

Lancaster Highway Mixed-Use

Mixed-Use Development

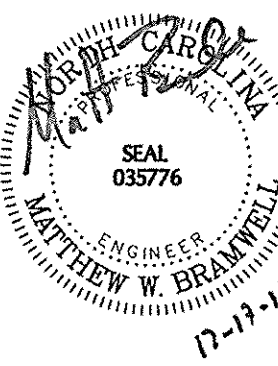
Mecklenburg County, North Carolina

Notion Properties

PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By Brent Wilkinson 12/23/15

This approval is for the planned
multi-family building only.

LandDesign
NC Engineering Firm License # C0688
223 N. Graham Street Charlotte, NC 28202
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www.LandDesign.com



LANCASTER HIGHWAY MIXED-USE
MIXED-USE DEVELOPMENT
MECKLENBURG COUNTY, NORTH CAROLINA
COVER SHEET

REVISIONS:
10/20/15 - REVISIONS PER COUNTY COMMENTS
12/1/15 - REVISIONS PER COUNTY COMMENTS

DATE: 08-18-2015
DESIGNED BY: LDB
DRAWN BY: DB
CHECKED BY: MWB
QC BY: MWB
DATE OF SHEET: 10/15/15
PROJECT #: 1015061

SHEET #:
C-1.0

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704.362.2400

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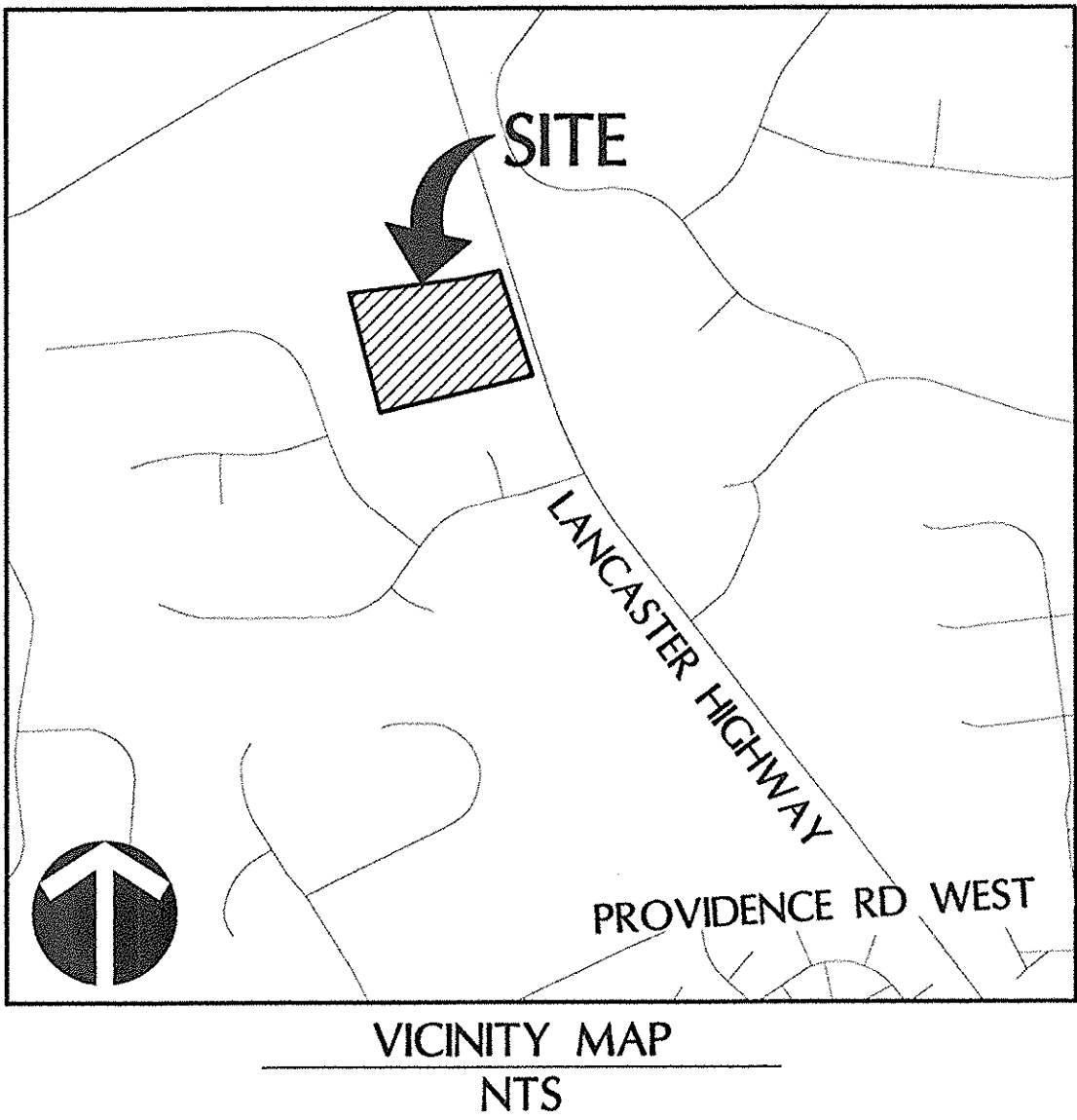
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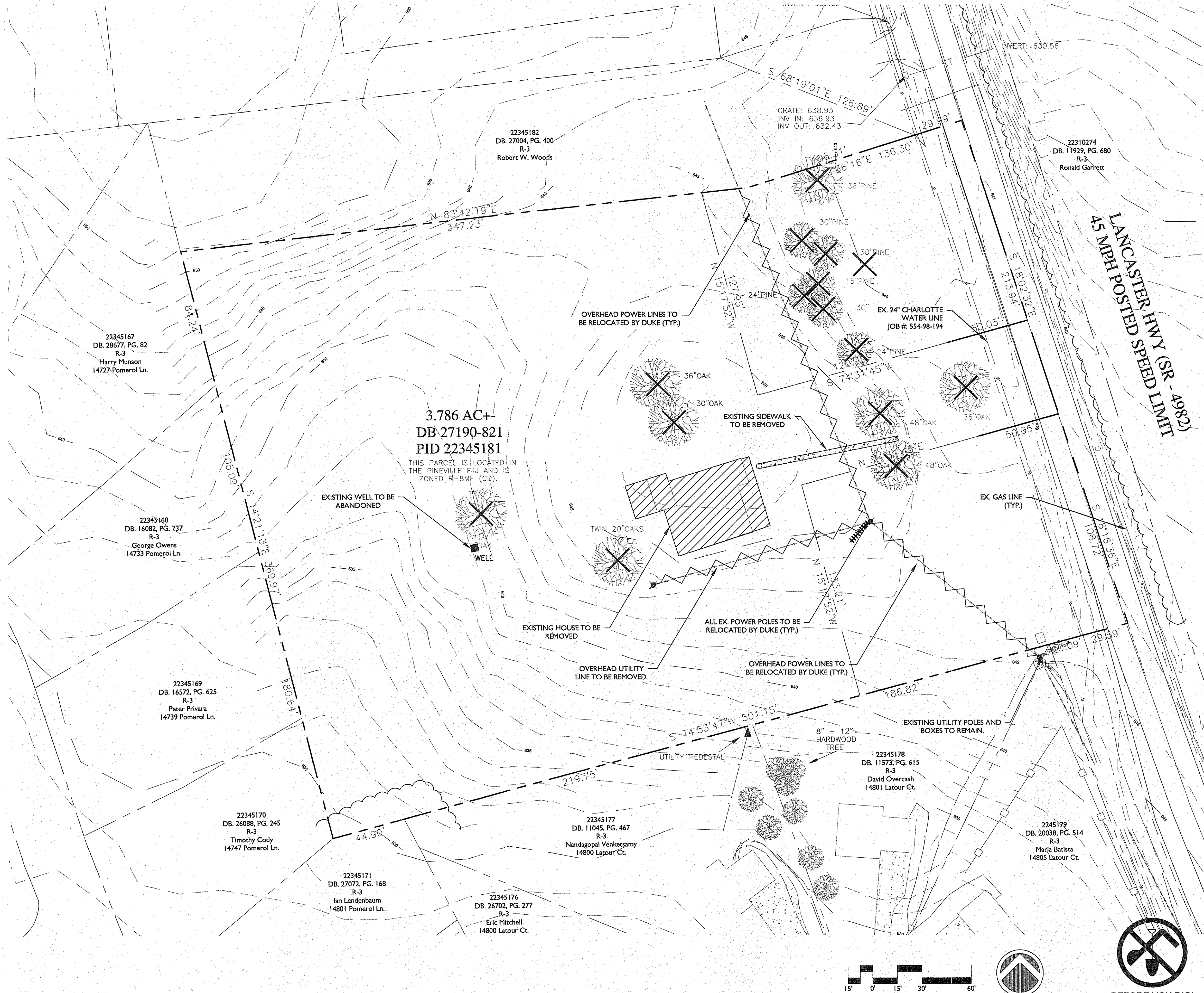
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704.483.4908
Contact: Robert Dedmon

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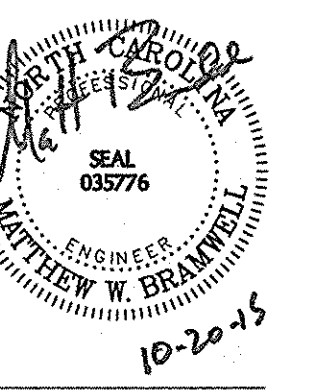
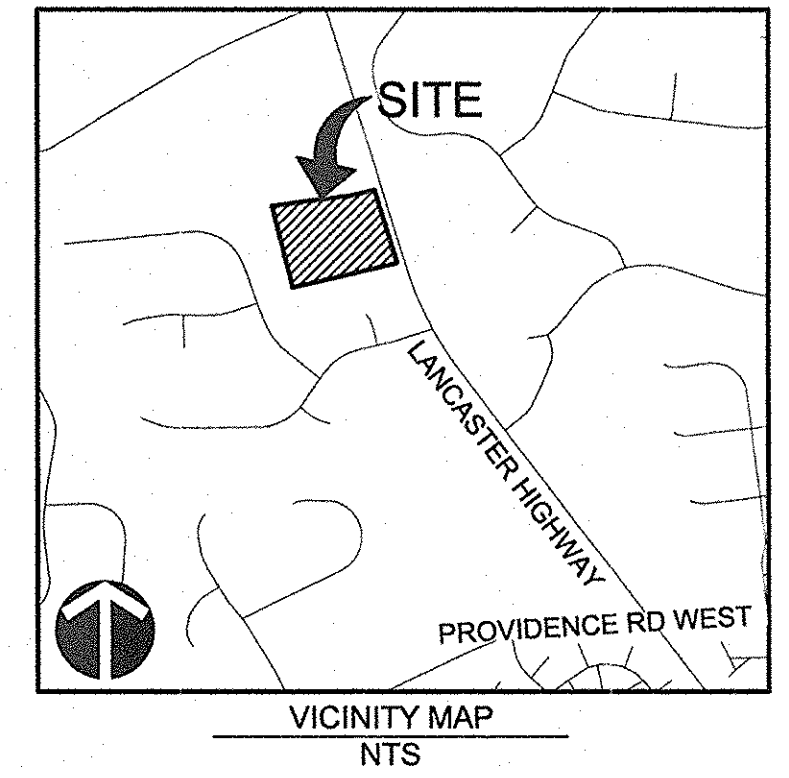


GENERAL NOTES:

- ANY WORK WITHIN THE CITY'S RW THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE FOR LESS THAN 30 DAYS REQUIRES A RW USE PERMIT. TRAFFIC CONTROL PLANS FOR ANY SIDEWALK OR TRAVEL LANE CLOSURES MUST BE SUBMITTED AS PART OF THE RW USE PERMIT REQUEST. TRAFFIC CONTROL PLANS MUST BE IN ACCORDANCE WITH CDOT'S WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) AND MUST BE REVIEWED AND APPROVED. CONTRACTOR SHALL CONTACT CDOT AT LEAST 5 BUSINESS DAYS IN ADVANCE OF BEGINNING OF WORK AT (704) 432-1562.
- CONSTRUCTION STAGING WITHIN CITY RW LASTING MORE THAN 30 DAYS REQUIRES A RW LEASE AGREEMENT. PLEASE SEE TRAFFIC CONTROL PLAN NOTES FOR DETAILS. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-2582.
- NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE CITY RW REQUIRES A RW ENCROACHMENT AGREEMENT WITH CDOT BEFORE INSTALLATION. CONTACT CDOT AT (704) 336-3888.

DEMOLITION NOTES:

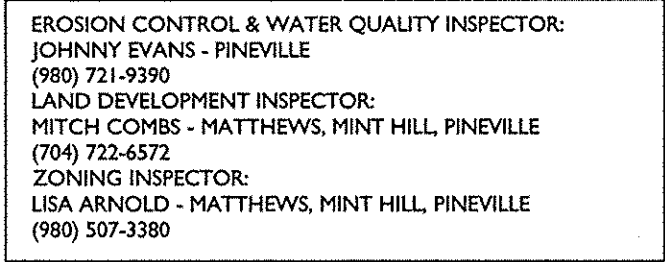
- CONTRACTOR TO SUBMIT DEMOLITION PLAN TO THE CITY OF CHARLOTTE BUILDING STANDARDS BEFORE DEMOLITION IS TO BEGIN AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL DEMOLITION PERMITS AS REQUIRED.
- DEMOLITION AND REMOVAL OPERATIONS SHALL COMMENCE AFTER ALL EROSION CONTROL MEASURES ARE IN PLACE AND ARE FUNCTIONAL.
- EXTENT OF SITE CLEARING IS SHOWN ON EROSION CONTROL PLANS.
- SITE DEMOLITION WORK INCLUDES, BUT IS NOT LIMITED TO:
 - CONCRETE & ASPHALT SURFACES
 - SITE UTILITIES
 - LANDSCAPING
 - BUILDINGS
- CONDUCT SITE DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
- DEMOLITION DEBRIS, EXCEPT AS OTHERWISE NOTED, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE. ALL DEBRIS SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR IN A LEGAL LANDFILL IN A TIMELY MANNER. NO SALVAGE OR SALE OF DEMOLISHED MATERIALS ON SITE WILL BE ALLOWED WITHOUT PERMISSION FROM THE OWNER.
- LOCATE EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES IN AREAS OF WORK. IF UTILITIES ARE TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING DEMOLITION OPERATION.
- SHOULD UNCHARTED, OR INCORRECTLY CHARTED PIPING OR OTHER UTILITIES BE ENCOUNTERED DURING DEMOLITION, CONSULT PROJECT ENGINEER AND UTILITY OWNER FOR IMMEDIATE ACTION.
- PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY THE DEMOLITION OPERATION.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO EXISTING CONDITIONS OR BETTER UNLESS OTHERWISE NOTED OR AS PART OF CONTINUING CONSTRUCTION ACTIVITY PER SITE DEVELOPMENT PLANS AS PERMITTED.
- CONTRACTOR TO REMOVE ALL VISIBLE OR REASONABLY IDENTIFIABLE MATERIAL, EQUIPMENT, ETC. FROM THE SITE IF NOT NEEDED AT CONTRACTORS EXPENSE.
- THE LOCATION OF ALL UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR INACCURACY. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING ALL APPROPRIATE PARTIES AND ASSURING THAT UTILITIES ARE LOCATED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CALL NC ONE CALL (PREVIOUSLY 811) AT 1-800-432-4949 FOR UTILITY LOCATING SERVICES 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- ALL DEMOLITION AND CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS. THE CONTRACTOR MUST COMPLY WITH ALL OF THE CONTRACTOR REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES.
- PRIOR TO THE COMMENCEMENT OF DEMOLITION, THE CONTRACTOR SHALL COORDINATE HIS ACTIVITIES WITH ALL UTILITY COMPANIES SERVING THIS AREA. THE CONTRACTORS TO COORDINATE FULLY WITH THE UTILITY COMPANIES ON THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING RELOCATION OR REMOVAL OF EXISTING PRIVATE AND PUBLIC UTILITIES AS REQUIRED. RELOCATION COORDINATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ASSOCIATED FEES SHALL BE THE RESPONSIBILITY OF THE OWNER.
- ALL PAVING REMOVAL AND DEMOLITION SHALL BE PERFORMED AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER OR OWNER.
- RELOCATION OR REMOVAL OF OVERHEAD OR UNDERGROUND UTILITIES SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- ALL PROPOSED PAVEMENT CUTS SHALL BE SAW CUT ONLY.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF 72 HOURS ADVANCE NOTICE TO THE OWNER PRIOR TO STARTING DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL VERIFY AND PROTECT ALL PUBLIC UTILITIES. ANY WORK ASSOCIATED WITH SAID UTILITIES TO BE COORDINATED WITH APPROPRIATE UTILITY COMPANY. DEMOLITION OF UTILITIES WHICH ARE ACTIVE SHALL BE SEQUENCED TO ALLOW FOR INSTALLATION OF NEW OR REROUTED LINES, PRIOR TO REMOVAL OF EXISTING PORTION. REFER TO UTILITY PLANS FOR PROPOSED WORK.
- ALL UNDERGROUND UTILITIES PREVIOUSLY SERVING EXISTING STRUCTURES TO BE REMOVED AND OR ABANDONED IN PLACE UNLESS INDICATED TO REMAIN.
- CONTRACTOR SHALL COORDINATE STORM DEMOLITION WITH STORM DRAIN IMPROVEMENTS TO MAINTAIN POSITIVE DRAINAGE.
- SHOULD THE CONTRACTOR ENCOUNTER ANY ADDITIONAL ITEMS THAT MAY REQUIRE DEMOLITION (FENCES, GUARD RAIL, ETC.) - THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR FURTHER DIRECTION.
- ALL EXISTING WATER METERS SHALL BE DISMANTLED BY CMUD. CONTRACTOR SHALL LOCATE, CUT, AND CAP EXISTING PRIVATE WATER SERVICES BEHIND THE METER. ABANDONMENT OF WATER METERS AND NEW SERVICES APPLICATIONS SHALL BE COMPLETED AT THE SAME TIME FOR COORDINATION OF CAPACITY FEE CREDITS.
- DEMOLITION WITHIN ADJACENT RIGHT OF WAY'S SHALL BE COMPLETED IN ACCORDANCE WITH THE TRAFFIC CONTROL REQUIREMENTS OF THE W.A.T.C.H. MANUAL. CONTRACTOR SHALL INSTALL NEW CURB AND GUTTER AND STREET PAVEMENT IMMEDIATELY FOLLOWING DEMOLITION ACTIVITIES THAT OCCUR IN THE RIGHT OF WAY PER SITE PLAN.
- CONTRACTOR SHALL CONTACT BOB STALEY WITH CDOT AT 704-432-1562 PRIOR TO CONSTRUCTION, TO OBTAIN THE NECESSARY RIGHT OF WAY PERMITS FOR ANY CONSTRUCTION ACTIVITIES WITHIN THE PUBLIC RIGHT OF WAY AND COORDINATION OF PEDESTRIAN ROUTING WHEN SIDEWALK HAS BEEN REMOVED.



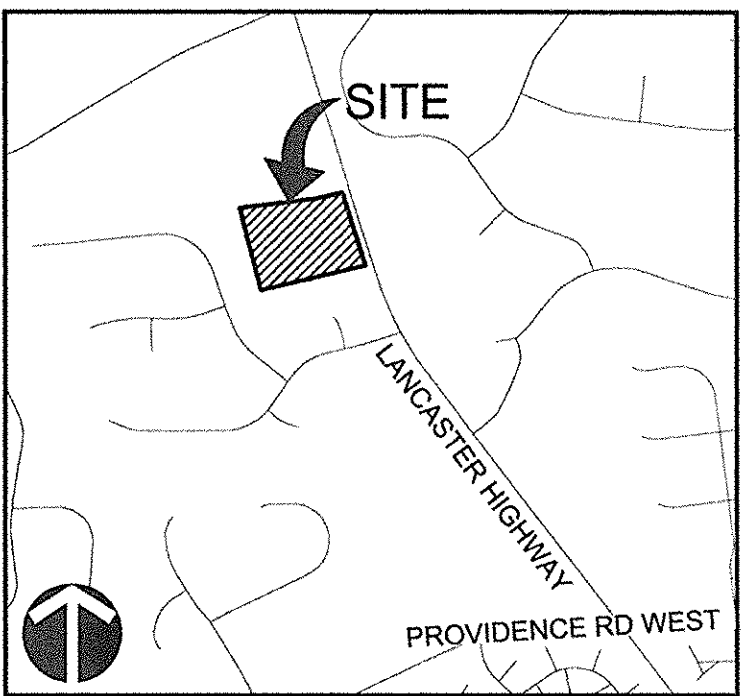
LANCASTER HIGHWAY MIXED-USE MIXED-USE DEVELOPMENT MECKLENBURG COUNTY, NORTH CAROLINA DEMOLITION PLAN

REVISIONS:

DATE: 08-19-2015
DESIGNED BY: MIG
CHECKED BY: MWB
QC BY: MWB
SCALE: 1"=30'
PROJECT #: 1015061
SHEET #:
C-1.3



TOTAL DENUDED
AREA: 3.71 ACRES



EROSION CONTROL CONSTRUCTION SEQUENCE:

- PHASE I:**
1. OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM THE MECKLENBURG COUNTY LUESA.
 2. FLAG THE CONSTRUCTION LIMITS AND MARK ANY TREES, WETLANDS, OR EXISTING STRUCTURES NOTED TO REMAIN.
 3. IF ANY OF THE ABOVE ARE CONSTRUCTION CONFERENCE WITH THE FOLLOWING DEPARTMENTS: LUESA EROSION CONTROL INSPECTOR, LAND DEVELOPMENT INSPECTOR AND ZONING INSPECTOR. FAILURE TO SCHEDULE SUCH CONFERENCE 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY IS SUBJECT TO FINE.
 4. INSTALL SEDIMENTATION TEMPORARY FENCE, TREE PROTECTION, EROSION CONTROL DITCHES, CHECK DAMS, CLEAN WATER DITCH AND ANY OTHER TEMPORARY MEASURES AS SHOWN ON PLANS, CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.

