

MARVIN ROAD APARTMENTS

MULTI-FAMILY DEVELOPMENT

JOHNSTON ROAD (HWY 521) AND MARVIN ROAD
CHARLOTTE, NORTH CAROLINA 28277



http://development.charmeck.org

ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

APPROVED
By Brendan Smith (bmsmith@charlottenc.gov) at 4:19 pm, Apr 14, 2015

EROSION CONTROL
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM AT <http://development.charmeck.org>

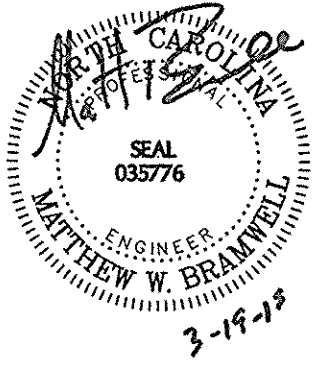
APPROVED
By Brendan Smith (bmsmith@charlottenc.gov) at 4:19 pm, Apr 14, 2015

URBAN FORESTRY
TREE ORDINANCE

APPROVED
By Gary Turner (704-336-4330) at 4:47 pm, Apr 07, 2015

CDOT

APPROVED



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301 South College Street
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(704) 343-4340
Contact: Bryan Rushing

LANDSCAPE ARCHITECT
CIVIL ENGINEER
LandDesign, Inc.
223 N. Graham Street
Charlotte, NC 28202
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Contact: Rhett Crocker, RLA
Contact: Matt Bramwell, PE

SURVEYOR
R.B. Pharr & Associates, P.A.
420 Hawthorne Lane
Cornelius, NC 28204
(704) 376-2186
Contact: Andrew Baker, PLS

ARCHITECT
Cline Design Associates
1800 Camden Road
Suite 108
Charlotte, NC 28203
(704) 333-7272
Contact: Doug Granade

SHEET INDEX:

	LAND DEVELOPMENT INITIAL SUBMITTAL	LAND DEVELOPMENT SECOND SUBMITTAL	EARLY GRADING PERMIT	LAND DEVELOPMENT THIRD SUBMITTAL	LAND DEVELOPMENT PERMIT SET	LAND DEVELOPMENT RTAP SUBMITTAL
C-0.0 COVER SHEET	05/01/2013	07/24/2013	08/26/2013	09/16/2013	10/25/2013	03/18/2015
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C-8.09	CROSS SECTIONS - HIGHWAY 521	05/01/2013	07/24/2013		09/16/2013	10/25/2013	03/18/2015
C-8.10	CROSS SECTIONS - HIGHWAY 521	05/01/2013	07/24/2013		09/16/2013	10/25/2013	03/18/2015
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L-1.2	TREE SAVE PLAN	05/01/2013	07/24/2013		09/16/2013	10/25/2013	03/18/2015
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A2.01	BUILDING A ELEVATIONS	05/01/2013	07/24/2013		09/16/2013	10/25/2013	03/18/2015
A2.02	BUILDING A ELEVATIONS	05/01/2013	07/24/2013		09/16/2013	10/25/2013	03/18/2015
A2.03	BUILDING A ELEVATIONS	05/01/2013	07/24/2013		09/16/2013	10/25/2013	03/18/2015
A2.04	BUILDING A ELEVATIONS	05/01/2013	07/24/2013		09/16/2013	10/25/2013	03/18/2015
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DEVELOPMENT SUMMARY

PARCEL ID#: 223-531-06
ZONING: R-3
PETITION NO.: 2012-005 2014-003

TOTAL SITE ACREAGE: 18.77 ACRES
IMPERVIOUS AREA: 8.4 ACRES

PROPOSED USE: RESIDENTIAL / APARTMENTS FOR RENT
MAXIMUM UNITS: 281 UNITS
PROPOSED UNITS: 277 UNITS
STANDARD UNITS: 277 UNITS
CARRIAGE UNITS: 4 UNITS
TOTAL UNITS: 281 UNITS

MAXIMUM DENSITY: 14.94 DUA
PROPOSED DENSITY: 14.78 DUA
MAXIMUM FLOOR AREA RATIO: 1.0
PROVIDED FLOOR AREA RATIO: 354,583 SF / 18,7743,560 = 0.43

