS (96 GALLONS EACH)

**BUFFER PLANTING REQUIREMENTS**  
 BUFFER A (SEE SHEET L-1.0):  
 TOTAL TREES REQUIRED: 88 CRYPTOMERIA JAPONICA @ 12' O.C.  
 TOTAL SHRUBS REQUIRED: 88 CHESAPEAKE HOLLY @ 12' O.C.

**BUFFER B (SEE SHEET L-1.0):**  
 TOTAL TREES REQUIRED: 21 TREES (AT LEAST 8 LARGE MATURING AND 5 EVERGREEN)  
 REQUIREMENT SATISFIED BY EXISTING TREES & SHRUBS TO REMAIN SUPPLEMENTED WITH ADDITIONAL SHRUBS AS NEEDED.

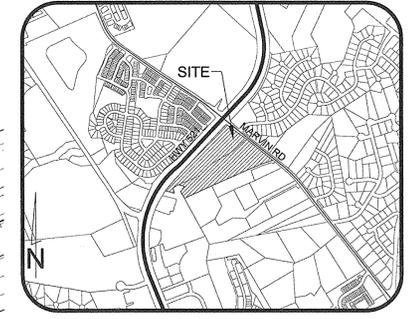
**SOLID WASTE NOTES**  
 SITE WILL BE SERVICED BY PUBLIC SOLID WASTE CARRIER. A COMPACTOR WILL BE LOCATED ON SITE FOR ALL 6 BUILDINGS (277 UNITS) AND ALSO SERVE THE CLUBHOUSE. LAYOUT WILL MEET THE REQUIREMENTS OF THE ORDINANCE.

**RECYCLING NOTES:**  
 RECYCLING STATIONS AND CONTAINERS WILL BE PROVIDED TO MEET THE REQUIREMENTS OF THE ORDINANCE

**GENERAL NOTES:**  
 1. ALL CURBS AND GUTTER SHALL HAVE A RADIUS OF (5) FIVE FEET AT THE FACE OF CURB UNLESS OTHERWISE SPECIFIED.  
 2. ALL PAVING SHALL BE HEAVY-DUTY BITUMINOUS ASPHALT UNLESS OTHERWISE SPECIFIED. REFER TO DETAIL 4/C-3.5.