PHASE II:

2. CALL FOR ON-SITE INSPECTION BY THE INSPECTOR, WHEN APPROVED, INSURE ISSUES THE GRADING PERMIT AND CLERK THE PERMIT.
3. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES, AND THE DESIGN ENGINEER INSPECTOR SHALL MONITOR THE CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR, TO COMMENCING WITH EACH PHASE OF EROSION CONTROL MEASURES.
4. THE DESIGN ENGINEER INSPECTOR SHOULD BE CALLED TO CONDUCT INSPECTIONS ON STORM DRAINAGE, SIDEWALKS, DRIVEWAY CAN
5. STORM DRAINAGE, SIDEWALKS, DRIVE WAY IMPROVEMENTS, AND ALL ASPECTS OF ROAD CONSTRUCTION
9. STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE AND THE DESIGN ENGINEER INSPECTOR SHALL MONITOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURE.
11. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N. C. EROSION AND SEDIMENT CONTROL DESIGN AND CONSTRUCTION MANUAL, U. S. DEPT. OF AGRICULTURE, MECKLENBURG COUNTY EROSION CONTROL ORDINANCE, AND THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS.
12. CALL THE WATER QUALITY INSPECTOR TO SET UP A BMP PRE-CONSTRUCTION MEETING PRIOR TO STARTING ANY WORK ON BMP'S. THIS MEETING SHALL TAKE PLACE AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION ON ANY BMP AND SHALL INCLUDE THE DESIGN ENGINEER, TO ENSURE ENGINEER INSPECTIONS ARE PERFORMED AS REQUIRED.
13. THE DESIGN ENGINEER MUST VERIFY AND CERTIFY THE DRAINAGE AREA IS PROPERLY STABILIZED; MEASURES ARE IN PLACE TO PREVENT EROSION; AND THE DRAINAGE AREA ADJACENT DRAINAGE AREAS AND PAVEMENT HAVE BEEN PROPERLY CLEANED PRIOR TO COMMENCEMENT OF BMP CONSTRUCTION.
- PHASE III:**
14. INSTALL ALL INLET PROTECTION MEASURES ACCORDING TO DESIGN STANDARDS.
15. SILL SACK INLET PROTECTION TO BE INSTALLED AT COMPLETION OF PAVING.
16. EROSION CONTROL MEASURES REMOVED UNTIL SITE IS STABILIZED AND PAVING IS COMPLETE.
17. ALL EROSION CONTROL DEVICES SHOULD BE MONITORED ONCE A WEEK AND AFTER EVERY STORM EVENT OF 6" OR GREATER. IF CRACKS, HOLES, OR OTHER DEFECTS ARE FOUND THEY SHOULD BE REPAIRED AS SOON AS POSSIBLE.
18. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N. C. EROSION AND SEDIMENT CONTROL, PLANNING AND DESIGN MANUAL, U.S. DEPT. OF AGRICULTURE, CITY OF CHARLOTTE EROSION CONTROL ORDINANCE, AND THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS.
19. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS REQUIRE, THE CONTRACTOR SHALL BE NOTIFIED AND SHALL BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.

EROSION CONTROL LEGEND

PROPERTY LINE _____

TEMPORARY SILT FENCE (MCLDS 30.06A) _____

TREE PROTECTION FENCE (MCLDS 40.02) _____

DENUDED LIMITS _____

ROCK INLET PROTECTION
(MCLDS #30.08) _____

INLET PROTECTION
(MCLDS# 30.09) _____

EXIST. 5' CONTOURS _____ 7'35"

EXIST. 1' CONTOURS _____ 7'35"

PROP. 5' CONTOURS _____ 6'25"

PROP. 1' CONTOURS _____ 6'25"

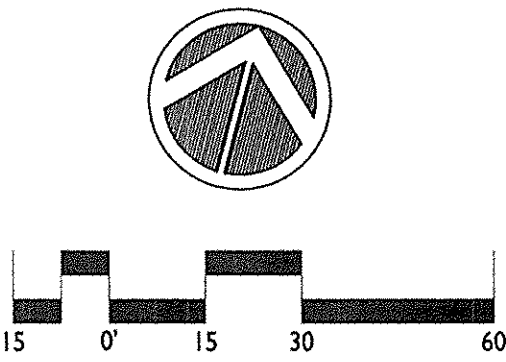
TEMP. CONSTRUCTION
ENTRANCE/EXIT (MCLDS #30.11A) _____

ROCK CHECK DAM
(MCLDS# 30.10) _____

SILT FENCE OUTLET
(MCLDS# 30.06C) _____

EROSION CONTROL NOTES:

1. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
2. ANY GRADING BEYOND THE LIMITS OF CONSTRUCTION SHOWN ON THIS PLAN IS SUBJECT TO A FINE.
3. GRADING 1 ACRE OR MORE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION AND SUBJECT TO A FINE.
4. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY EROSION CONTROL STABILIZATION WITH GRASS COVER AS SOON AS PRACTICABLE, BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GRASS COVER AS SOON AS PRACTICABLE, BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
5. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY MECKLENBURG COUNTY EROSION CONTROL COORDINATOR.
6. SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. FILL SLOPES GREATER THAN 10 FEET REQUIRE ADEQUATE TERRACING.
7. TEMPORARY EMPOURVARY PERMIT FOR CONSTRUCTION ENTRANCES IN NCDOT RIGHT OF WAY MUST BE PRESENTED PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING.
8. ALL EMBANKMENTS MUST BE CONSTRUCTED PER SECTION 4.0.6 EMBANKMENT REQUIREMENTS IN THE BMP DESIGN MANUAL.
9. ALL ELEVATIONS ARE IN REFERENCE TO THE SURVEYORS BENCHMARK WHICH MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
10. ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN STANDARDS.
11. PERMANENT CUT AND FILL SLOPES PLACED ON A SUITABLE FOUNDATION SHOULD BE CONSTRUCTED AT 2:1 (HORIZONTAL TO VERTICAL) OR FLATTER. PERMANENT SLOPES OF 3:1 SHOULD BE CONSTRUCTED WHERE MOJING IS DESIRABLE AND ADEQUATE STABILIZATION WILL MAINTAIN. MATERIAL BROUGHT ON TO THE PROPERTY OR IF WASTE MATERIAL IS HAULED FROM THE PROPERTY THEN THE CONTRACTOR SHALL DISCLOSE THE LOCATION OF ANY ON-SITE AND OFF-SITE BARROW LOCATION AND/OR WASTE BURIAL LOCATION TO THE EROSION CONTROL INSPECTOR.
12. LIMITS OF CLEARING SHOWN ARE BASED ON CUT AND FILL SLOPES OR OTHER GRADING REQUIREMENTS.
13. CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES AS INDICATED PRIOR TO GRADING OPERATIONS. NO DEVICE MAY BE REMOVED WITHOUT APPROVAL OF EROSION CONTROL COORDINATOR.
14. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY WITH EXISTING COUNTERS.
15. ALL DISTANCES ARE HORIZONTAL GROUND.
16. ALL "STD." NUMBERS REFERENCE TO THE MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS MANUAL (MCLDS).
17. A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING EXCEEDING ONE ACRE THAT WAS NOT PREVIOUSLY APPROVED.
18. SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. SLOPES GREATER THAN 10 FEET REQUIRE ADEQUATE TERRACING (MCLSD #30.16). SOILS ENGINEER TO VERIFY STABILITY OF SLOPES GREATER THAN 2:1.
19. SOIL COMPACTION TESTS ARE REQUIRED ON ANY BERM >= 5' IN HEIGHT FROM THE GRADE. SOIL COMPACTION TEST MUST BE AT 95% PROCTOR AND CERTIFIED BY A LICENSED SOIL ENGINEER.



**BEFORE YOU DIG!
CALL 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!**

REVISIONS:

DATE: 08-19-2015
DESIGNED BY: MJC

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DRAWN BY: MIG
10/20/15 - REVISIONS PER COUNTY COMMENTS
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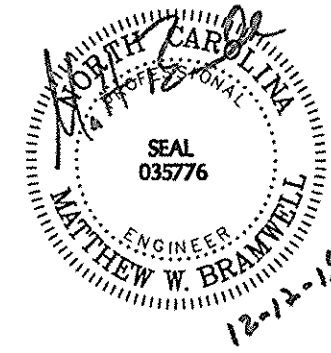
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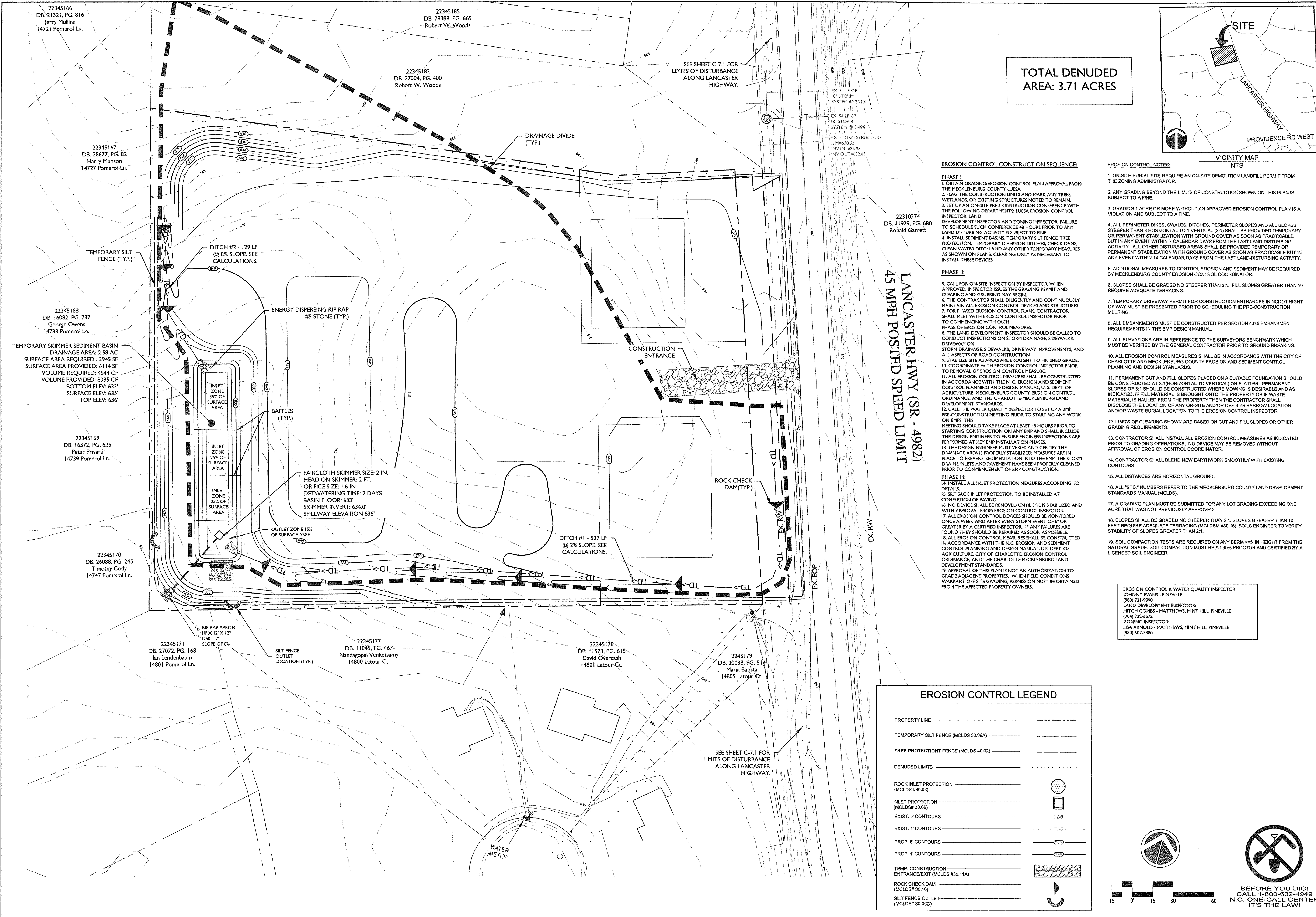
C-2.0

LANCASTER HIGHWAY MIXED-USE
MIXED-USE DEVELOPMENT
MECKLENBURG COUNTY, NORTH CAROLINA
EROSION CONTROL - PHASE I

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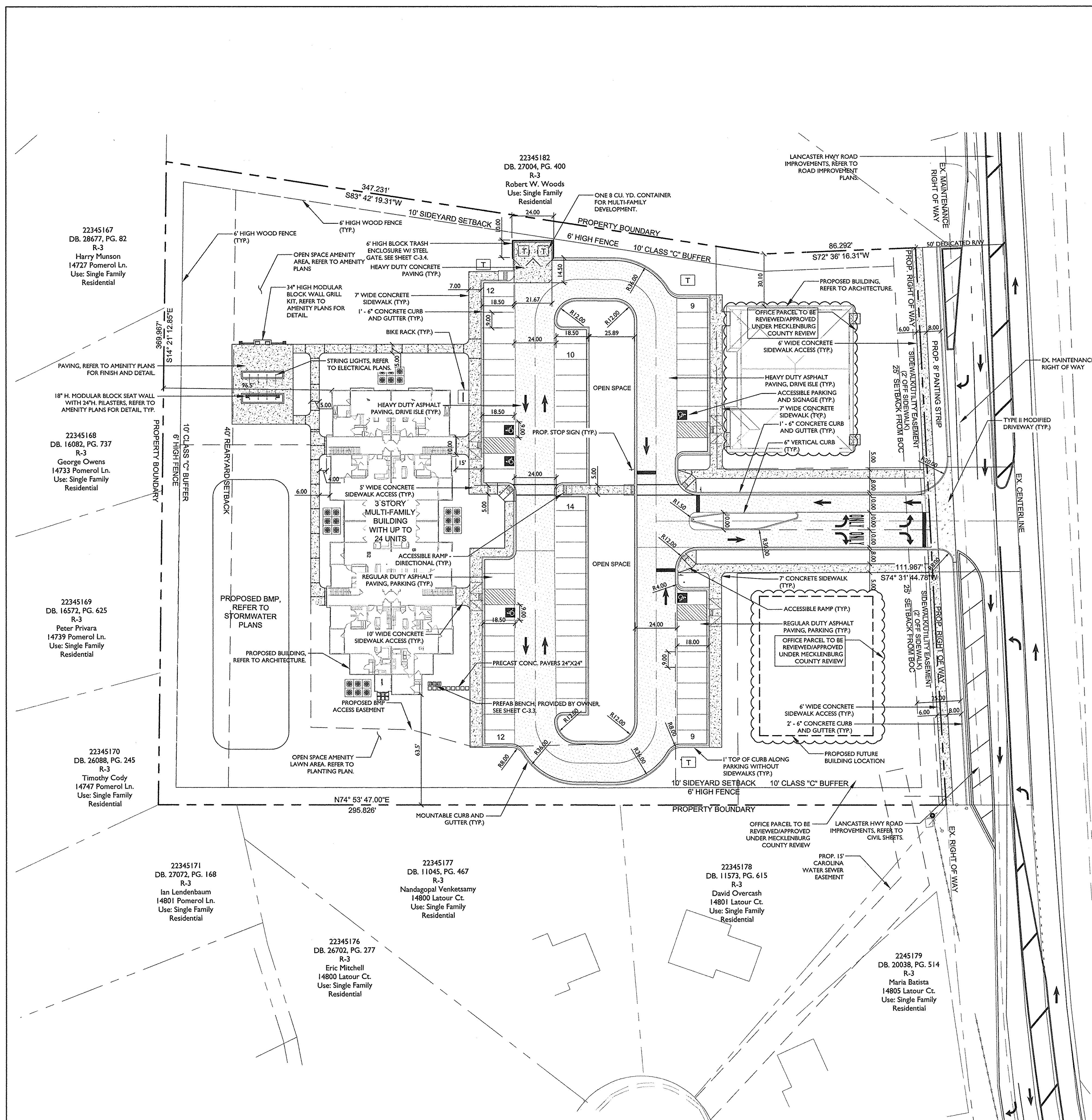
CORPORATE
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LAND DESIGN, INC.
12-12-15