MINIMUM SETBACK: 14' FROM BOC. SETBACKS VARY
MINIMUM SIDE YARD: 5 FEET
MINIMUM REAR YARD: 30 FEET
MAXIMUM HEIGHT: 75 FEET OR 4 STORIES
MAXIMUM HEIGHT OF CARRIAGE UNITS: 26.5 FEET
PROPOSED CARRIAGE UNIT HEIGHT: 26.5 FEET
PROPOSED BUILDING HEIGHT: 3-4 STORIES
BUILDING SEPARATION: ≥ 10 FEET

REQUIRED PARKING: 476 (42) SPACES (1.5 SPACES x UNIT) (42) SPACES MAX. 2 SPACES
PROVIDED PARKING: 478 SPACES (1.7 SPACES / UNIT)

ACCESSIBLE PARKING REQUIRED: 9 SPACES
ACCESSIBLE PARKING PROVIDED: 12 SPACES
VAN ACCESSIBLE SPACES REQUIRED: 2 SPACES
VAN ACCESSIBLE SPACES PROVIDED: 2 SPACES
GARAGE SPACES PROVIDED: 37 GARAGES

BICYCLE PARKING:
SHORT-TERM REQUIRED: 1 SPACE PER 20 UNITS
SHORT-TERM PROVIDED: 14 SPACES (277 UNITS/20)
LONG-TERM REQUIRED: NONE
LONG-TERM PROVIDED: NONE

LOADING SPACES REQUIRED: 4 (1 FOR EACH STRUCTURE IN EXCESS OF 25 UNITS)
LOADING SPACES PROVIDED: 4 (PROPOSED DRIVE AISLES W/ HEAVY-DUTY PAVING TO SERVE AS LOADING SPACES)

BUFFER REQUIREMENTS:

A 30' CLASS B BUFFER SHALL BE REQUIRED WHERE BUTTING PARCELS 223-531-08 AND 223-531-09. WITHIN BUFFER, A 6' SCREEN WALL IS REQUIRED FROM MARVIN ROAD TO NEW PUBLIC ROAD. A 6' SCREEN FENCE IS REQUIRED FROM NEW PUBLIC ROAD TO THE SWIM BUFFER.

OPEN SPACE
REQUIRED OPEN SPACE: 6.3 ACRES (34%)
PROVIDED OPEN SPACE: 6.3 ACRES

SOLID WASTE SUMMARY
SOLID WASTE CONTAINERS
REQUIRED: 8-CU YARD COMPACTOR PER 90 UNITS
PROVIDED: 25-CU YARD COMPACTOR (PICKUP 1/WEEK)

RECYCLING CONTAINERS
REQUIRED: 5 CARTS PER 80 UNITS (98 GALLONS EACH)
PROVIDED: 17 CARTS (98 GALLONS EACH)

BUFFER PLANTING REQUIREMENTS
BUFFER A (SEE SHEET L-1.0):
TOTAL TREES REQUIRED: 88 CRYPTOMERIA JAPONICA @ 12' O.C.
TOTAL SHRUBS REQUIRED: 88 CHESAPEAKE HOLLY @ 12' O.C.

BUFFER B (SEE SHEET L-1.0):
TOTAL TREES REQUIRED: 21 TREES (AT LEAST 8 LARGE MATURING AND 5 EVERGREEN)
REQUIREMENT SATISFIED BY EXISTING TREES & SHRUBS TO REMAIN SUPPLEMENTED WITH ADDITIONAL SHRUBS AS NEEDED.

SOLID WASTE NOTES
SITE WILL BE SERVICED BY PUBLIC SOLID WASTE CARRIER. A COMPACTOR WILL BE LOCATED ON SITE FOR ALL 6 BUILDINGS (277 UNITS) AND ALSO SERVE THE CLUBHOUSE. LAYOUT WILL MEET THE REQUIREMENTS OF THE ORDINANCE.

RECYCLING NOTES:
RECYCLING STATIONS AND CONTAINERS WILL BE PROVIDED TO MEET THE REQUIREMENTS OF THE ORDINANCE

GENERAL NOTES:
1. ALL CURB AND GUTTER SHALL HAVE A RADIUS OF (5) FIVE FEET AT THE FACE OF CURB UNLESS OTHERWISE SPECIFIED.
2. ALL PAVING SHALL BE HEAVY-DUTY BITUMINOUS ASPHALT UNLESS OTHERWISE SPECIFIED. REFER TO DETAIL 4/C-3.5.
ESTIMATED PROJECT COMPLETION DATE: SEPTEMBER 2014
*ALL UTILITIES TO BE UNDERGROUND.