ESTIMATED PROJECT COMPLETION DATE: SEPTEMBER 2014

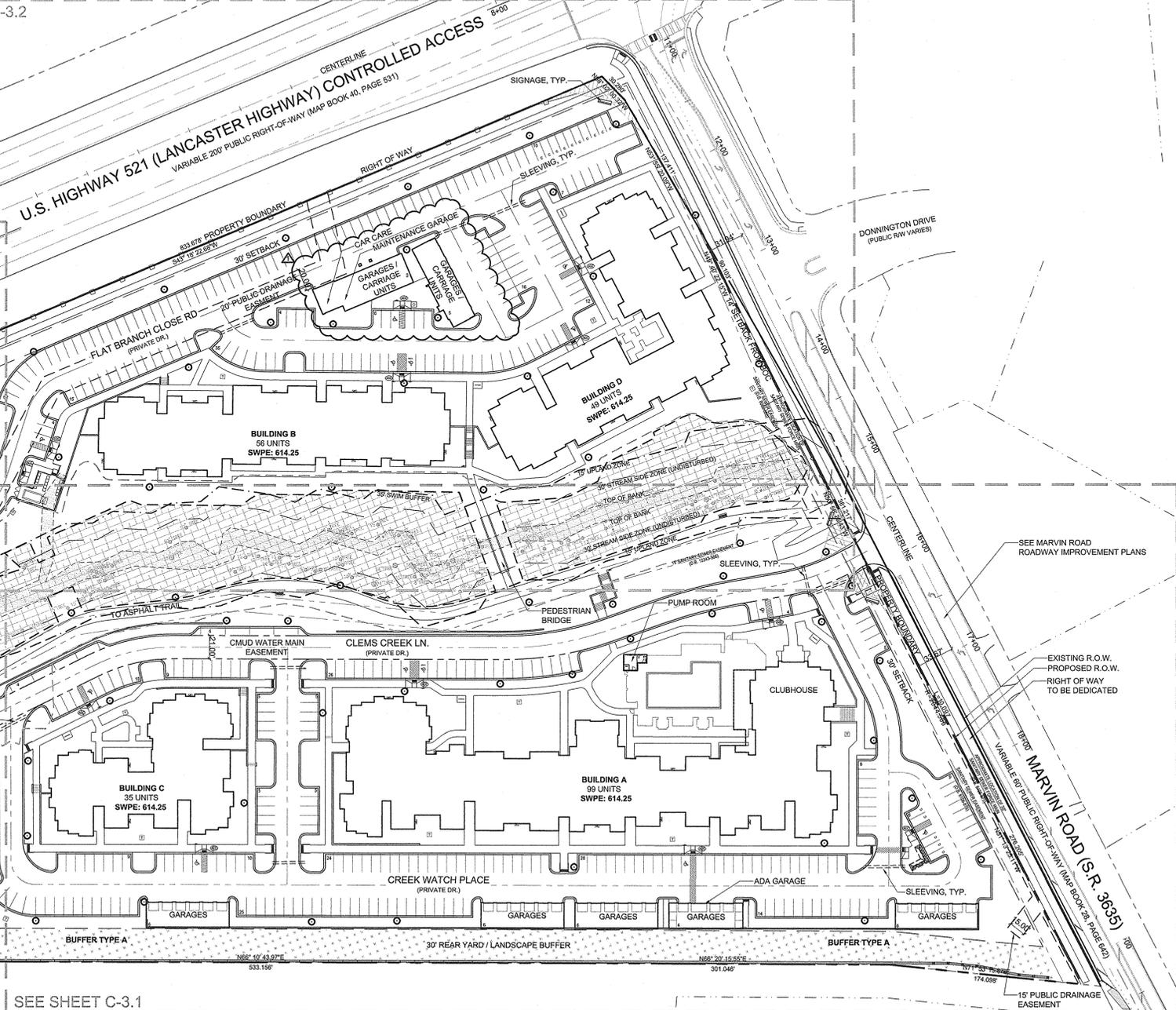
MAXIMUM FLOOR AREA RATIO= 1.0  
 PROVIDED FAR= 354,583/18,7743,560= 0.43



VICINITY MAP  
 NTS

SEE SHEET C-3.3

SEE SHEET C-3.2



**LEGEND**

ACCESSIBLE RAMP	7,8/C-2.11	BUFFER TYPE A
2'-6" CURB AND GUTTER	12/C-7.3	BUFFER TYPE B
1'-6" CURB AND GUTTER	1,2/C-3.4	UNDISTURBED TREE SAVE
ACCESSIBLE RAMP	6,7,8/C-3.4	AREA TO BE DEDICATED TO MECKLENBURG COUNTY PARKS AND RECREATION
HEAVY DUTY ASPHALT	7,8/C-2.12	100+1 STORMWATER ELEVATION LINE
HEAVY-DUTY CONCRETE	5/C-3.5	PVC SLEEVING, TYP.
CONCRETE STEPS W/ RAILING	10/C-3.5	SIGHT LIGHTING
BIKE RACK	8/C-3.6	STOP SIGN / STREET SIGN

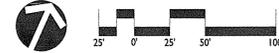
PID# 223-531-09  
 ASHLEY REA BOLICK AND BRETT A BOLICK  
 2022 HARTWICKE PL  
 CHARLOTTE, NC 28270  
 EX ZONING: R-3  
 EX LAND USE: VACANT

PID# 223-531-08  
 KENNETH C AND DENISE H HAMMOND  
 16202 MARVIN RD  
 CHARLOTTE, NC 28277  
 EX ZONING: R-3  
 EX LAND USE: RESIDENTIAL

PID# 223-531-07  
 ROLLIN G AND WENDY G GRAM  
 16204 MARVIN RD.  
 CHARLOTTE, NC 28277  
 EX ZONING: R-3  
 EX LAND USE: RESIDENTIAL



BEFORE YOU DIG!  
 CALL 1-800-632-4849  
 N.C. ONE-CALL CENTER  
 IT'S THE LAW!