SEAL
03776
THOMAS W. BRAMMELL
ENGINEER
12-12-15

LANCASTER HIGHWAY MIXED-USE
MIXED-USE DEVELOPMENT
MECKLENBURG COUNTY, NORTH CAROLINA
EROSION CONTROL - PHASE 2

REVISIONS:
10/2015 - REVISIONS PER COUNTY COMMENTS
12/1/15 - REVISIONS PER COUNTY COMMENTS

DATE: 08/02/2015
DESIGNED BY: MG
DRAWN BY: MG
CHECKED BY: MW8
Q.C. BY: MW8
PROJECT #: 1015061
SHEET #:
C-2.1

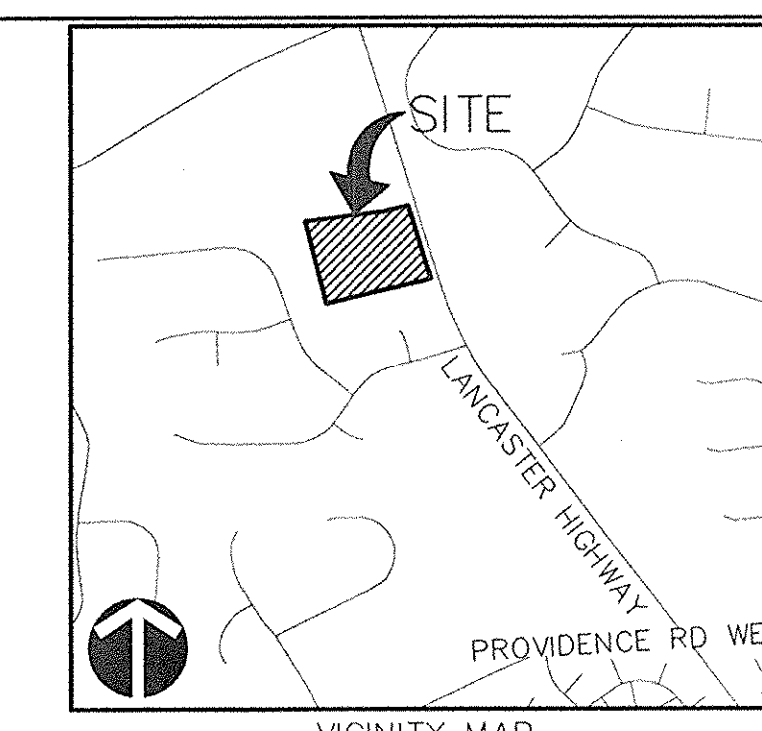


COMPLETION TIMETABLE:
GRADING BEGINS: JANUARY 2016
BUILDING COMPLETE: JANUARY 2017

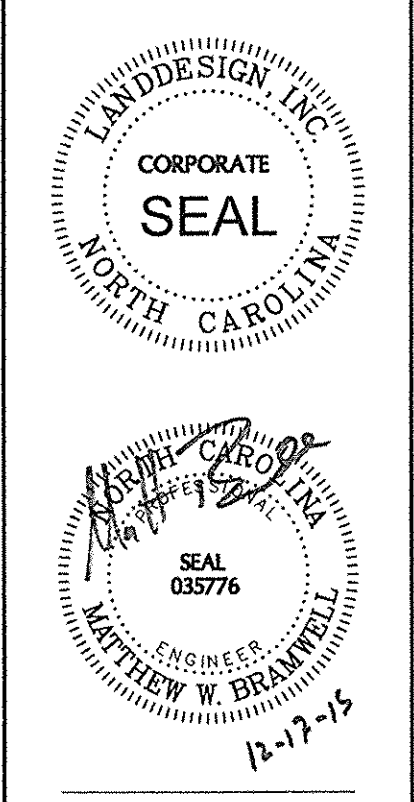
* ALL DATES ARE SUBJECT TO CHANGE

- GENERAL NOTES:**
1. SURVEY INFORMATION PROVIDED BY:
Dedmon Surveys
3704 N.C. Highway, #16 North
Denver, NC 28037
704.483.4908
 2. SITE JURISDICTION
- PINEVILLE ETJ, MECKLENBURG COUNTY, NC.
 3. TOTAL SITE SF (ACREAGE):
- 3.62 ACERS
 4. EXISTING ZONING & USES:
- NS (NEIGHBORHOOD SERVICES DISTRICT)
- PETITION #: 2014-001 (C)
 5. PROPOSED USES:
- MULTI-FAMILY APARTMENTS AND OFFICE
 6. DIMENSIONAL REQUIREMENTS:
- BUILDING SETBACK: 25 FEET (REFER TO ZONING CONDITIONS)
- SIDE YARD: 10 FEET (REFER TO ZONING CONDITIONS)
- REAR YARD: 20 FEET (REFER TO ZONING CONDITIONS)
- REAR YARD: 40 FEET (MULTI-FAMILY YARD)
 7. TOTAL NUMBER OF BUILDINGS:
- 3 BUILDINGS (REFER TO ZONING CONDITIONS)
- RESIDENTIAL SUMMARY:**
1. TOTAL RESIDENTIAL UNITS:
- TOTAL ALLOWED UNITS: 24 UNITS (REFER TO ZONING CONDITIONS)
- TOTAL PROPOSED UNITS: 24 UNITS (APARTMENTS FOR RENT)
 2. TOTAL STORIES:
- 3 STORIES OF RESIDENTIAL (REFER TO ZONING CONDITIONS)
 3. BUILDING HEIGHT:
- MAXIMUM BUILDING HEIGHT: 40 FEET (REFER TO ZONING CONDITIONS)
- PROPOSED BUILDING HEIGHT: 40 FEET (REFER TO ARCHITECTURE ELEVATION)
 4. PROPOSED GROSS FLOOR AREA
- BUILDING +/- 35,000 SF (3 FLOORS)
 5. PROPOSED OPEN SPACE:
- REQUIRED OPEN SPACE = 1.44 AC. (40% OF SITE)
- PROPOSED OPEN SPACE = 1.46 AC.
 6. OFF STREET SERVICES:
- LOADING SPACES: 0 REQUIRED
- RECYCLING STATION: (1) 144 SF STATIONS ALLOCATED (ONE PER BUILDING - LOCATED WITHIN BUILDING)
- SOLID WASTE CONTAINERS: (1) 8 CU. YD. CONTAINERS PROVIDED
*ALL SOLID WASTE AND RECYCLING SERVICES TO BE PROVIDED BY PRIVATE SERVICE.
 7. REQUIRED PARKING:
- REQUIRED MINIMUM 1.5 SPACES PER UNIT (24 UNITS) = 36 SPACES
- PROVIDED SPACES = 36 SPACES
- REQUIRED ACCESSIBLE SPACES = 2 SPACES
- PROVIDED ACCESSIBLE SPACES = 3 SPACES
 8. BICYCLE PARKING REQUIRED:
- 1 PER 20 UNITS (24/20 = 2 SPACES)
- PROVIDED BICYCLE PARKING = 2 SPACES
- COMMERCIAL SUMMARY:**
1. TOTAL OFFICE SPACE:
- TOTAL ALLOWED OFFICE SPACE: 10,000 SF
- TOTAL PROPOSED OFFICE SPACE 5,000 SF (5,000 SF FUTURE)
 2. TOTAL STORIES:
- 1 STORY OF OFFICE
 3. PROPOSED OPEN SPACE:
- REQUIRED OPEN SPACE = 1.44 AC. (40% OF SITE)
- PROPOSED OPEN SPACE = 1.46 AC.
 4. OFF STREET SERVICES:
- LOADING SPACES: 0 REQUIRED
- RECYCLING STATION: (1) 144 SF STATIONS ALLOCATED (ONE PER BUILDING - LOCATED WITHIN BUILDING)
- SOLID WASTE CONTAINERS: (1) 8 CU. YD. CONTAINERS PROVIDED
*ALL SOLID WASTE AND RECYCLING SERVICES TO BE PROVIDED BY PRIVATE SERVICE.
 5. REQUIRED PARKING:
- 1 SPACE PER 350 SQUARE FEET OF OFFICE (ASSUME 10,000 SQUARE FEET) = 29 SPACES
- PROVIDED SPACES = 29 SPACES
- REQUIRED ACCESSIBLE SPACES = 2 SPACES
- PROVIDED ACCESSIBLE SPACES = 2 SPACES

- LAYOUT NOTES:**
1. AT TIME OF STAKING, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR DIGITAL SITE PLAN FILE FOR COORDINATION OF STAKING.
 2. SHOULD ANY DISCREPANCIES OR ERRORS BETWEEN COORDINATE POINTS AND DIMENSIONS OR OMISSIONS OF CRITICAL STAKING INFORMATION BE DISCOVERED, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR A COORDINATED SOLUTION.
 3. ALL DIMENSIONS AND RADII ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 4. ALL SIDEWALKS SHALL BE FIELD STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
 5. LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
 6. ALL CONSTRUCTION SHALL COMPLY WITH CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS AND SPECIFICATIONS.
 7. ALL PATCH WORK WITHIN LIMIT OF CONSTRUCTION SHALL BE CONSISTENT WITH ASSOCIATED ASPHALT PAVEMENT DETAIL.
 8. ELECTRICAL, TELEPHONE, AND CABLE LINES AND POLES TO BE ELIMINATED OR RELOCATED, SHALL BE COORDINATED WITH DUKE POWER, AT&T AND TIME WARNER.
 9. ALL TRAFFIC SIGNS AND MARKINGS TO BE INSTALLED AND COMPLY CURRENT CLDSM AND MUTCD STANDARDS AND SPECIFICATIONS.
 10. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
 11. RIGHT-OF-WAY ENCROACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ALL NON-STANDARD ITEMS (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK PAVERS, ETC.) WITHIN A PROPOSED/EXISTING STATE MAINTAINED STREET RIGHT OF WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNER'S/BUSINESS ASSOCIATION.
 12. REFER TO LIGHTING PLAN FOR LIGHTING LAYOUT AND DETAILS.
 13. ALL UTILITIES TO BE CONSTRUCTED UNDERGROUND.



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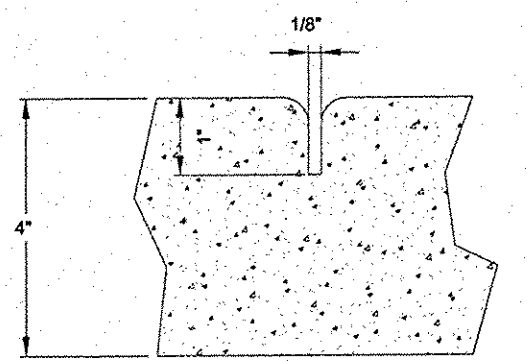


LANCASTER HIGHWAY MIXED-USE
MIXED-USE DEVELOPMENT
MECKLENBURG COUNTY, NORTH CAROLINA
LAYOUT PLAN - SITE

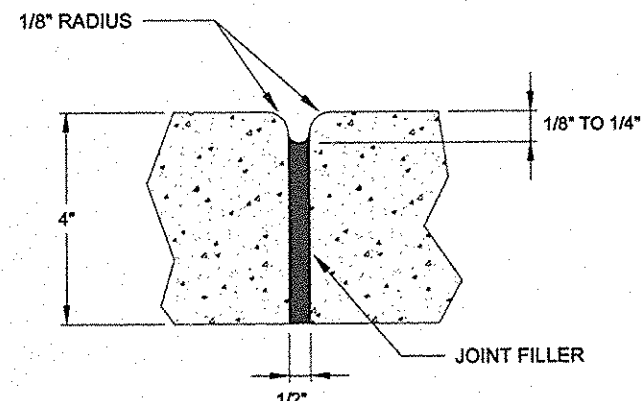
REVISIONS:
10/20/15 - REVISIONS PER COUNTY COMMENTS
12/11/15 - REVISIONS PER CITY COMMENTS

DATE: 08.19.2015
DESIGNED BY: LDB
DRAWN BY: LDB
CHECKED BY: MWB
Q.C. BY: MWB
PROJECT #: 1015061
SHEET #:
C-3.0





GROOVE JOINT IN SIDEWALK

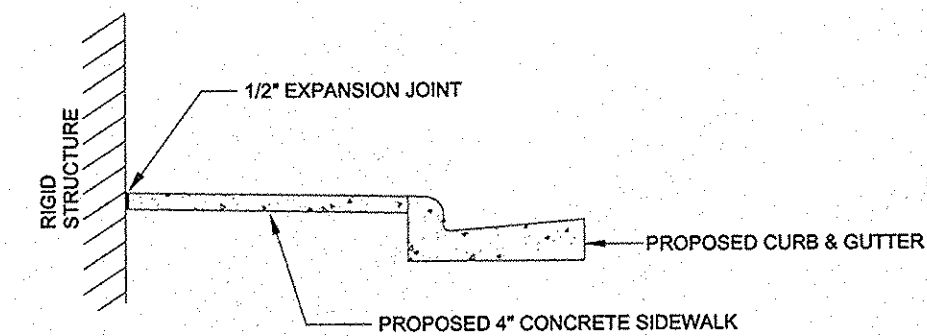


TRANSVERSE EXPANSION JOINT IN SIDEWALK

APPROVED DATE: 02/2007

GENERAL NOTES:

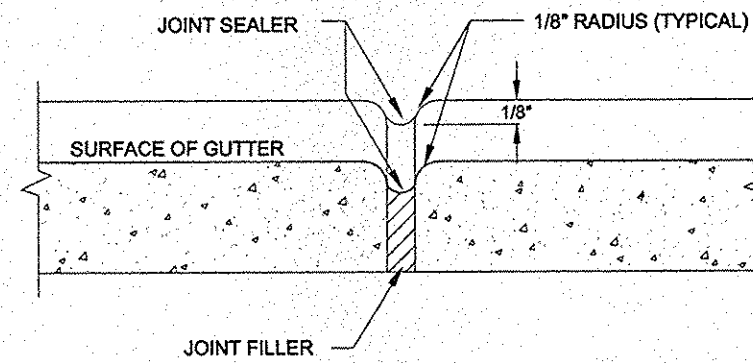
1. A GROOVE JOINT 1" DEEP WITH 1/8" RADI SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 45' INTERVALS NOT TO EXCEED 50' AND MATCHING EXPANSION/CONSTRUCTION JOINT IN ADJACENT CURB. A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
2. SIDEWALK AT DRIVEWAY ENTRANCES TO BE 6" THICK.
3. WIDTH OF SIDEWALK ON THOROUGHFARE STREETS SHALL BE A MINIMUM OF 5'.
4. WIDTH OF SIDEWALKS ON NON-THOROUGHFARE STREETS SHALL BE A MINIMUM OF 5'.
5. SIDEWALK TO BE POURED TO END OF RADIUS AT INTERSECTING STREETS.
6. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI. IN 28 DAYS.
7. ZONING CONDITIONS MAY REQUIRE ADDITIONAL WIDTH SIDEWALKS WHICH SHALL SUPERSEDE THESE STANDARD DIMENSIONS SHOWN.



DETAILS SHOWING EXPANSION JOINTS

FOR CONCRETE SIDEWALK

NOT TO SCALE



TRANSVERSE EXPANSION JOINT

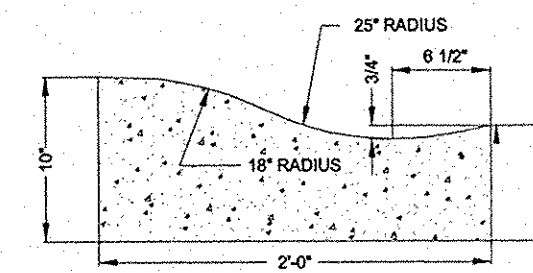
NOTES:

1. CONTRACTION JOINTS SHALL BE SPACED AT 10-FOOT INTERVALS. FOR VALLEY GUTTER, A 10-FOOT SPACING MAY BE USED WHEN A MACHINE IS USED. JOINT SPACING MAY BE ALTERED BY THE COUNTY ENGINEER TO PREVENT UNCONTROLLED CRACKING.
2. CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE OBTAINED.
3. ALL EXPANSION JOINTS SHALL BE SPACED AT 90-FOOT INTERVALS, AND ADJACENT TO ALL RIGID OBJECTS. JOINTS SHALL MATCH LOCATIONS WITH JOINTS IN ABUTTING SIDEWALK.
4. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 P.S.I. IN 28 DAYS.
5. CURB SHALL BE DEPRESSED AT INTERSECTIONS TO PROVIDE FOR FUTURE ACCESSIBLE RAMPS.
6. TOP 6" OF SUBGRADE BENEATH THE CURB AND GUTTER SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.

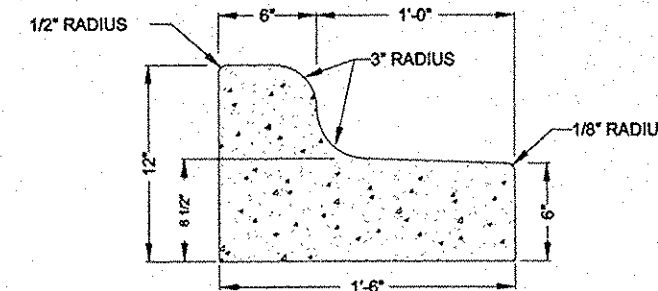
APPROVED DATE: 02/2007

NOT TO SCALE

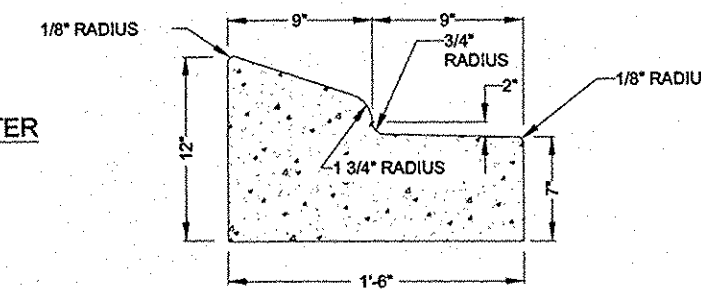
2'-0" VALLEY GUTTER



1'-6" MEDIAN CURB AND GUTTER
TO BE USED IN MEDIANS WHEN LANES ARE SLOPED FROM ISLAND OR AS SPECIFIED BY THE ENGINEER.



1'-6" MOUNTABLE CURB AND GUTTER
TO BE USED IN MEDIANS ONLY: WHEN SPECIFIED BY THE ENGINEER.



APPROVED DATE: 02/2007

NOT TO SCALE

CONCRETE SIDEWALKS

STD. NO. REV.
10.22

CONCRETE CONTRACTION JOINT

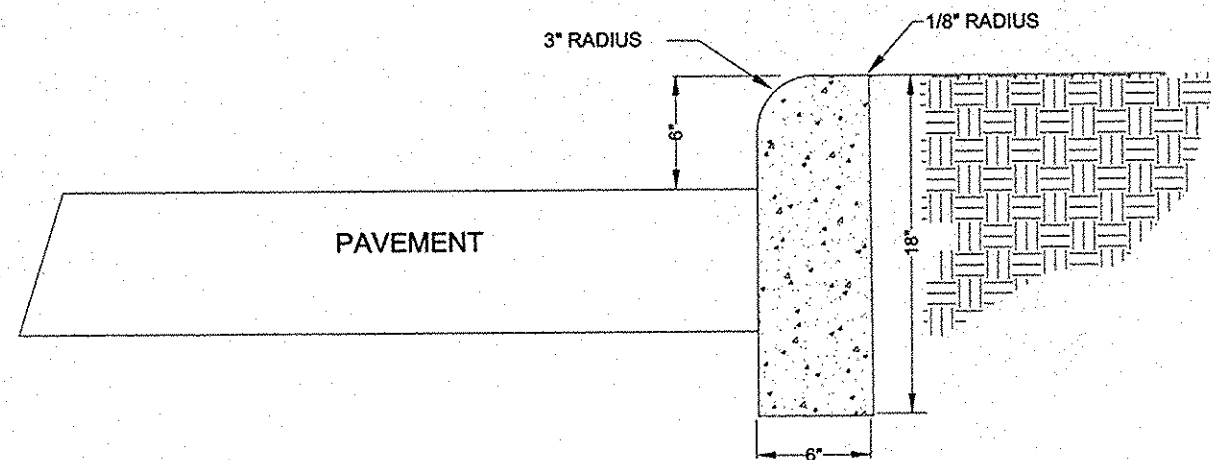
STD. NO. REV.
10.17C

CURB AND GUTTER

STD. NO. REV.
10.17B

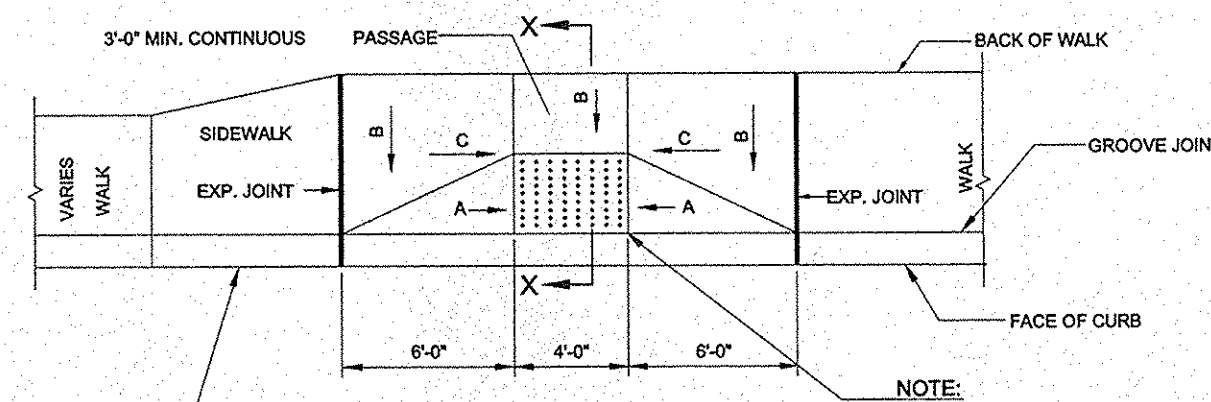
NOTES:

1. CONTRACTION JOINTS SHALL BE SPACED AT 10-FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.
2. CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE OBTAINED.
3. ALL EXPANSION JOINTS SHALL BE SPACED AT 90-FOOT INTERVALS, AND ADJACENT TO ALL RIGID OBJECTS. JOINTS SHALL MATCH LOCATIONS WITH JOINTS IN ABUTTING SIDEWALK.
4. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 P.S.I. IN 28 DAYS.
5. CURB SHALL BE DEPRESSED AT INTERSECTIONS TO PROVIDE FOR FUTURE ACCESSIBLE RAMPS.
6. TOP 6" OF SUBGRADE BENEATH THE CURB SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.
7. DETAIL MAY BE USED FOR PRIVATE DRIVES, PARKING LOTS, AND INTERIOR CIRCULATION DRIVE.



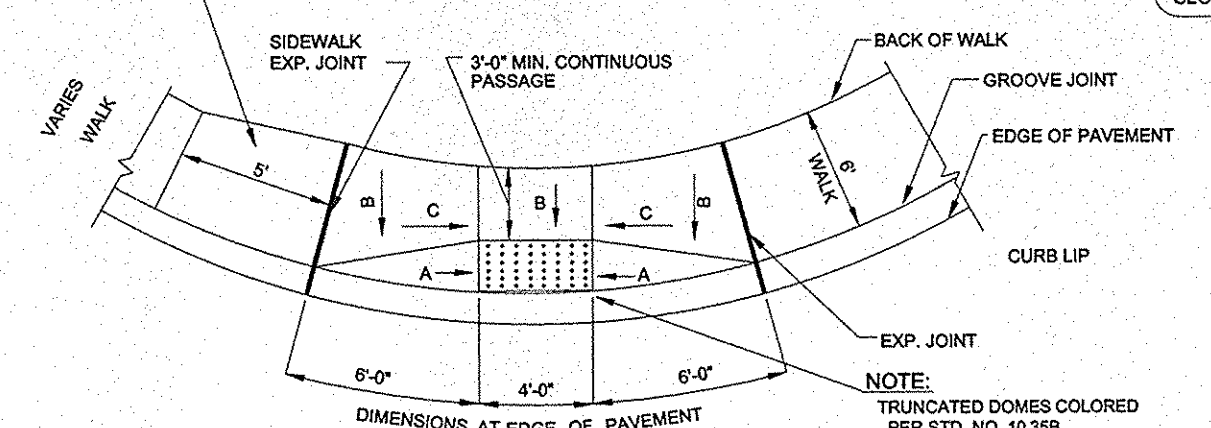
APPROVED DATE: 02/2007

NOT TO SCALE



PLAN VIEW-PARALLEL RAMP

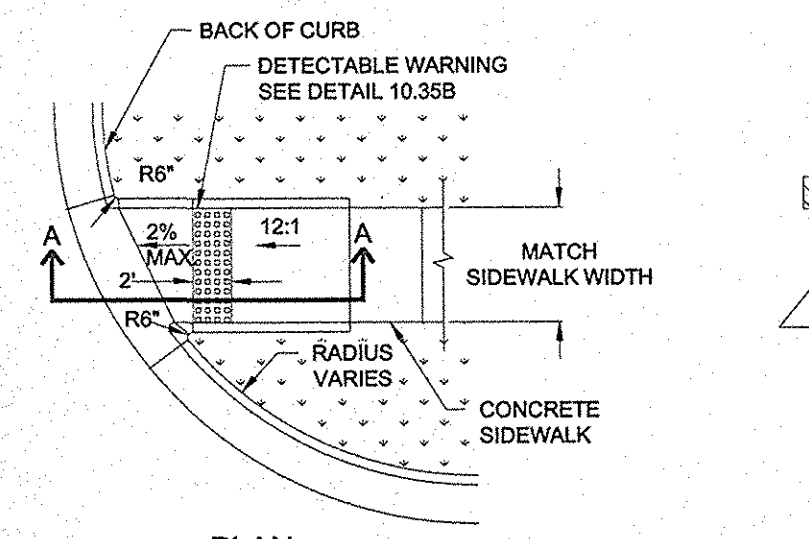
5' TRANSITION FROM 4' WALK TO 6' WALK. ALL WALKS MUST BE A MIN. 6' WIDTH AT RAMP.