MAXIMUM FLOOR AREA RATIO: 1.0
PROVIDED FAR= 354,583/18,7743,560= 0.43

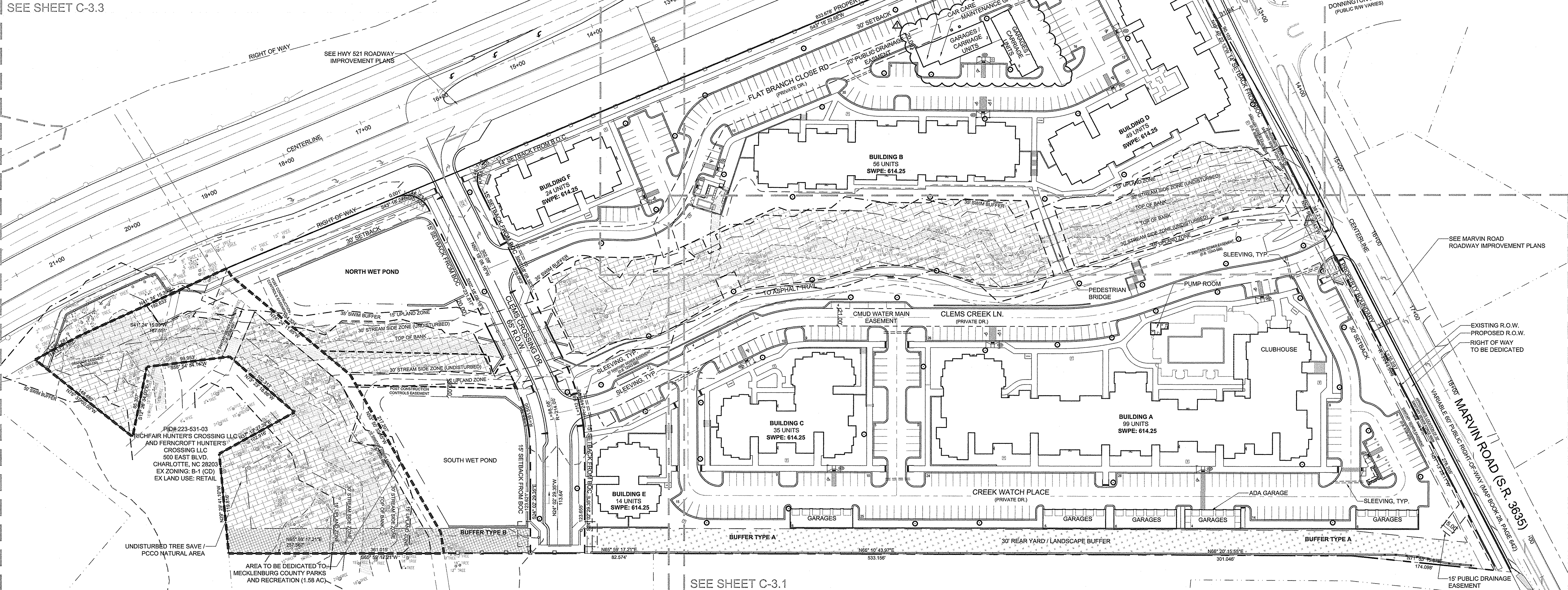


VICINITY MAP
NTS

SEE SHEET C-3.3

SEE SHEET C-3.2

U.S. HIGHWAY 521 (LANCASTER HIGHWAY)
VARIABLE 200' PUBLIC RIGHT-OF-WAY (MAP BOOK 40, PAGE 591)



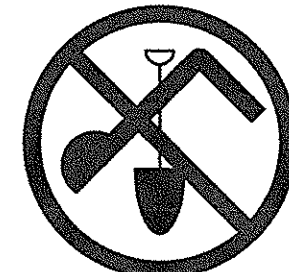
LEGEND

ACCESSIBLE RAMP	7,8/9/C-2.11	BUFFER TYPE A
2'-6" CURB AND GUTTER	12/C-7.3	BUFFER TYPE B
1'-6" CURB AND GUTTER	1,2/C-3.4	UNDISTURBED TREE SAVE
ACCESSIBLE RAMP	6,7,8/C-3.4	AREA TO BE DEDICATED TO MECKLENBURG COUNTY PARKS AND RECREATION
HEAVY DUTY ASPHALT	7,8/C-2.12	100+1 STORMWATER ELEVATION LINE
HEAVY-DUTY CONCRETE	5/C-3.5	PVC SLEEVING, TYP.
CONCRETE STEPS W/ RAILING	10/C-3.5	SIGHT LIGHTING
BIKE RACK	8/C-3.6	STOP SIGN / STREET SIGN