**LandDesign.**  
 223 N. Graham Street, Charlotte, NC 28202  
 704.332.3246  
 www.LandDesign.com



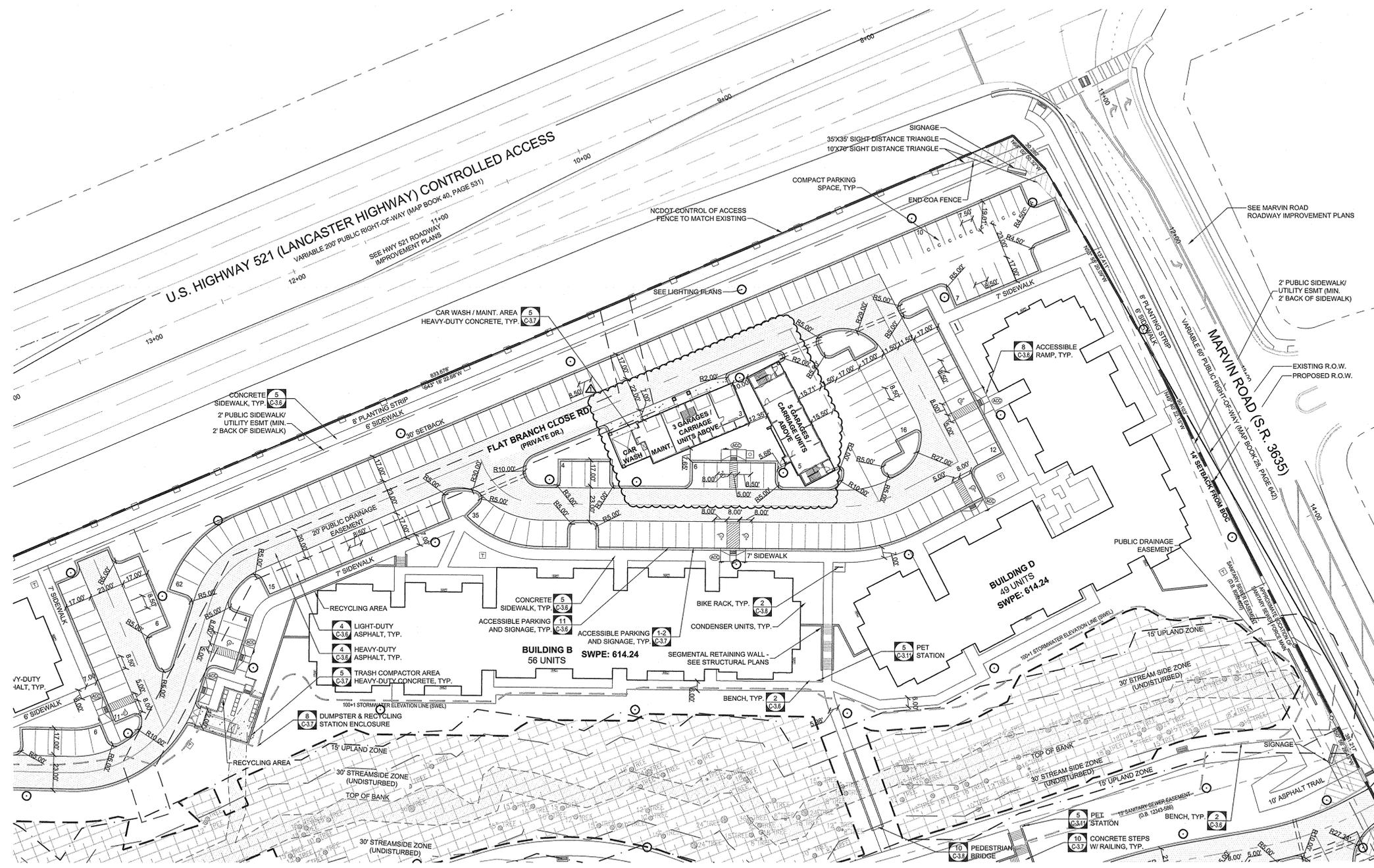
Matthew W. Williams  
 PROFESSIONAL ENGINEER  
 STATE OF NORTH CAROLINA  
 LICENSE NO. 37191

**MARVIN ROAD APARTMENTS**  
**MULTI FAMILY DEVELOPMENT**  
 CHILDRESS KLEIN PROPERTIES; PROVIDENCE TOWNSHIP - CHARLOTTE, NC  
 OVERALL LAYOUT PLAN

REVISIONS:  
 7-24-13 PER CITY COMMENTS  
 9-16-13 REV. RESPONSES  
 10-24-13 REVISED PER CITY COMMENTS

DATE: MAY 01, 2013  
 DESIGNED BY: MMB  
 CHECKED BY: MMB  
 C.C. BY: NLD  
 PROJECT #101302  
 SHEET #

**C-3.0**



**LEGEND**

ACCESSIBLE RAMP		7,8,9/C-2.11	BUFFER TYPE A	
2'-6" CURB AND GUTTER		12/C-7.3	BUFFER TYPE B	
1'-6" CURB AND GUTTER		1,2/C-3.4	UNDISTURBED TREE SAVE	
ACCESSIBLE RAMP		6,7,8/C-3.4	AREA TO BE DEDICATED TO MECKLENBURG COUNTY PARKS AND RECREATION	
HEAVY DUTY ASPHALT		7,8/C-2.12	100'+1 STORMWATER ELEVATION LINE	
HEAVY-DUTY CONCRETE		5/C-3.5	PVC SLEEVING, TYP.	
CONCRETE STEPS W/ RAILING		10/C-3.5	SIGHT LIGHTING	
BIKE RACK		8/C-3.6	STOP SIGN / STREET SIGN	



**BEFORE YOU DIG!**  
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 N.C. ONE-CALL CENTER  
 IT'S THE LAW!

**MARVIN ROAD APARTMENTS**  
**MULTI FAMILY DEVELOPMENT**  
 CHILDRESS KLEIN PROPERTIES; PROVIDENCE TOWNSHIP - CHARLOTTE, NC  
 DETAILED LAYOUT PLAN

REVISIONS:  
 7-24-13 PER CITY COMMENTS  
 9-16-13 REV. RESPONSES  
 10-24-13 REVISED PER CITY COMMENTS  
 DATE: MAY 01, 2013  
 DESIGNED BY: MMB  
 CHECKED BY: MMB  
 O.C. BY: NLD  
 PROJECT #1011302  
 SHEET #:

**C-3.2**