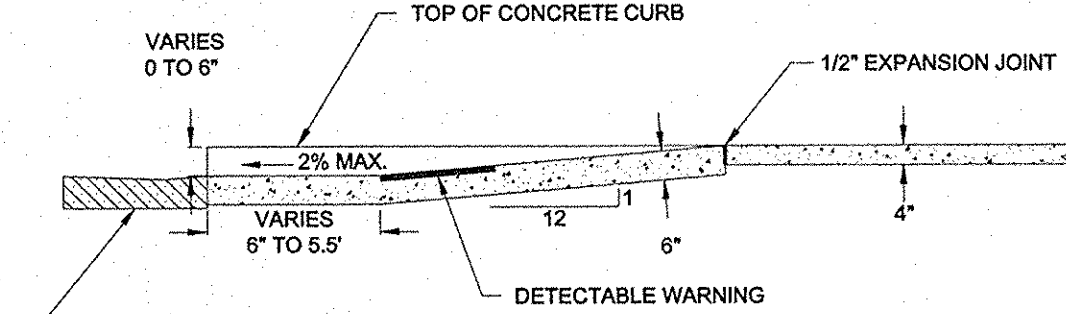
PLAN VIEW-DIAGONAL RAMP

APPROVED DATE: 02/2007

NOT TO SCALE



PERSPECTIVE



SECTION A-A

CURB DETAIL

- NOTES:
1. USE THIS DETAIL ONLY UNDER THE FOLLOWING CIRCUMSTANCES:
 - 5-FOOT SIDEWALKS WITH CURB RADII OF 35 FEET OR GREATER
 - 6-FOOT SIDEWALKS WITH CURB RADII BETWEEN 35 FT. AND 50 FT.
 - 8-FOOT SIDEWALKS WITH CURB RADII OF 50 FEET OR LESS
 2. DIRECTIONAL RAMPS MAY BE USED WHEN AN 8-FOOT PLANTING STRIP IS PROVIDED. DO NOT USE THIS DETAIL IF THERE IS HARDCAPE INSTEAD OF A PLANTING STRIP.
 3. ALL CONCRETE SHALL BE AT LEAST 3600 PSI.

NOT TO SCALE

18" VERTICAL CURB

STD. NO. REV.
10.18

ACCESSIBLE RAMP STANDARD
MONOLITHIC CURB AND SIDEWALK

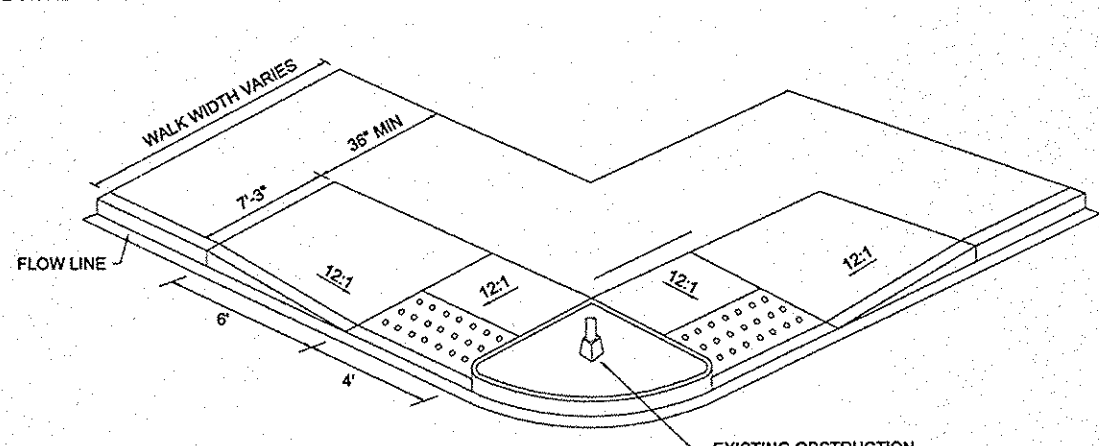
STD. NO. REV.
10.34A

DIRECTIONAL ACCESSIBLE RAMP

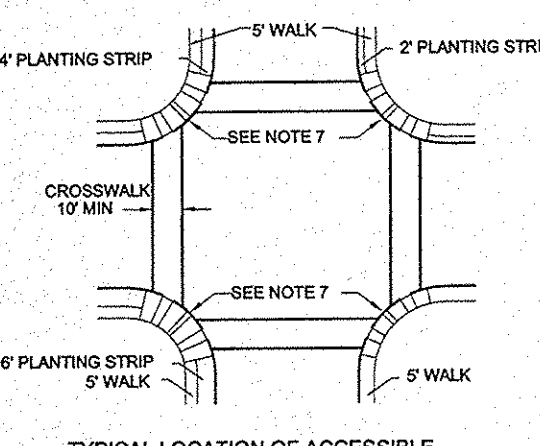
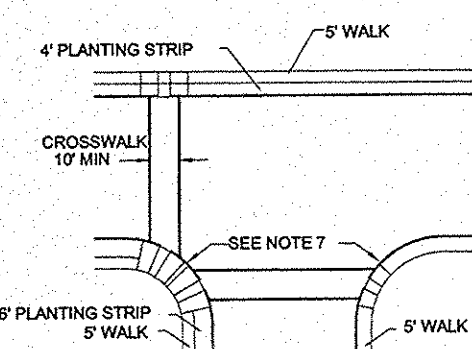
STD. NO. REV.
10.40

NOTES:

1. RAMP AND WING SLOPES SHALL NOT BE STEEPER THAN 12:1.
2. GUTTER FLOW LINE AND PLAN PROFILE SHALL BE MAINTAINED THROUGH THE RAMP AREA.
3. THE SURFACE OF THE RAMP SHALL BE FLUSH WITH THE FLOWLINE OF THE CURB AND GUTTER.
4. THE RAMP OPENING (AT THE FULLY DEPRESSED CURB) SHALL BE LOCATED WITHIN THE PARALLEL BOUNDARIES OF THE CROSSWALK MARKINGS. THE RAMP CENTERLINE SHALL BE LOCATED AT THE CORNER RADIUS CENTERLINE. UNLESS OTHERWISE DIRECTED BY THE ENGINEER, DIAGONAL CURB RAMPS SHALL HAVE A SEGMENT OF STRAIGHT CURB AT LEAST 24 INCHES LONG LOCATED ON EACH SIDE OF THE WING SLOPE AND WITHIN THE CROSSWALK MARKINGS.
5. THE WING AND RAMP SURFACES SHALL BE 3000 PSI CONCRETE WITH A SIDEWALK FINISH IN ACCORDANCE WITH CURRENT EDITION NCODT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES.
6. DRAINAGE STRUCTURES, MAN HOLES, LIGHT POLES AND OTHER OBSTRUCTIONS SHALL NOT BE PLACED IN LINE WITH RAMPS. LOCATION OF THE RAMP SHALL TAKE PRECEDENCE OVER LOCATION OF OBSTRUCTIONS EXCEPT WHERE EXISTING OBSTRUCTIONS ARE BEING UTILIZED IN THE NEW CONSTRUCTION.
7. AT ALL LOCATIONS, NOT LESS THAN 2 FEET OF FULL HEIGHT CURB SHALL BE PLACED BETWEEN THE RAMPS.
8. SEE STANDARD DRAWING 10.35B FOR DETECTABLE WARNING INSTALLATION.

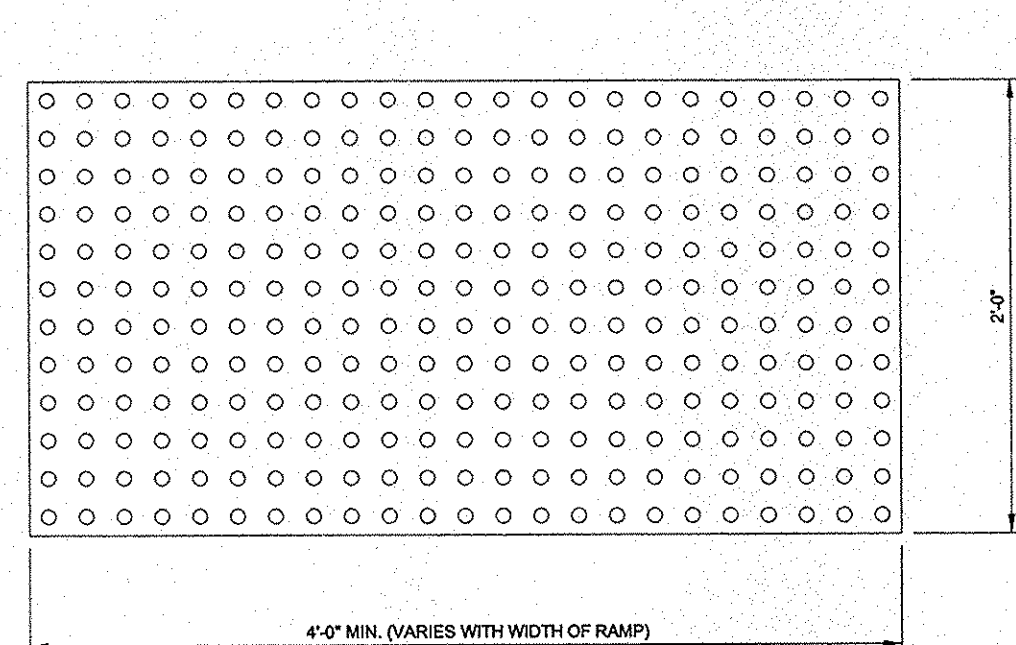


PLACEMENT FOR OBSTRUCTED CORNER RADIUS OR CORNER RADIUS LESS THAN TEN FEET

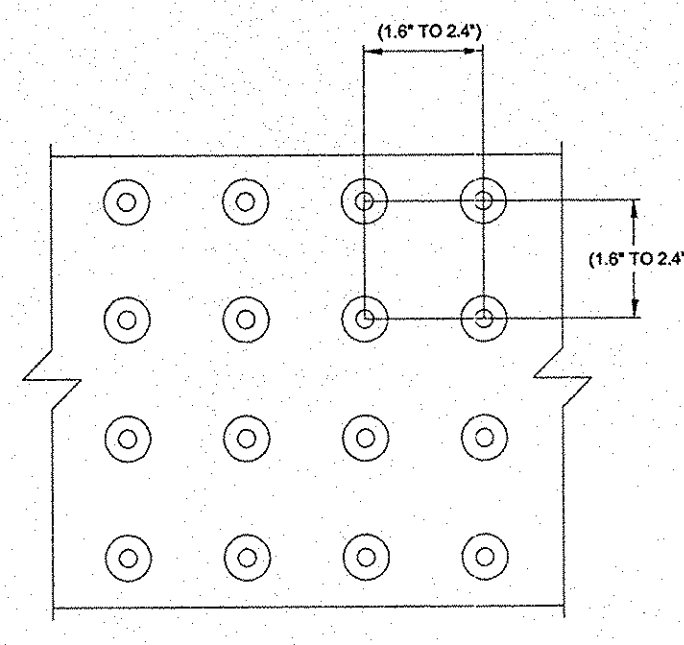


TYPICAL LOCATION OF ACCESSIBLE RAMPS AND PEDESTRIAN CROSSWALKS ON INTERSECTIONS

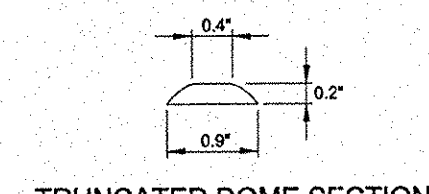
NOT TO SCALE



TRUNCATED DOME PLAN VIEW



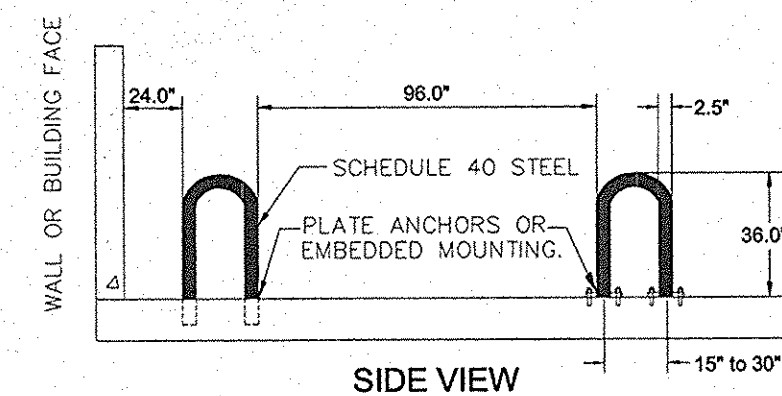
TRUNCATED DOME SPACING



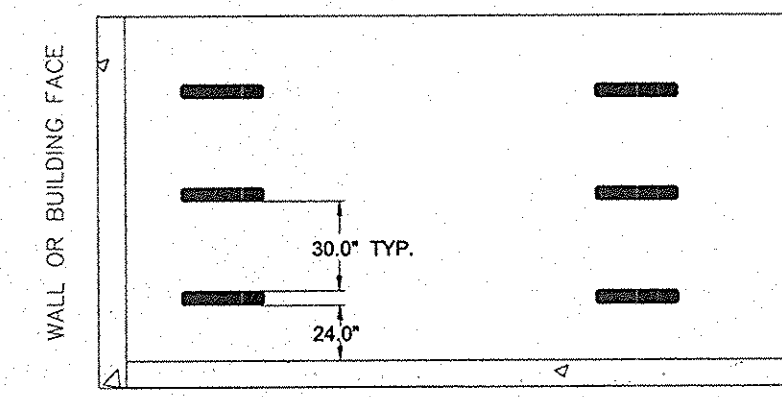
TRUNCATED DOME SECTION

APPROVED DATE: 02/2007

NOT TO SCALE



SIDE VIEW



PLAN VIEW

NOTES:

1. BIKE RACKS SHOULD BE INSTALLED AS PER MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES.
2. ALTERNATIVE BIKE RACKS OR LOCKERS MAY BE USED BUT ARE SUBJECT TO APPROVAL BY THE TOWN AND/OR COUNTY.
3. ALL DIMENSIONS SHOWN ARE MINIMUM.

NOT TO SCALE

STANDARD PLACEMENT OF ACCESSIBLE
RAMPS AND GENERAL NOTES

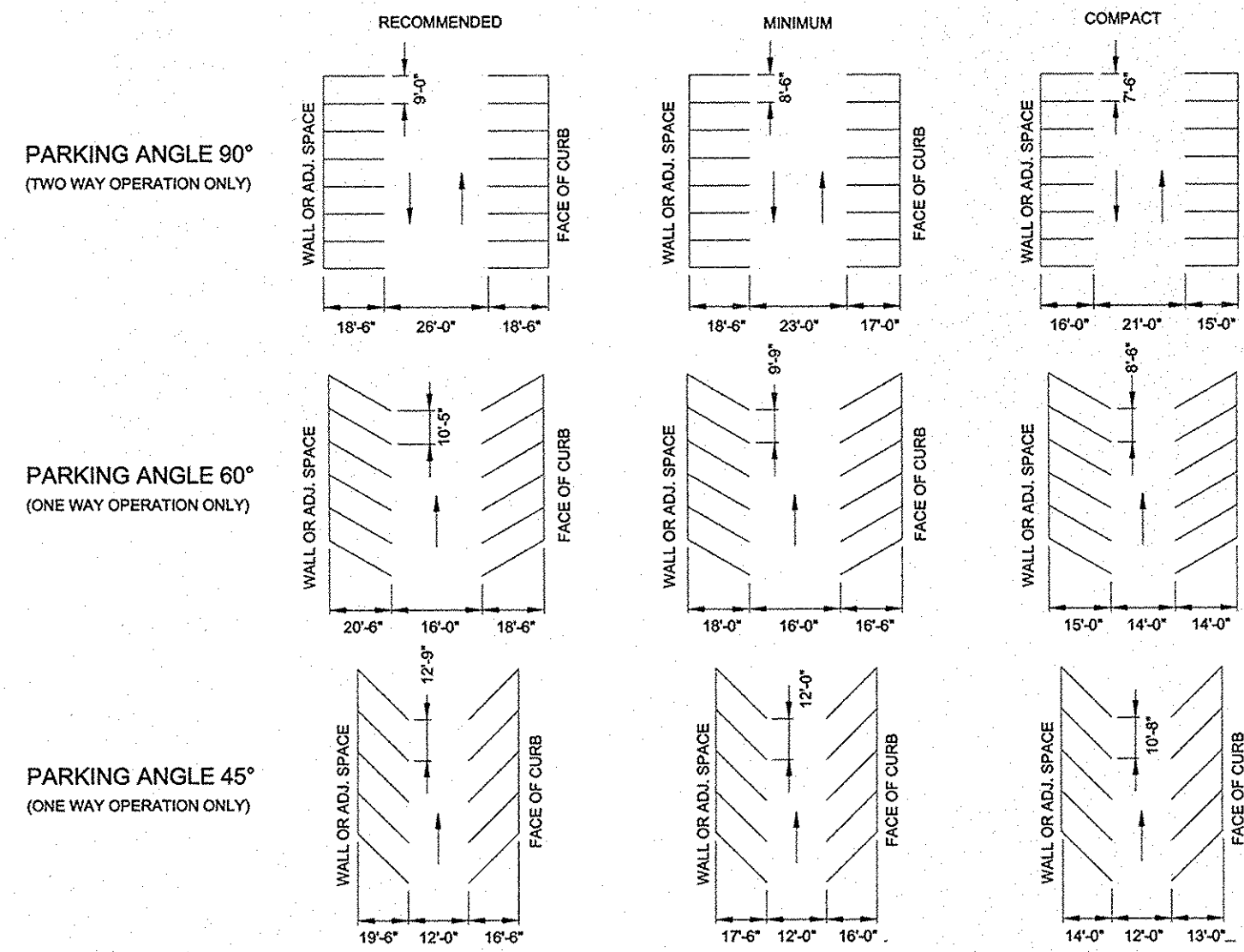
STD. NO. REV.
10.35A

TRUNCATED DOMES
PLAN AND CROSS-SECTION

STD. NO. REV.
10.35B

INVERTED "U" RACK FOR
BICYCLE PARKING

STD. NO. REV.
50.20

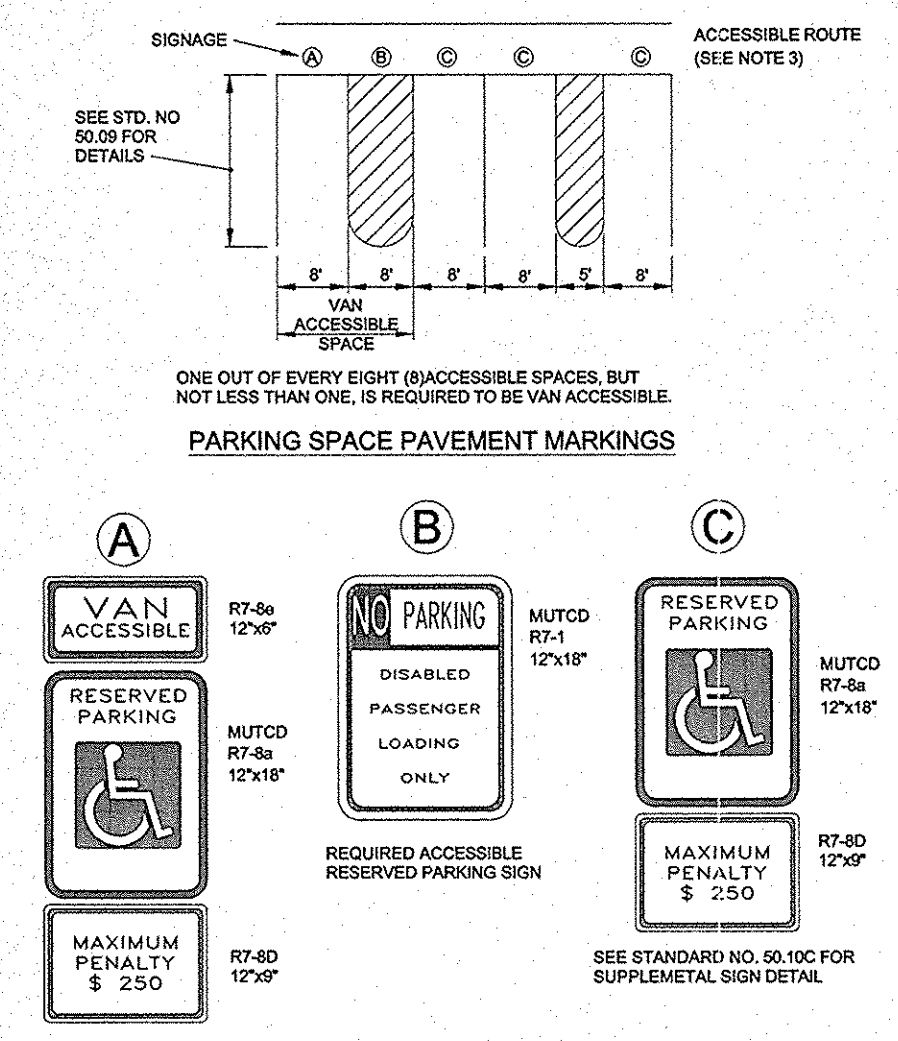


- NOTES:**
- FOR ACCESSIBLE PARKING STANDARDS/SIGNAGE SEE STDs. 50.10A, B, AND C.
 - PAVEMENT MARKINGS SHALL BE 4" WHITE PAINT.
 - ALTERNATIVE PARKING ANGLES, AISLE WIDTHS, AND OPERATION (TWO-WAY ANGLED PARKING OR REVERSE-ANGLE PARKING) WILL BE CONSIDERED ON A CASE-BY-CASE BASIS.