PID# 223-531-09
ASHLEY REA BOLICK AND BRETT A BOLICK
2022 HARTWICKE PL
CHARLOTTE, NC 28270
EX ZONING: R-3
EX LAND USE: VACANT

PID# 223-531-08
KENNETH C AND DENISE H HAMMOND
16202 MARVIN RD.
CHARLOTTE, NC 28277
EX ZONING: R-3
EX LAND USE: RESIDENTIAL

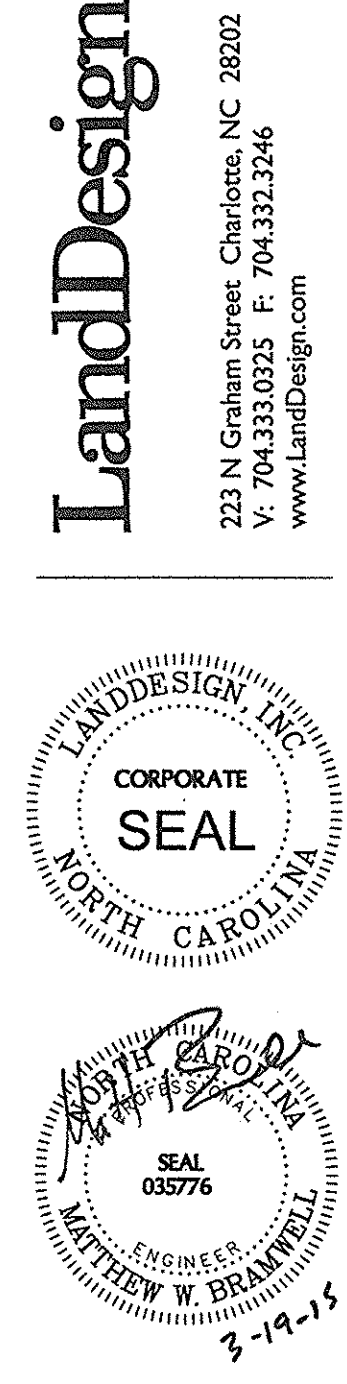
PID# 223-531-07
ROLLIN G AND WENDY G GRAM
16204 MARVIN RD.
CHARLOTTE, NC 28277
EX ZONING: R-3
EX LAND USE: RESIDENTIAL

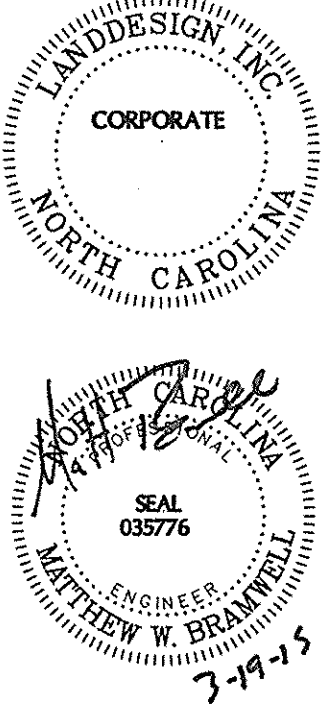


BEFORE YOU DIG!
CALL 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!

MARVIN ROAD APARTMENTS
MULTI FAMILY DEVELOPMENT
CHILDRESS KLEIN PROPERTIES; PROVIDENCE TOWNSHIP - CHARLOTTE, NC
OVERALL LAYOUT PLAN