ACCESSIBLE PARKING REQUIREMENTS

TOTAL PARKING SPACES PROVIDED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED TO BE VAN ACCESSIBLE
1 TO 25	1	1
26 TO 50	2	1
51 TO 75	3	1
76 TO 100	4	1
101 TO 150	5	1
151 TO 200	6	1
201 TO 300	7	1
301 TO 400	8	1
401 TO 500	9	2
501 TO 1000	2% OF TOTAL	1 IN EVERY 8 ACCESSIBLE SPACES
1001 AND OVER	20 PLUS 1 FOR EACH 100 OVER 1000	1 IN EVERY 8 ACCESSIBLE SPACES

- NOTES:**
- ALL 12"x16" ACCESSIBLE SIGNS (R7-5a & R7-1) SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE (MUTCD). 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
 - REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) U.S. DEPARTMENT OF TRANSPORTATION AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION SUPPLEMENT.
 - IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMPS ARE REQUIRED AT LOADING ZONE AREA.

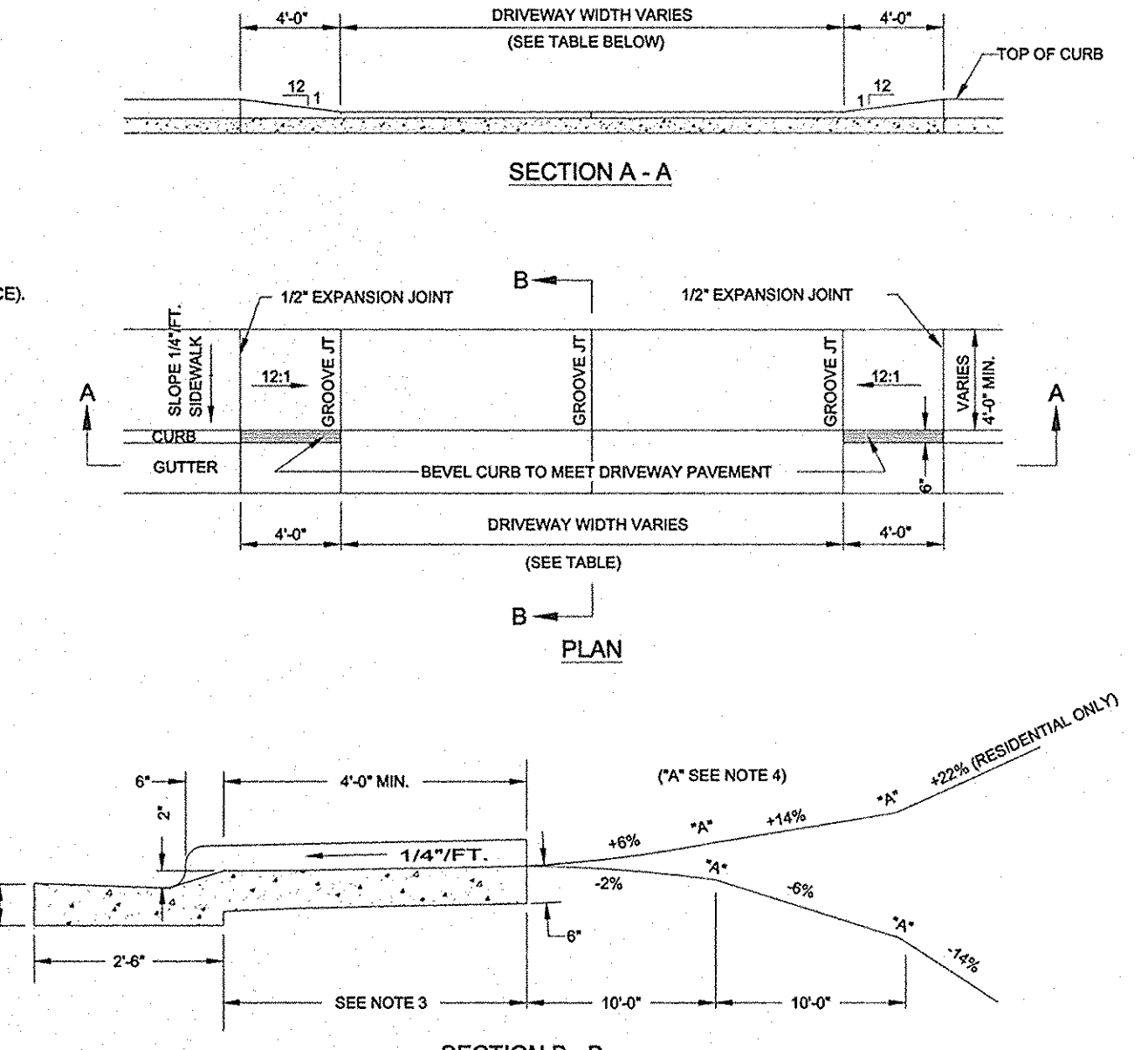


- NOTE:**
- 1 1/2" EXPANSION JOINTS REQUIRE INSTALLATION OF ONE 1/2" THICK PIECE OF BITUMINOUS FIBER THROUGH THE ENTIRE SLAB.
 - 2 TO LIMIT STORM WATER FLOW DOWN DRIVEWAYS, USE STANDARD 10.24C FOR DRIVEWAYS NEAR LOW POINTS.
 - 3 ALL DRIVEWAYS MUST MEET THE CURRENT TOWN DRIVEWAY REGULATIONS AND NCDOT REQUIREMENTS FOR SPACING, SIGHT DISTANCE AND OFFSETS FROM PROPERTY LINES AND INTERSECTIONS.
 - 4 1/2" BREAKOVER SHALL BE 8% OR LESS (A = ALGEBRAIC DIFFERENCE).
 - 5 PRIOR APPROVAL IS REQUIRED ON GRADES EXCEEDING WHAT ARE SHOWN.

- GENERAL NOTES:**
- ALL CONCRETE TO BE 3600 P.S.I. COMPRESSIVE STRENGTH.
- ALL CURB, CURB AND GUTTER AND SIDEWALKS ARE TO BE REMOVED TO THE NEAREST JOINT BEYOND NEW CONSTRUCTION OR CUT WITH A SAW AND REMOVED. SAW CUT OR JOINT TO BE PERPENDICULAR TO EDGE OF EXISTING PAVEMENT.
- SEE STD. NO. 10.17B FOR DETAIL OF EXPANSION JOINT AND GROOVE JOINT.

DRIVEWAY CLASSIFICATION

TYPE DRIVEWAY	MINIMUM	MAXIMUM
TYPE I RESIDENTIAL	15'	30'
ONE-WAY TYPE IIL COMMERCIAL	20'	30'
TWO-WAY TYPE IIL COMMERCIAL	25'	50'



APPROVED DATE: 02/2007

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

PARKING STANDARDS

STD. NO. 50.09A

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

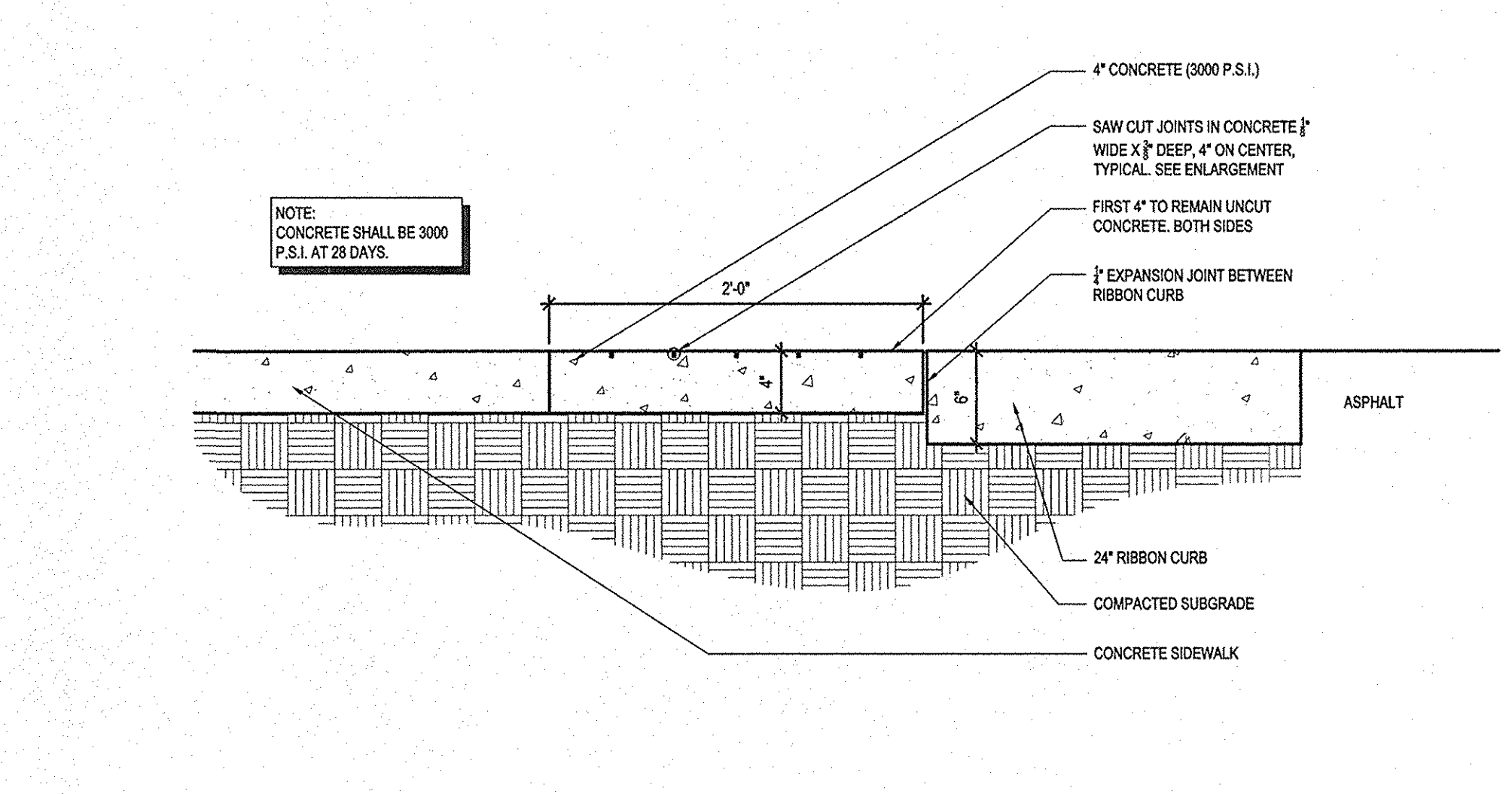
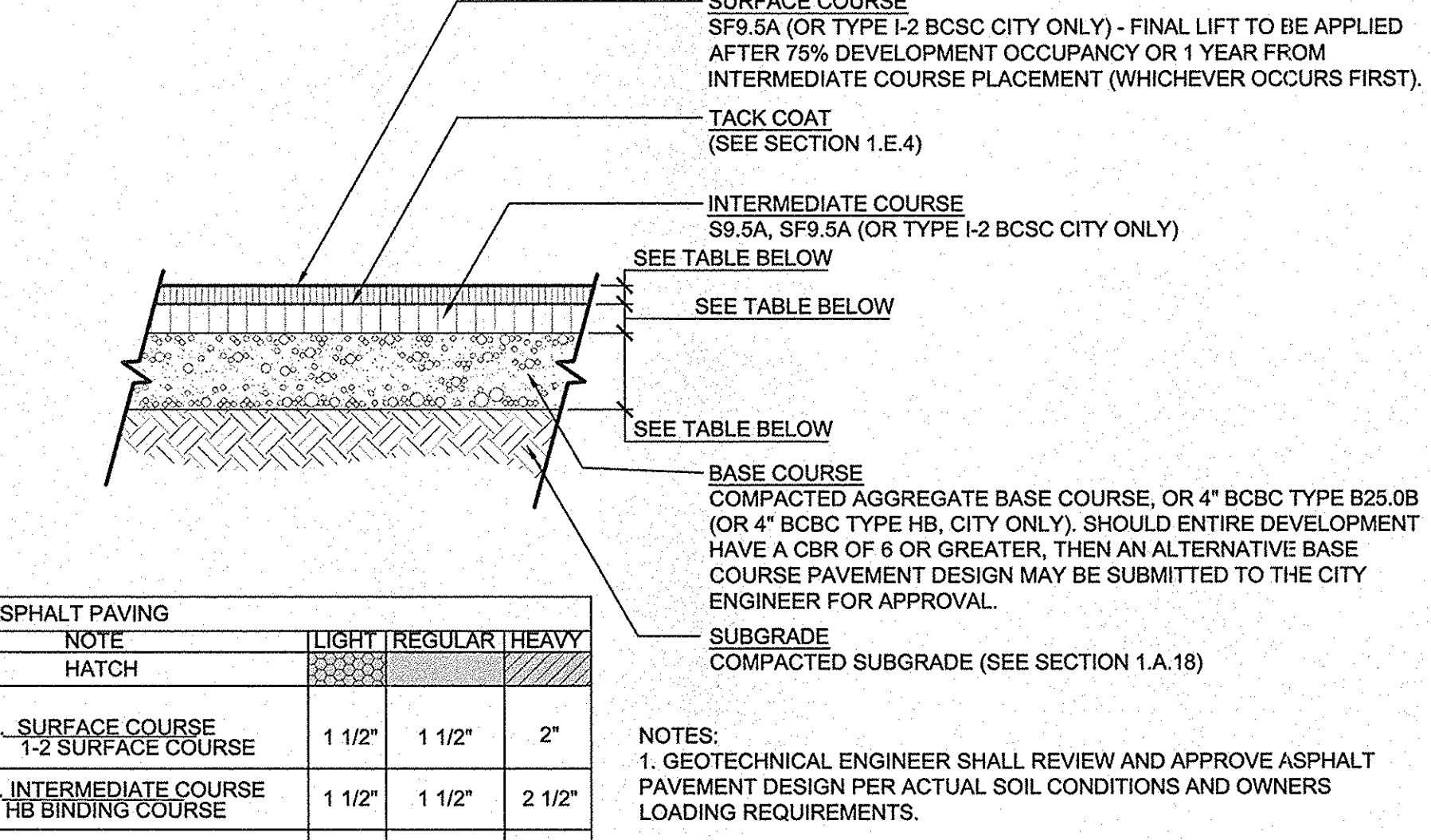
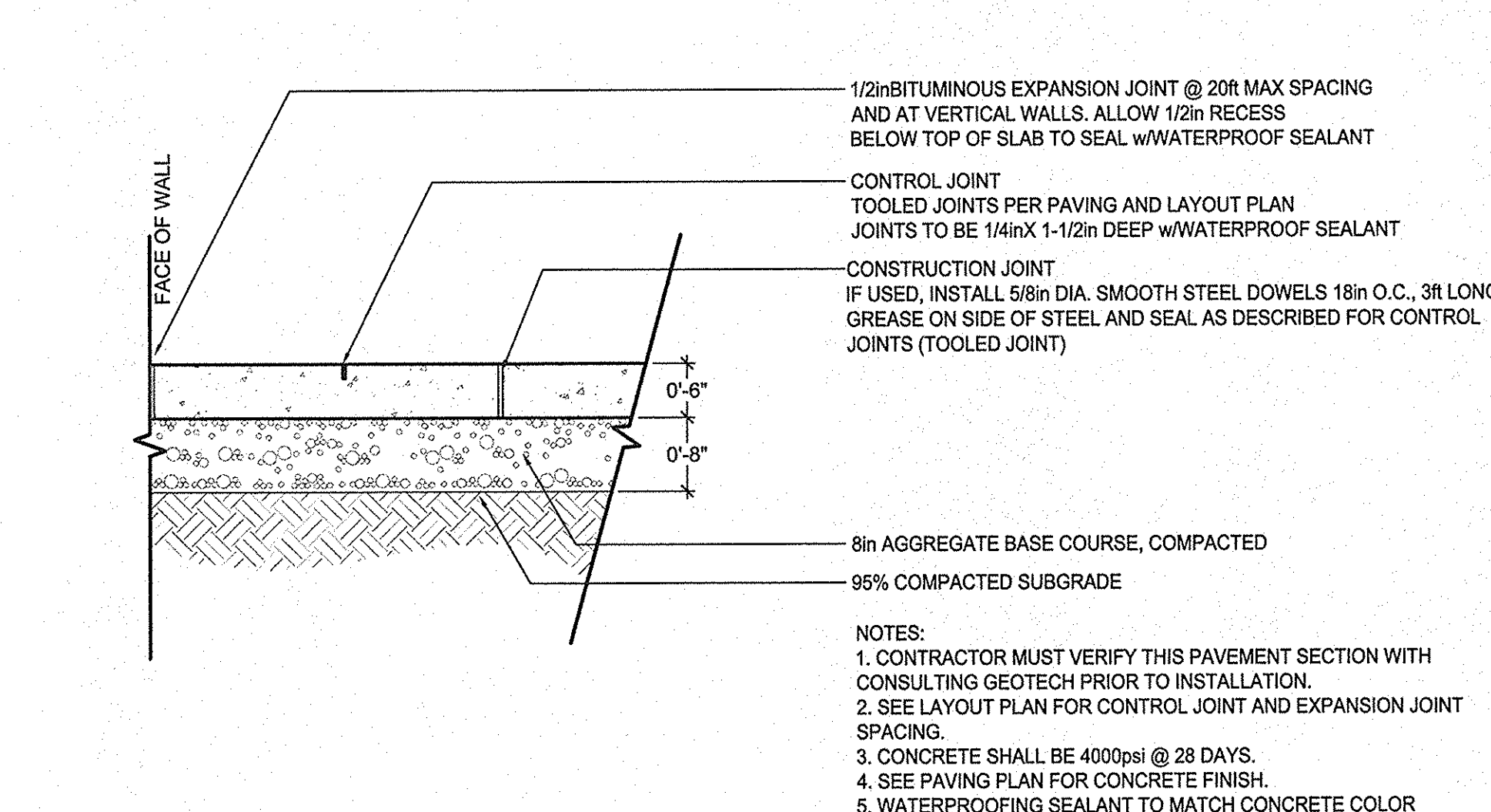
ACCESSIBLE PARKING AND SIGNAGE STANDARDS

STD. NO. 50.10A

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

COMMERCIAL TYPE II AND RESIDENTIAL TYPE I DROP CURB DRIVEWAY WITH SIDEWALK ABUTTING CURB (2'-6" CURB AND GUTTER)

STD. NO. 10.24A



HEAVY DUTY CONCRETE

SECTION

3/4" = 1' - 0"

ASPHALT PAVEMENT

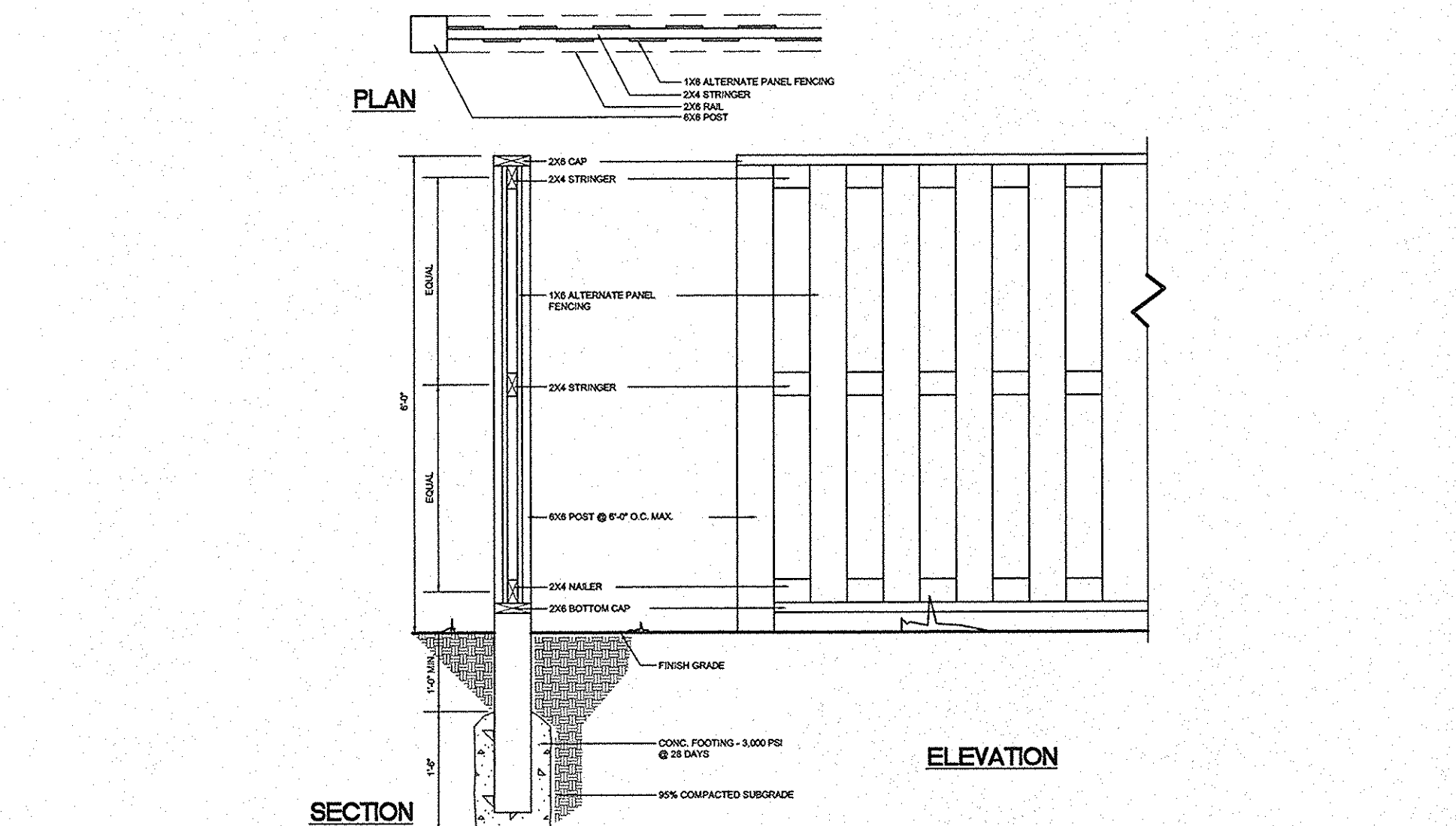
SECTION

SCALE: 3/4" = 1' - 0"

CONCRETE SAWCUT AT FLUSH CURB

SECTION

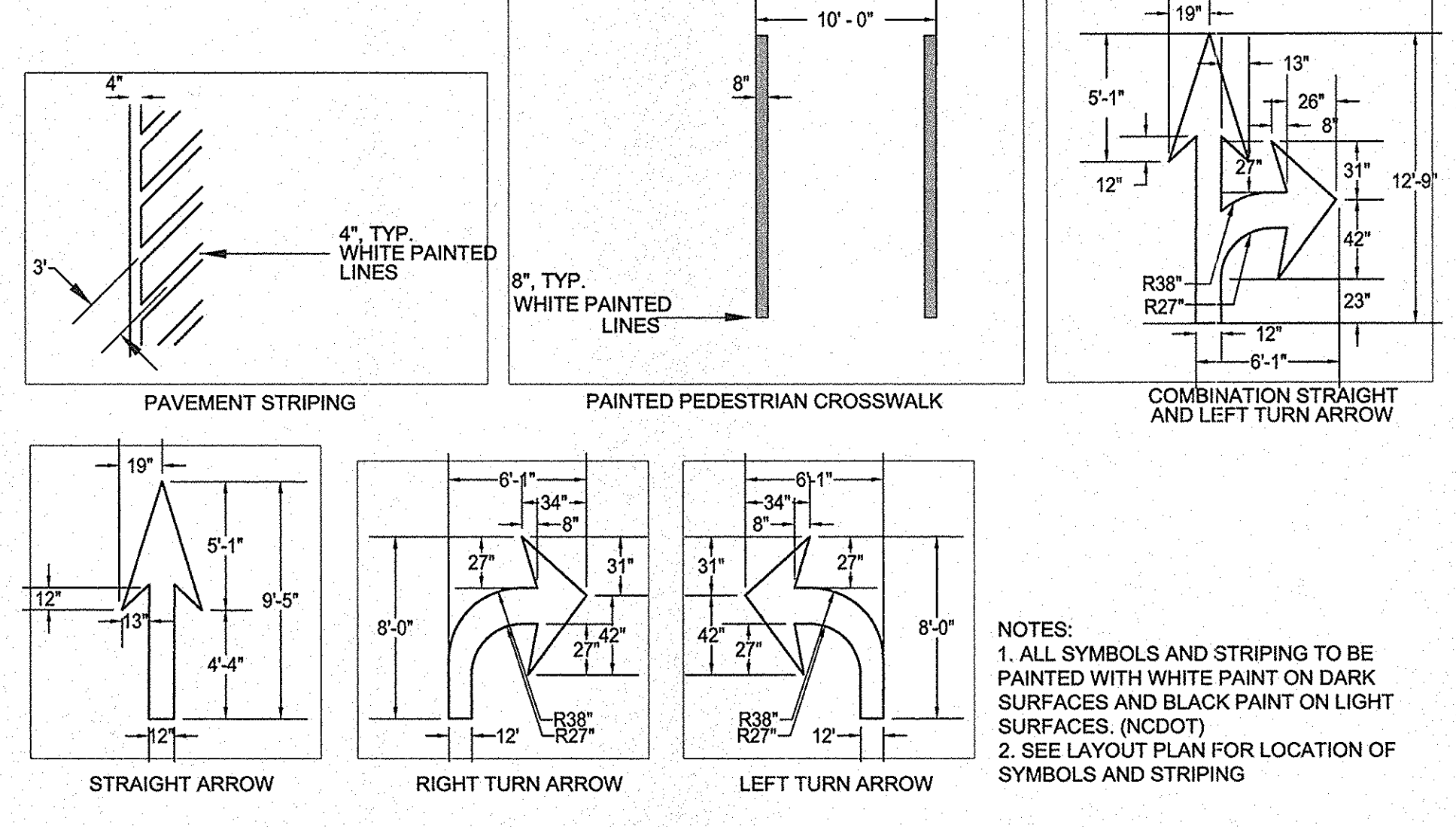
N.T.S.



6' SOLID WOOD SCREEN FENCE

SECTION, ELEVATION

N.T.S.



PAVEMENT MARKINGS

PLAN

NOT TO SCALE

LANCASTER HIGHWAY MIXED-USE

MIXED-USE DEVELOPMENT

MECKLENBURG COUNTY, NORTH CAROLINA

SITE DETAILS

REVISIONS:

10/20/15 - REVISIONS PER COUNTY COMMENTS

DATE: 08/19/2015
DESIGNED BY: LDI
CHECKED BY: MWB
QC BY: MWB
SCALE: AS NOTED
PROJECT #: 1015061
SHEET #:

C-3.2

LandDesign

NC Engineering Firm License # C0688

223 N Graham Street, Charlotte, NC 28202

V: 704.333.0325 F: 704.332.3246

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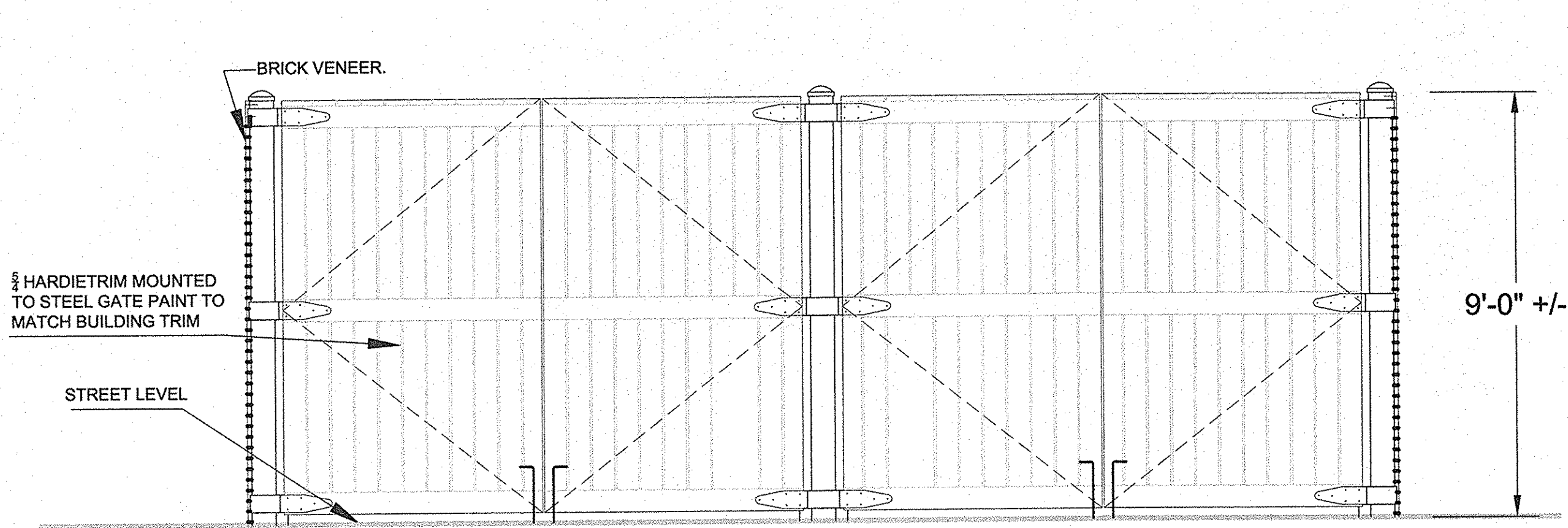
LANDDESIGN, INC.

CORPORATE SEAL

SEAL

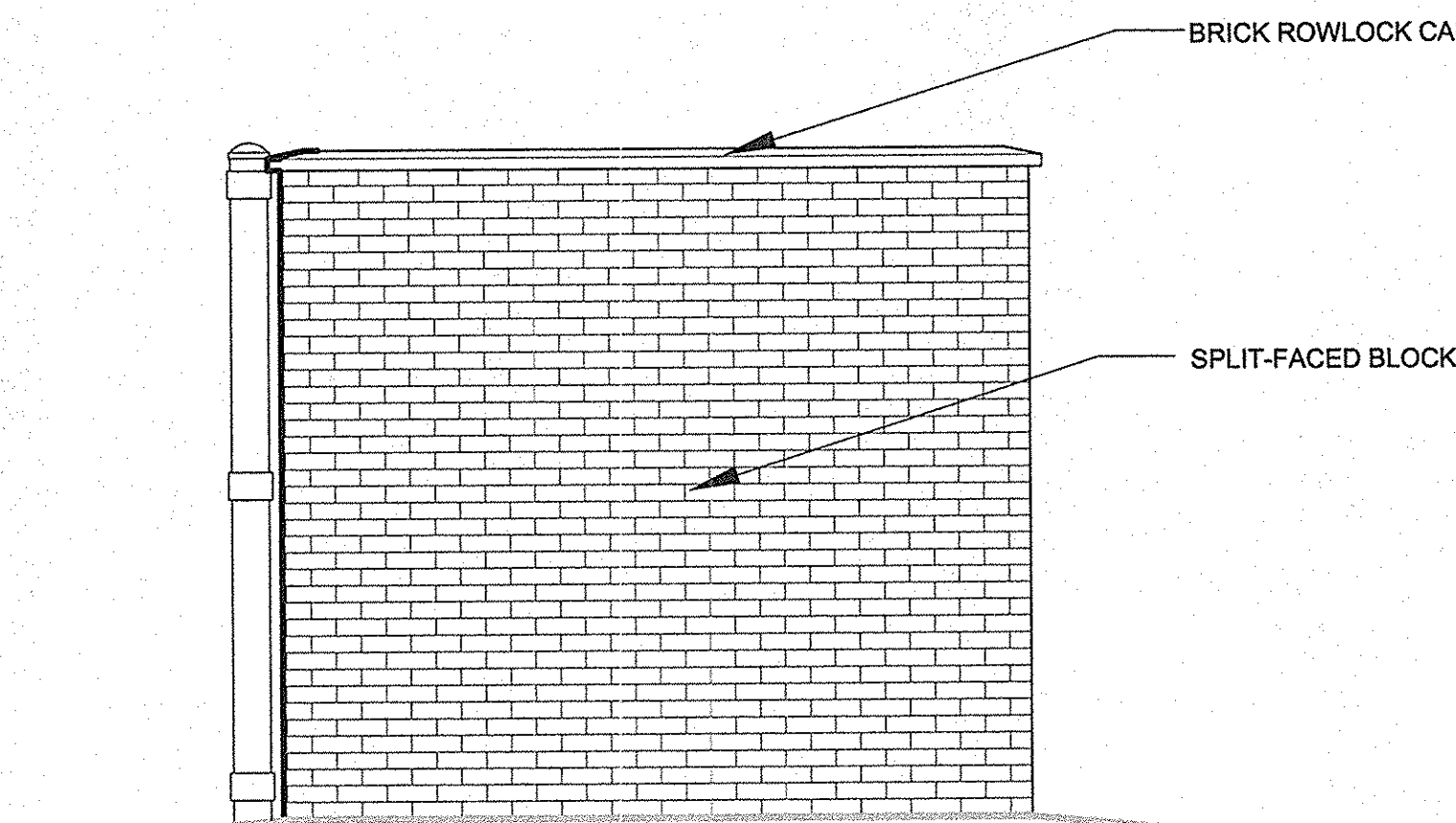
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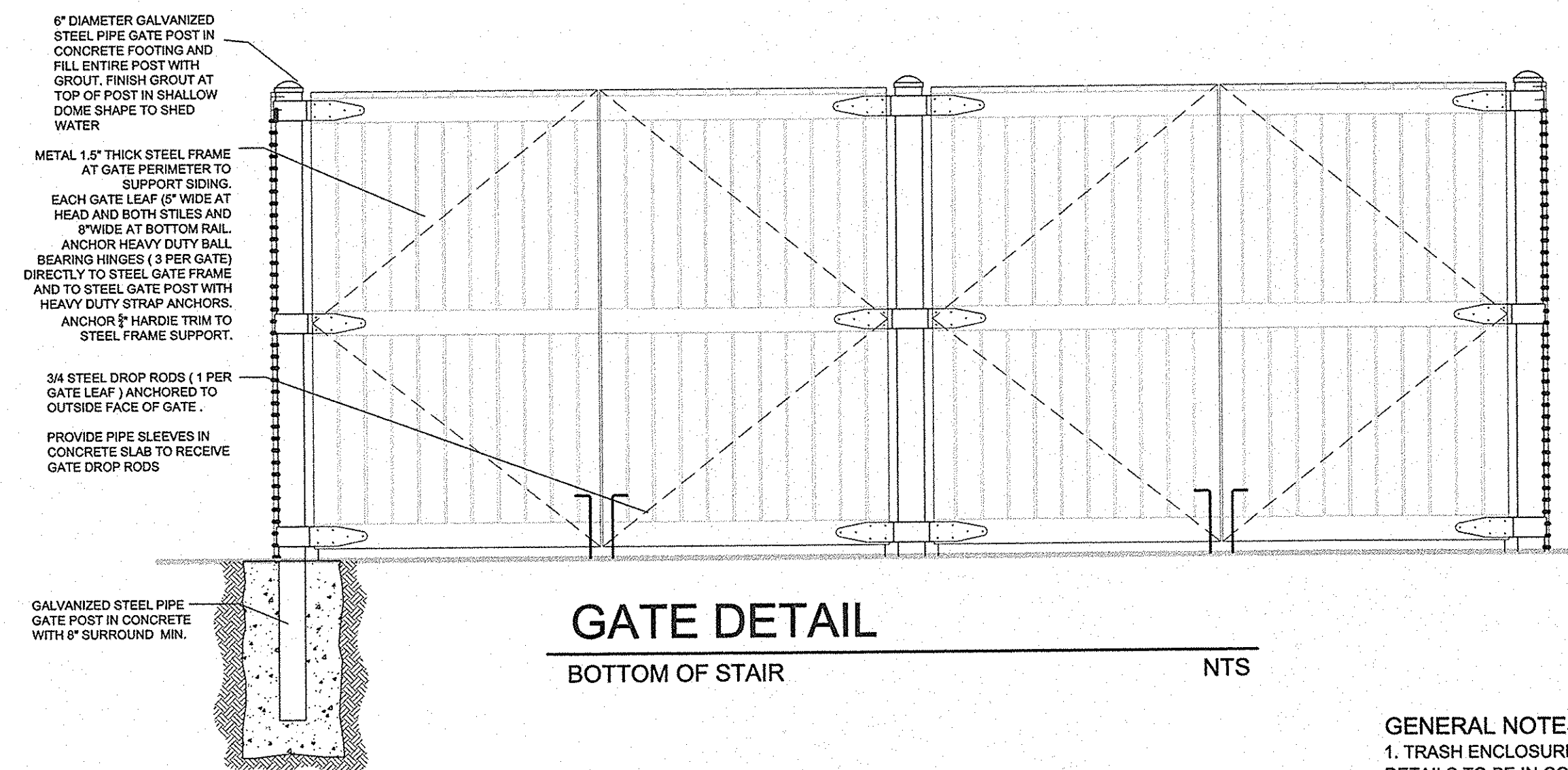
TRASH ENCLOSURE - FRONT ELEVATION