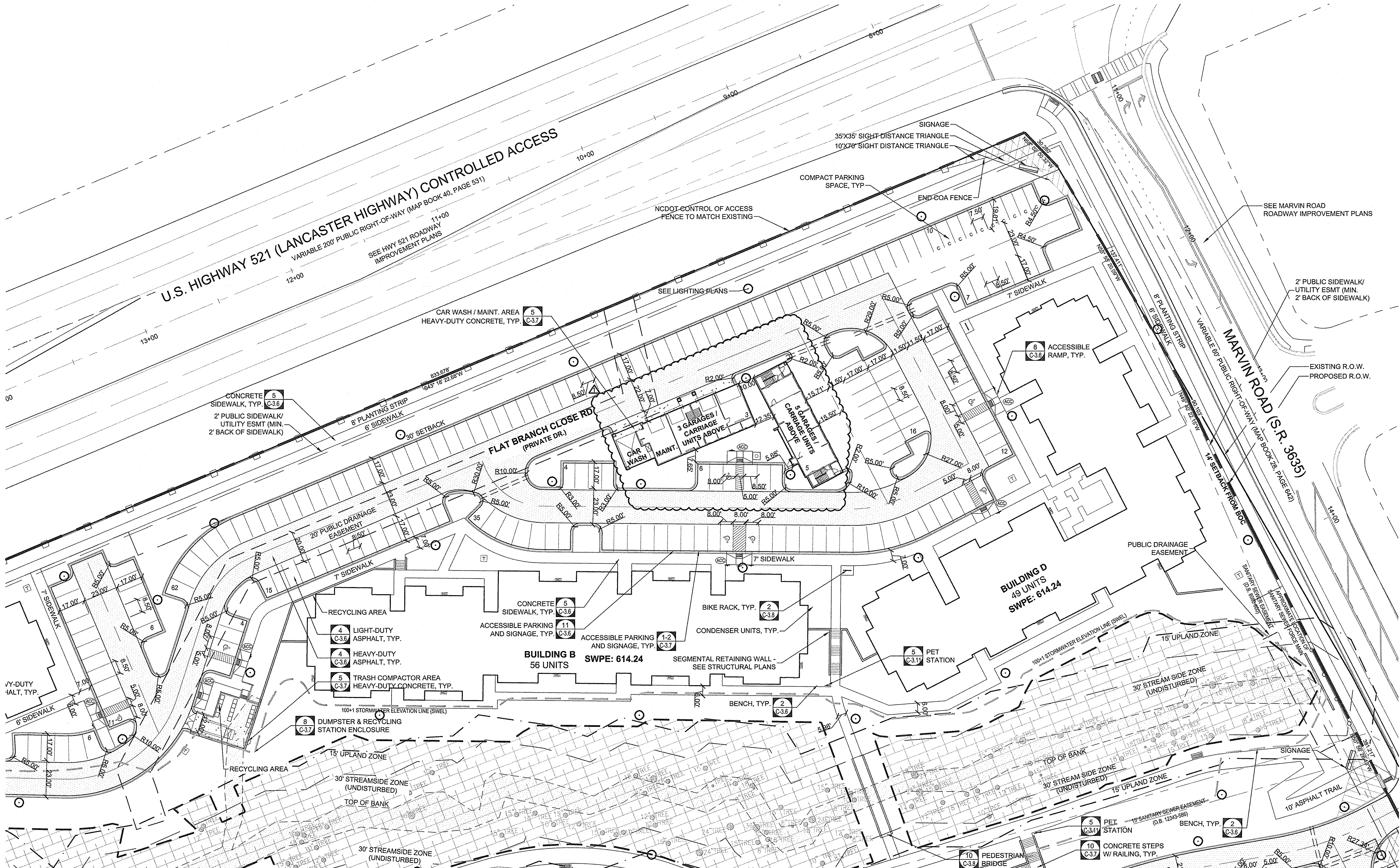
REVISIONS:
7/24/13 PER CITY COMMENTS
9/16/13 REV. RESPONSES
10/24/13 REVISED PER CITY COMMENTS
DESIGNED BY: MMB
CHECKED BY: MMB
PROJECT #101302
SHEET #:
C-3.0





MARVIN ROAD APARTMENTS
MULTI FAMILY DEVELOPMENT
CHILDRESS KLEIN PROPERTIES; PROVIDENCE TOWNSHIP - CHARLOTTE, NC
DETAILED LAYOUT PLAN

REVISIONS:
7-24-13 PER CITY COMMENTS
9-16-13 REV. RESPONSES
10-24-13 REVISED PER CITY COMMENTS
DATE: MAY 01, 2013
DESIGNED BY: MMB
CHECKED BY: MMB
O.C. BY: NLD
PROJECT #1011302
SHEET #:
C-3.2



LEGEND

ACCESSIBLE RAMP	7,8,9/C-2.11	BUFFER TYPE A
2'-6" CURB AND GUTTER	12/C-7.3	BUFFER TYPE B
1'-6" CURB AND GUTTER	1,2/C-3.4	UNDISTURBED TREE SAVE
ACCESSIBLE RAMP	6,7,8/C-3.4	AREA TO BE DEDICATED TO MECKLENBURG COUNTY PARKS AND RECREATION
HEAVY DUTY ASPHALT	7,8/C-2.12	100+1 STORMWATER ELEVATION LINE
HEAVY-DUTY CONCRETE	5/C-3.5	PVC SLEEVING, TYP.
CONCRETE STEPS W/ RAILING	10/C-3.5	SIGHT LIGHTING
BIKE RACK	8/C-3.6	STOP SIGN / STREET SIGN