NTS



TRASH ENCLOSURE - SIDE ELEVATIONS

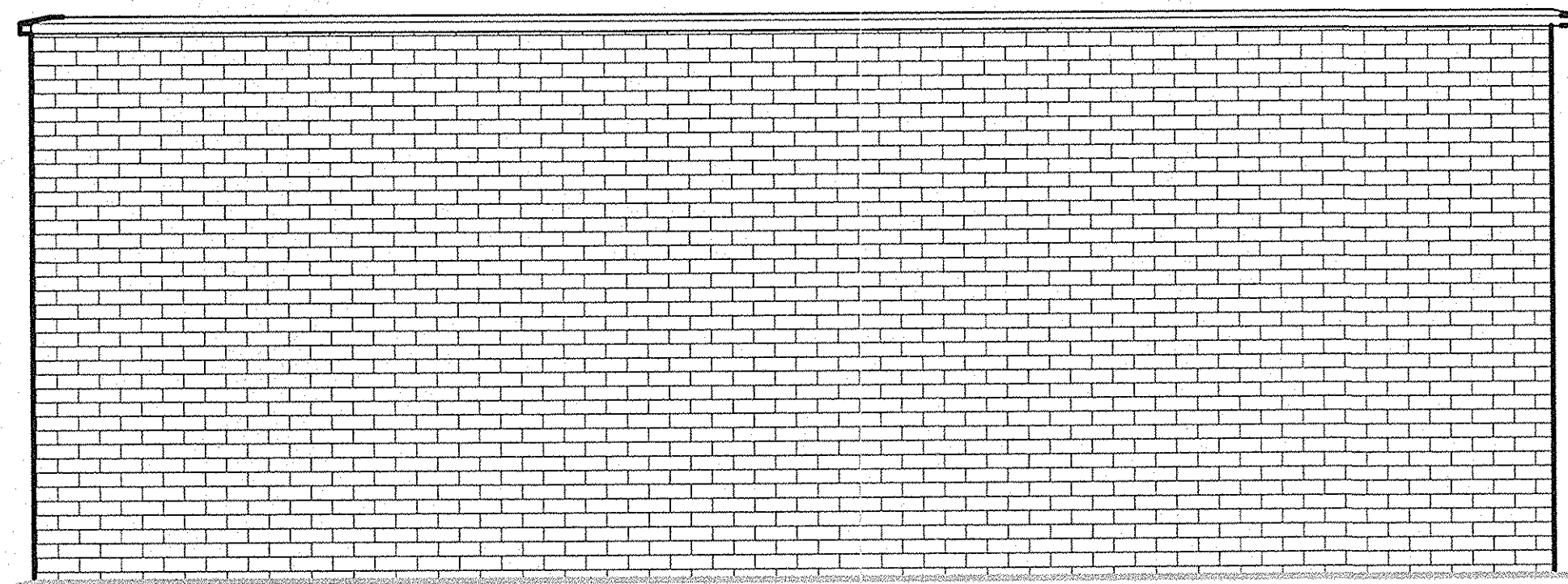
NTS



GATE DETAIL

BOTTOM OF STAIR

NTS



TRASH ENCLOSURE - REAR ELEVATION

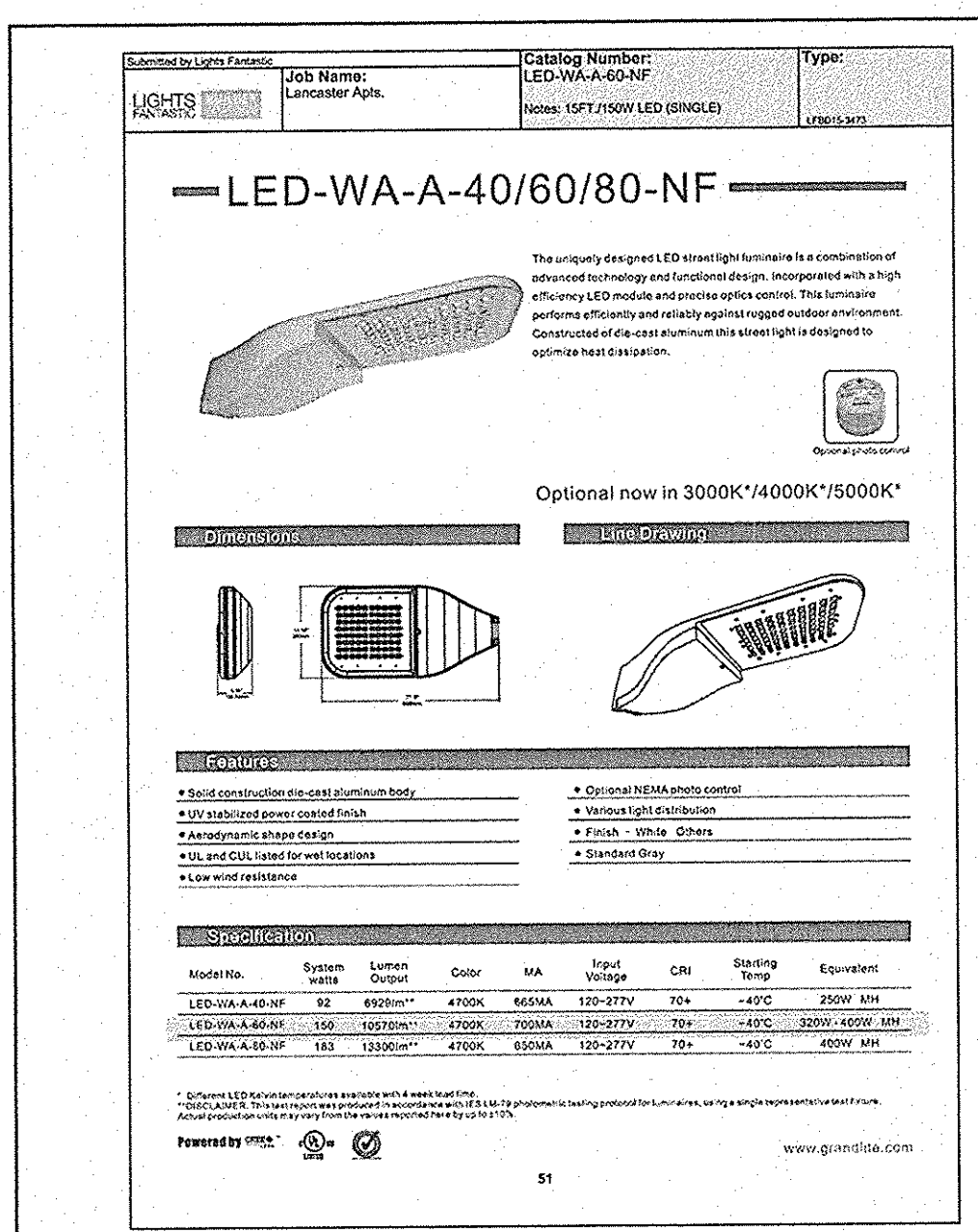
NTS

- GENERAL NOTES:
1. TRASH ENCLOSURE TO BE BRICK VENEER ON CONCRETE BLOCK. FINAL DIMENSIONS AND DETAILS TO BE IN CONSTRUCTION SET AFTER CONSULTATION WITH CIVIL ENGINEER.
 2. FINAL LAYOUT BY CIVIL ENGINEER BASED ON SITE LOCATION AND CONDITIONS.
 3. SEE CIVIL SITE PLAN.

DUMPSTER AND RECYCLING STATION ENCLOSURE

PLAN AND ELEVATION

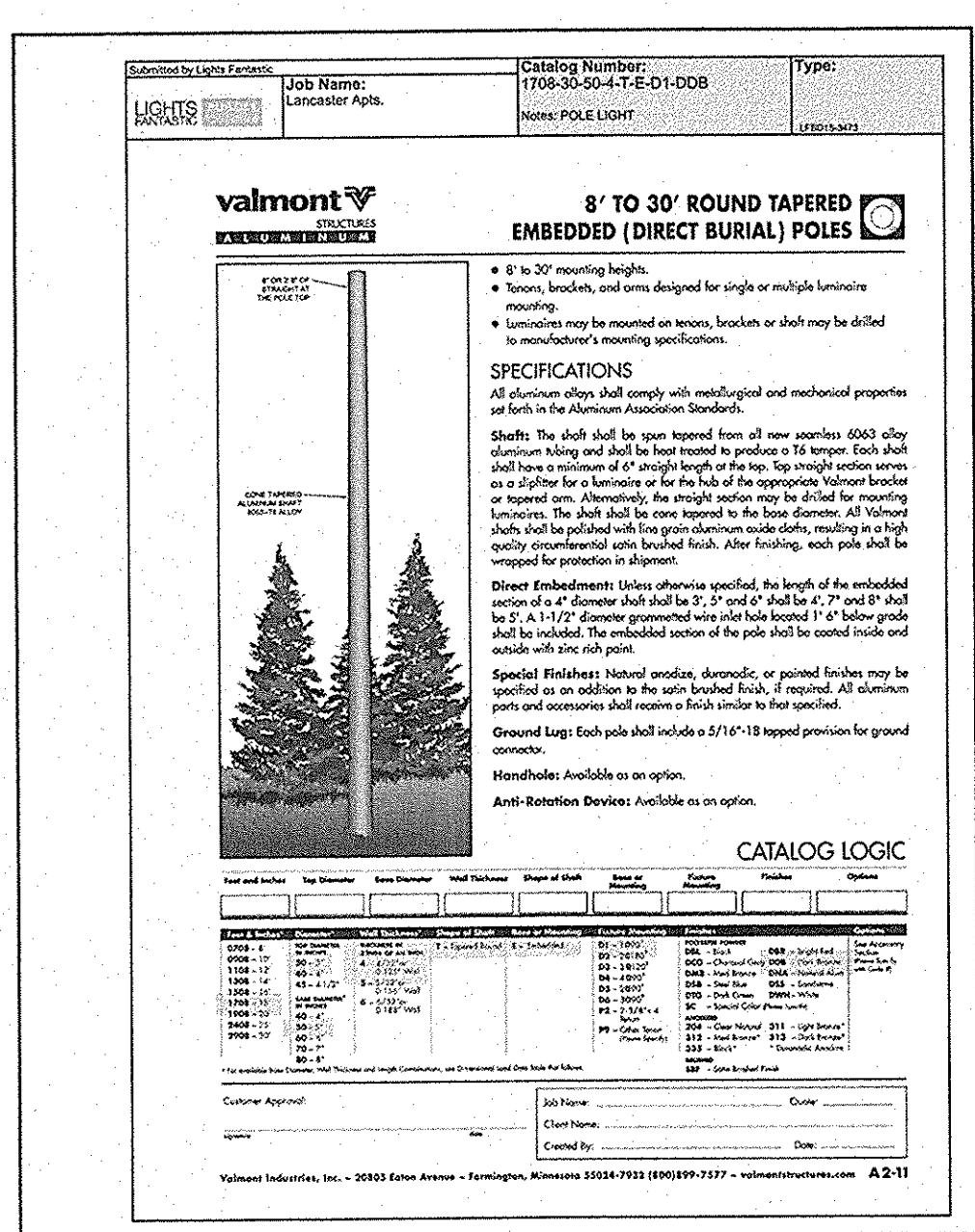
NOT TO SCALE



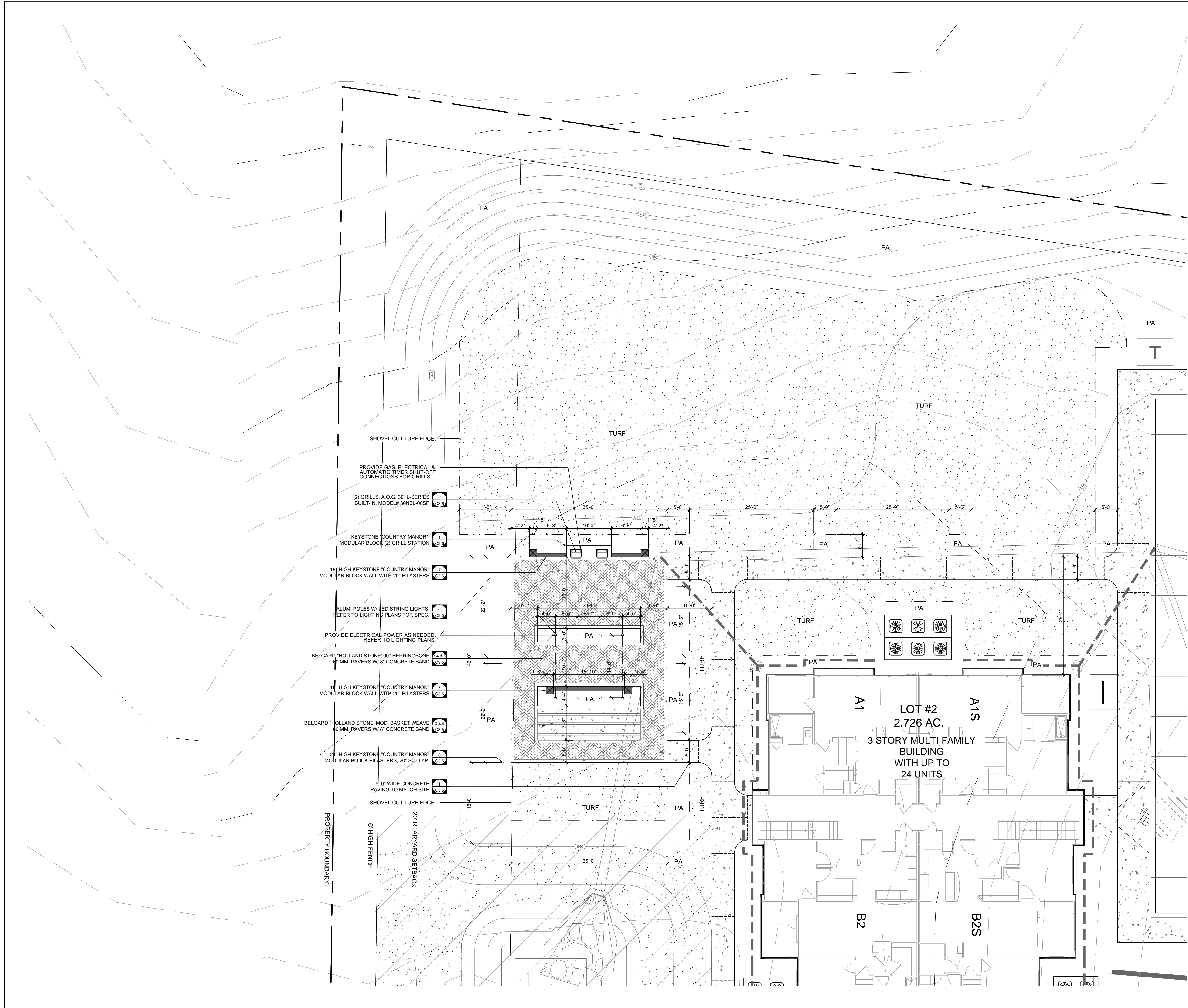
LIGHT FIXTURE DETAIL

SECTION


SCALE: NTS




NOTE:
POLES TO BE VALMONT STRUCTURES ALUMINUM
MAXIMUM HEIGHT 15' ABOVE FINISHED GRADE.



- GENERAL LAYOUT NOTES:
1. AT TIME OF STAKING, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR DIGITAL SITE PLAN FILE FOR COORDINATION OF STAKING.
 2. SHOULD ANY DISCREPANCIES OR ERRORS BETWEEN COORDINATE POINTS AND DIMENSIONS OR OMISSIONS OF CRITICAL STAKING INFORMATION BE DISCOVERED, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR A COORDINATED SOLUTION.
 3. ALL DIMENSIONS AND RADII ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 4. ALL SIDEWALKS SHALL BE FIELD STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
 5. LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
 6. ALL CONSTRUCTION SHALL COMPLY WITH CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS AND SPECIFICATIONS.
 7. ALL PATCH WORK WITHIN LIMIT OF CONSTRUCTION SHALL BE CONSISTENT WITH ASSOCIATED ASPHALT PAVEMENT DETAIL.
 8. ELECTRICAL, TELEPHONE, AND CABLE LINES AND POLES TO BE ELIMINATED OR RELOCATED, SHALL BE COORDINATED WITH DUKE POWER, BELL SOUTH AND TIME WARNER.
 9. ALL TRAFFIC SIGNS AND MARKINGS TO BE INSTALLED AND COMPLY CURRENT CLDSM AND MUTCD STANDARDS AND SPECIFICATIONS.
 10. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
 11. RIGHT-OF-WAY ENCROACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ALL NON-STANDARD ITEMS (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK PAVERS, ETC.) WITHIN A PROPOSED/EXISTING CITY MAINTAINED STREET RIGHT OF WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNER'S/BUSINESS ASSOCIATION.
 12. LANDSCAPE CONTRACTOR TO VERIFY AND PROVIDE IRRIGATION SLEEVES PRIOR TO HARDSCAPE INSTALLATION AS REQUIRED.


5' 0' 5' 10' 20'


BEFORE YOU DIG!
CALL 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!

DATE: 08/19/2015
DESIGNED BY: LDB
DRAWN BY: LDB
CHECKED BY: MWB
SCALE: 1/4"=1'-0"
PROJECT #: 1015061-A
SHEET #:

REVISIONS:

LANDCASTER HIGHWAY MIXED-USE
MIXED-USE DEVELOPMENT - AMENITY
MECKLENBURG COUNTY, NORTH CAROLINA
LAYOUT PLAN - AMENITY

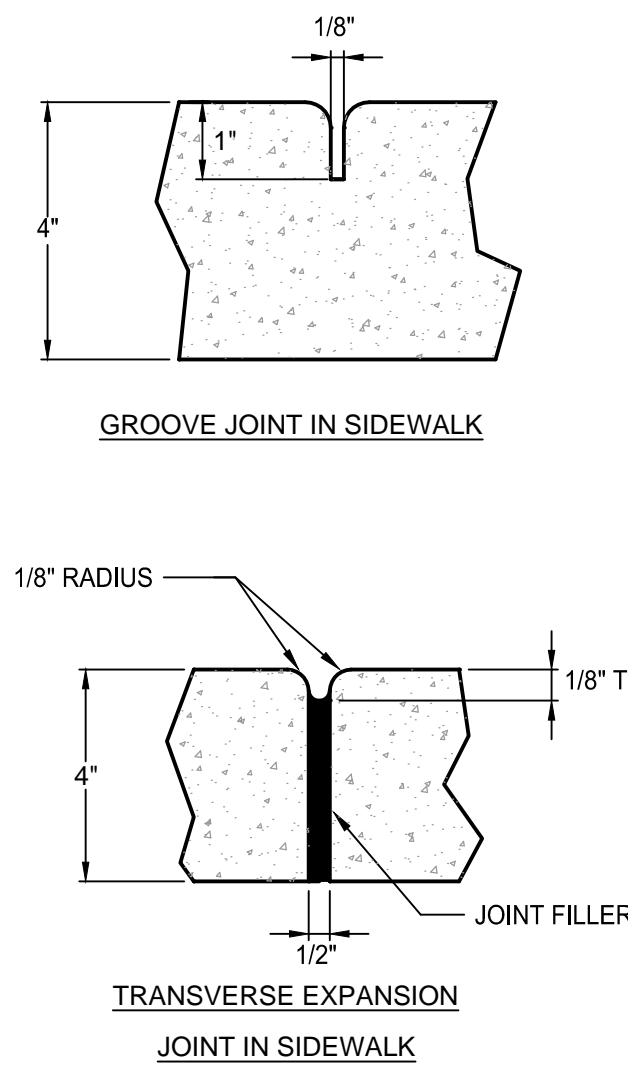
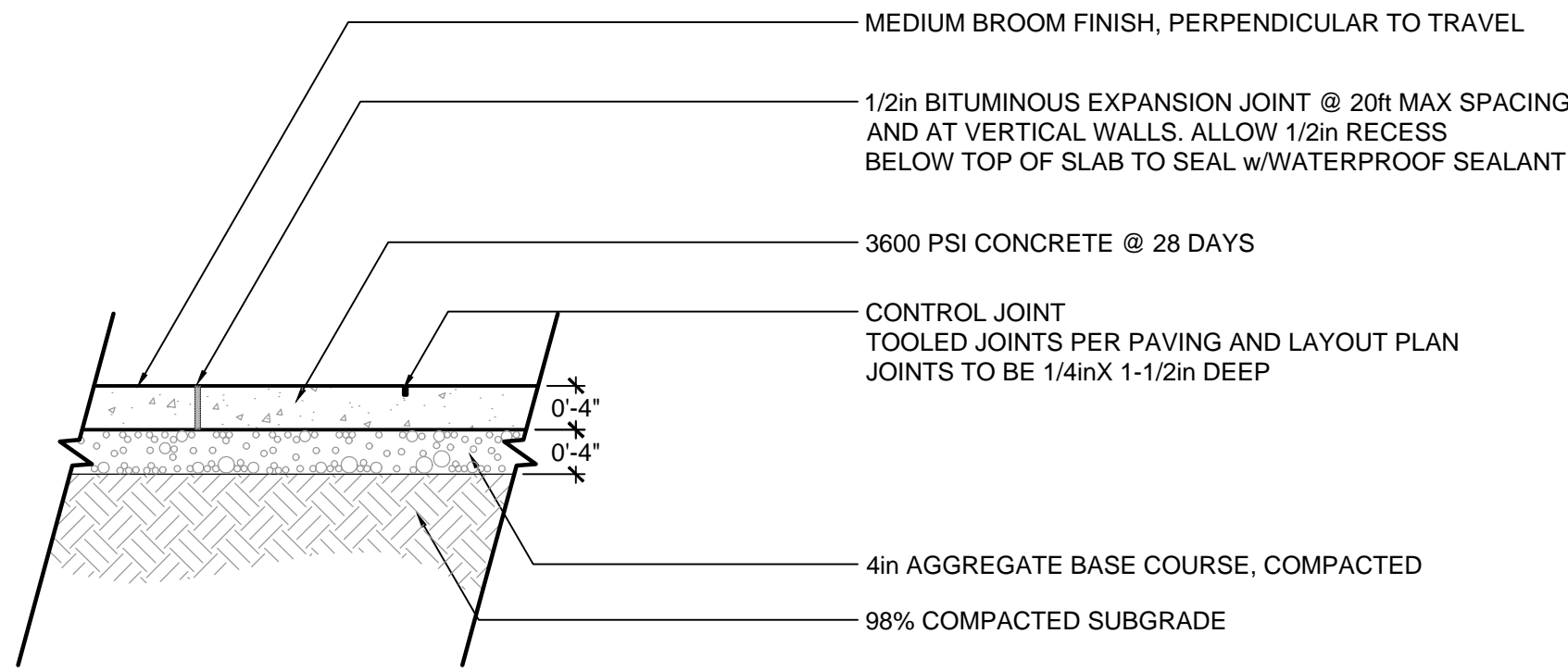
C-3.4

LandDesign

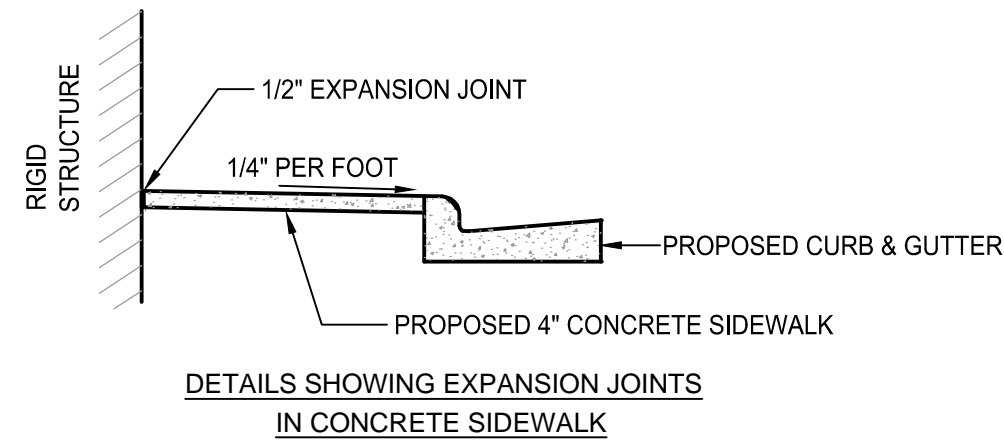
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LANDDESIGN INC.
CORPORATE
SEAL
NORTH CAROLINA

MECKLENBURG COUNTY
NORTH CAROLINA
10/23/2016
#958
CLAUDE J. PETERSEN



- GENERAL NOTES:**
1. A GROOVE JOINT 1" DEEP WITH 1/8" RADII SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 45' INTERVALS NOT TO EXCEED 50' AND MATCHING EXPANSION/CONSTRUCTION JOINT IN ADJACENT CURB. A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
 2. SIDEWALK AT DRIVEWAY ENTRANCES TO BE 6" THICK.
 3. WIDTH OF SIDEWALK ON THOROUGHFARE STREETS SHALL BE A MINIMUM OF 5'. WIDTH OF SIDEWALKS IN THE CENTRAL BUSINESS DISTRICT WILL BE DETERMINED BY THE CDOT.
 4. WIDTH OF SIDEWALKS ON NON-THOROUGHFARE STREETS SHALL BE A MINIMUM OF 4'.
 5. SIDEWALK TO BE POURED TO END OF RADIUS AT INTERSECTING STREETS.
 6. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI. IN 28 DAYS.
 7. ZONING CONDITIONS MAY REQUIRE ADDITIONAL WIDTH SIDEWALKS WHICH SHALL SUPERSEDE THESE STANDARD DIMENSIONS SHOWN.



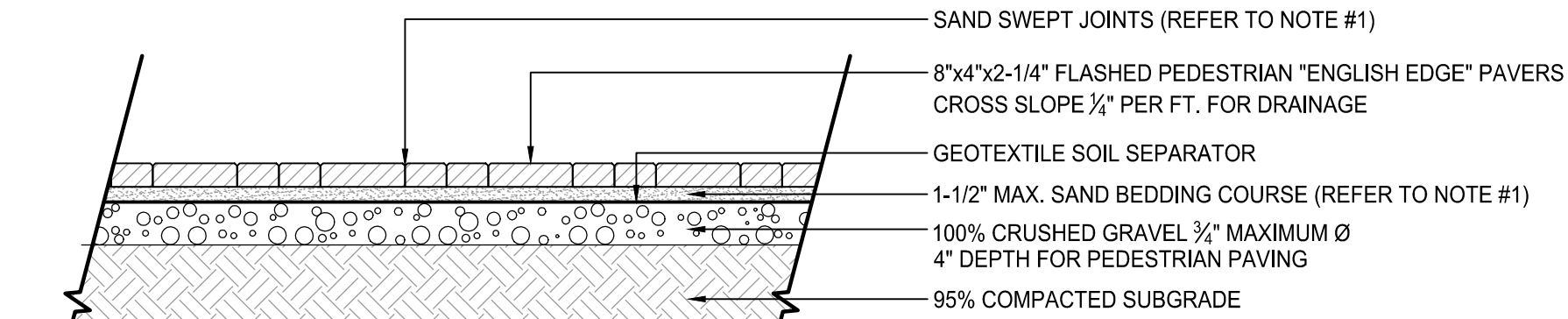
1 CONCRETE SIDEWALK

C-3.5 SECTIONS

2 DETAIL NOT USED

C-3.5

CLDSM #10.22
VARIES

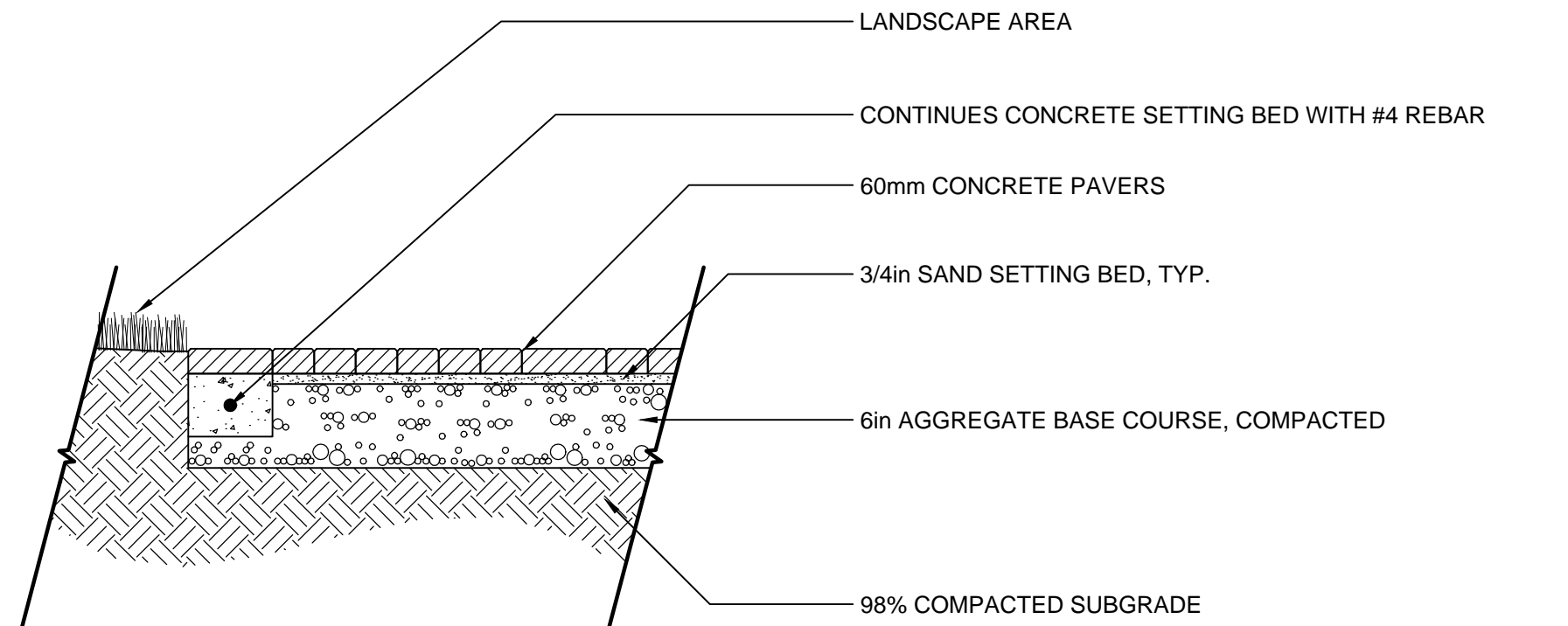


- NOTES:**
1. JOINT AND BEDDING COURSE SAND TO BE NATURAL, WASHED SILICA SAND PER ASTM C33. CONTRACTOR TO PASS SAND THROUGH NO. 8 SIEVE PRIOR TO JOINT FILLING.
 2. CONTRACTOR MUST VERIFY THIS PAVEMENT SECTION WITH CONSULTING GEOTECH PRIOR TO INSTALLATION.
 3. PAVERS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 4. CONTRACTOR TO SUBMIT SAMPLE OF PAVEMENT TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION FOR APPROVAL
 5. REFER TO PAVING PLAN FOR ADDITIONAL INFORMATION.

3 CONCRETE PAVER (PEDESTRIAN LOAD)

C-3.5 SECTION

SCALE: 3/4" = 1'-0"

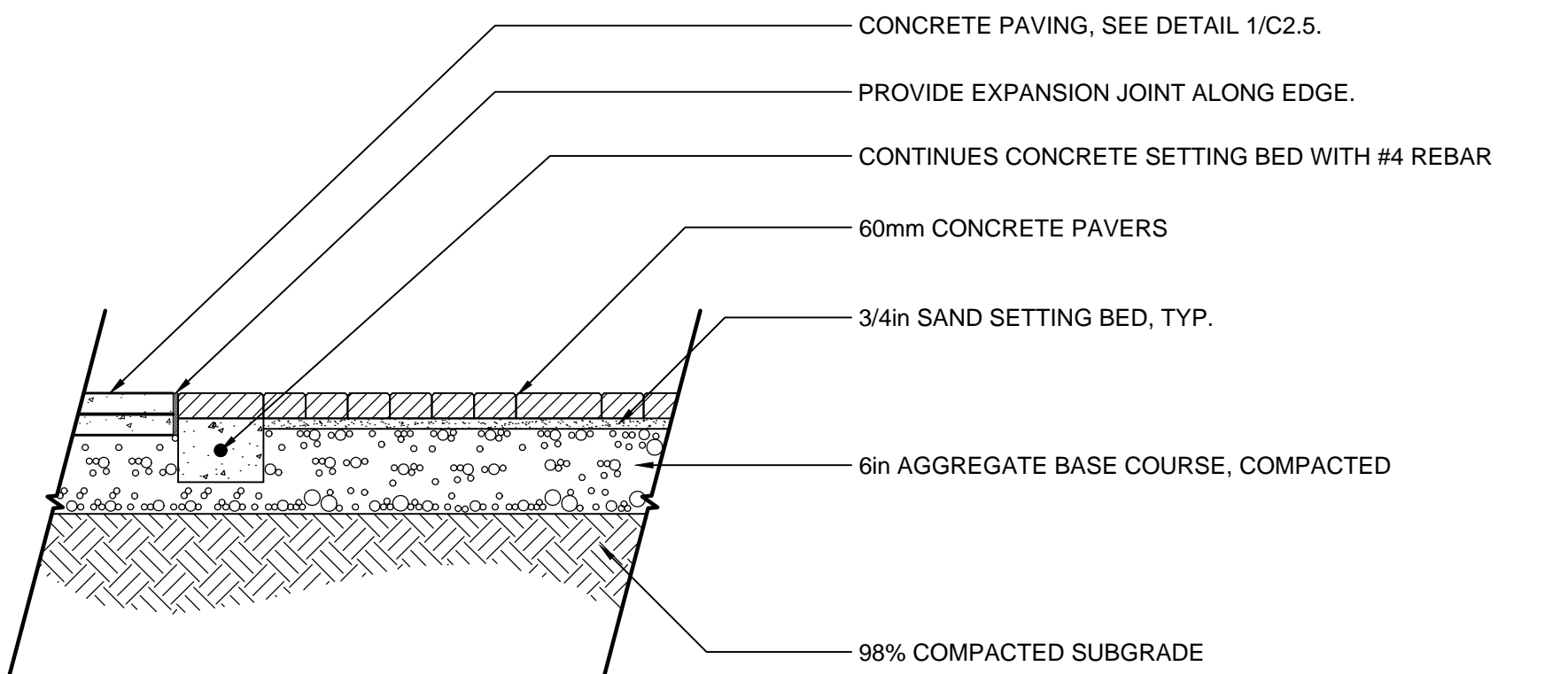


- NOTE:**
1. INSTALL CONCRETE EDGE WHEN CONCRETE PAVERS ARE ADJACENT TO LANDSCAPE AREA.
 2. CONCRETE TO BE 3600 PSI @ 28 DAYS.
 3. PAVERS TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.

4 PAVER EDGING @ LANDSCAPE

C-3.5 SECTION

SCALE: 3/4" = 1'-0"

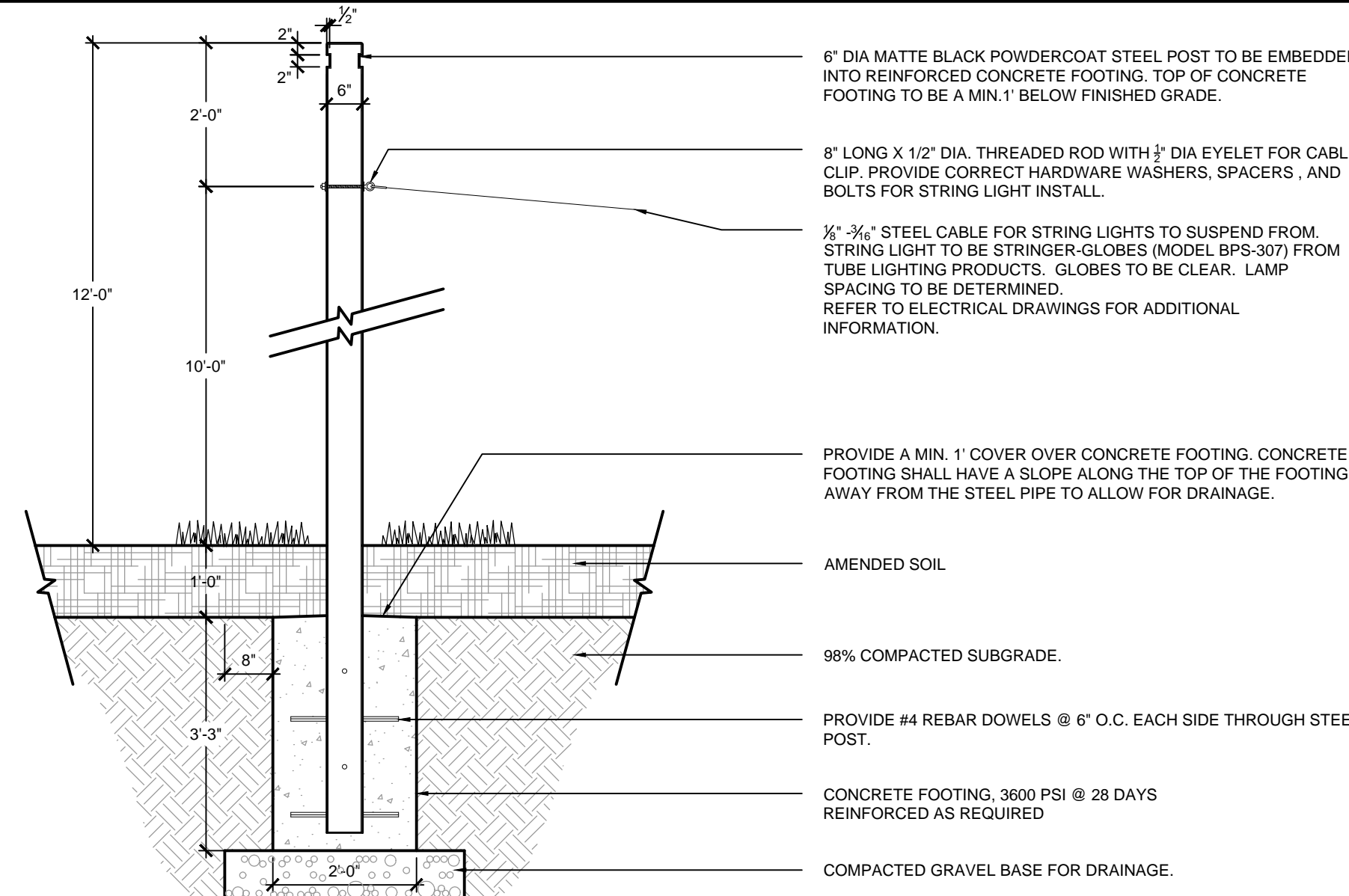


- NOTE:**
1. INSTALL CONCRETE EDGE WHEN CONCRETE PAVERS ARE ADJACENT TO LANDSCAPE AREA.
 2. CONCRETE TO BE 3600 PSI @ 28 DAYS.
 3. PAVERS TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.

5 PAVER EDGING @ CONCRETE WALK

C-3.5 SECTION

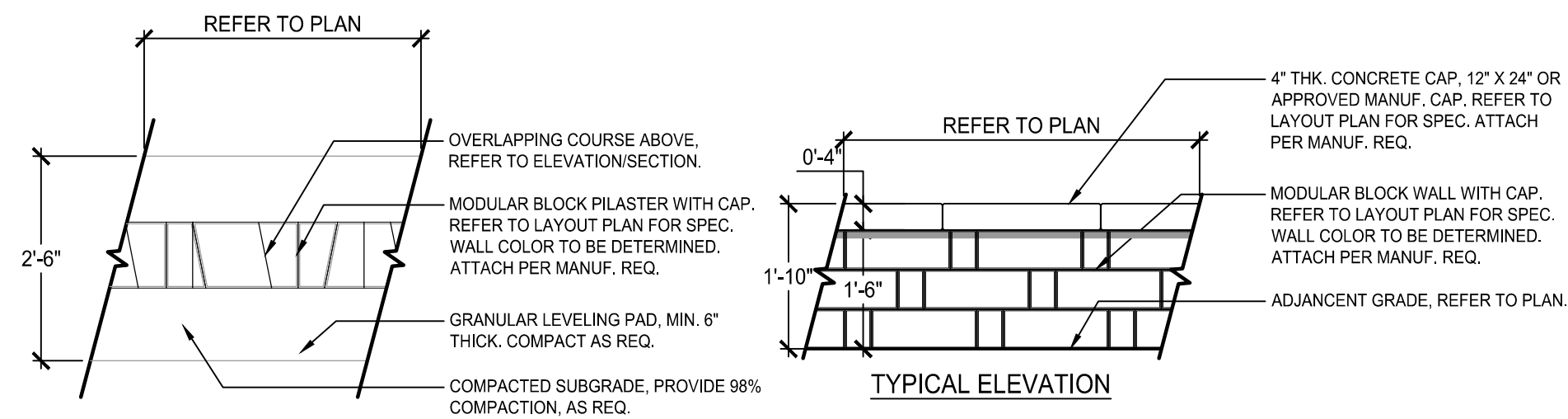
SCALE: 3/4" = 1'-0"



6 STRING LIGHT POST

C-3.5 SECTION

SCALE: 1/2" = 1'-0"



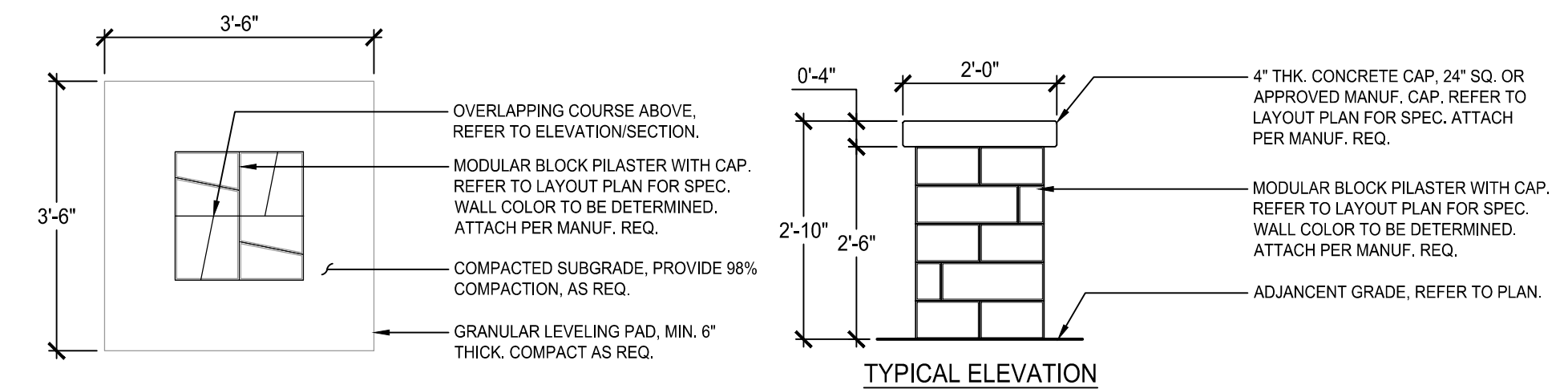
NOTE:

1. FOR WALL, CONTRACTOR TO REFER TO MANUFACTURERS SPECIFICATIONS FOR INSTALLATION OF WALLS, PILASTERS, FOOTINGS AND ATTACHMENTS.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO PROVIDE 5x5' MOCKUP FOR APPROVAL BY CLIENT AND/OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

7 MODULAR BLOCK WALL

C-3.5 PLAN, SECTION, & ELEVATION

SCALE: 1/2" = 1'-0"



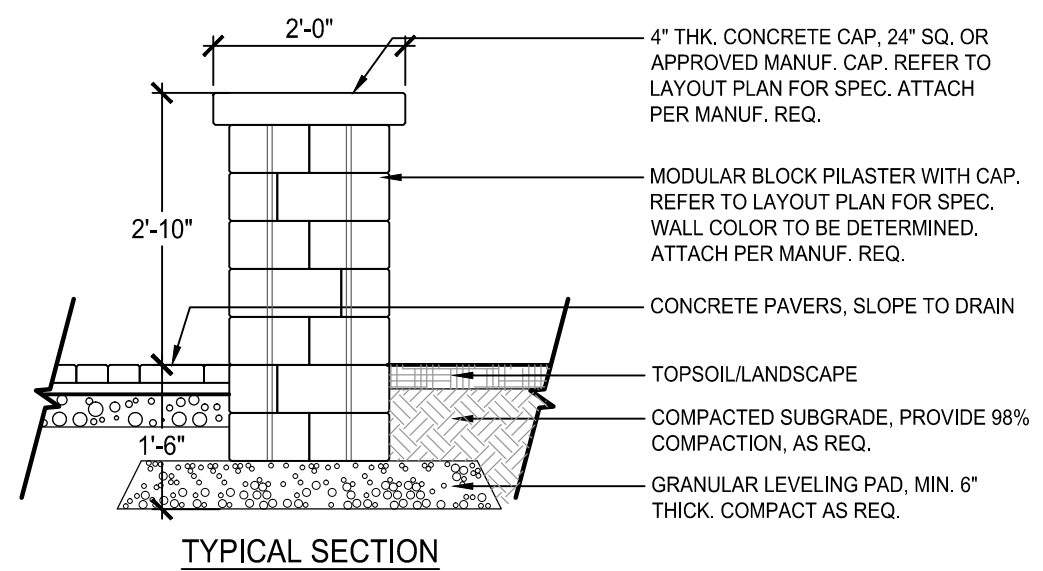
NOTE:

1. FOR PILASTER, CONTRACTOR TO REFER TO MANUFACTURERS SPECIFICATIONS FOR INSTALLATION OF WALLS, PILASTERS, FOOTINGS AND ATTACHMENTS.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO PROVIDE 5x5' MOCKUP FOR APPROVAL BY CLIENT AND/OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

8 MODULAR BLOCK PILASTER

C-3.5 PLAN, SECTION, & ELEVATION

SCALE: 1/2" = 1'-0"



9 DETAIL NOT USED

C-3.5