

ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

URBAN FORESTRY

TREE ORDINANCE

CDOT

APPROVED

By Brendan Smith (bmsmith@charlottenc.gov) at 1:47 pm, Aug 03, 2015

APPROVED

APPROVED

By Vincent Condon at 6:50 am, Jul 31, 2015

As Noted.
See sheet
C8.0

APPROVED

For: Rick Grochoske

APPROVED FOR
CONSTRUCTION

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

By: Joshua Weaver 8-10-2015

GENERAL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL, STATE OF NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, OR THE MORE RESTRICTIVE OF ANY STANDARDS THAT CONFLICT.
2. ALL STORM DRAINAGE DESIGN SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS AS PROVIDED IN THE CHARLOTTE-MECKLENBURG STORM WATER DESIGN MANUAL, CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL, OR THE MORE RESTRICTIVE OF ANY STANDARDS THAT CONFLICT.
3. IN AREAS WHERE THE FLOODWAY REGULATIONS ARE APPLICABLE, THE FUTURE CONDITIONS FLOOD FRINGE LINE, FEMA FLOOD FRINGE LINE, COMMUNITY ENCROACHMENT LINE, AND FEMA ENCROACHMENT LINE SHALL BE SHOWN ON THE PRELIMINARY PLAN AND THE FINAL PLAN. AN APPLICATION FOR A FLOODLANDS DEVELOPMENT PERMIT SHALL BE SUBMITTED TO MECKLENBURG COUNTY ENGINEERING IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE CITY/COUNTY FLOODWAY REGULATIONS.
4. CITE ALL APPROPRIATE STANDARD DETAIL NUMBERS FOR ANY STRUCTURES OR SPECIFICS USED WITHIN THE PLANS IN REFERENCE TO THE MOST CURRENT COPY OF THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
5. THE ESTIMATED COMPLETION TIME FRAME FOR KINGSTREE SUBDIVISION IS FALL 2017.

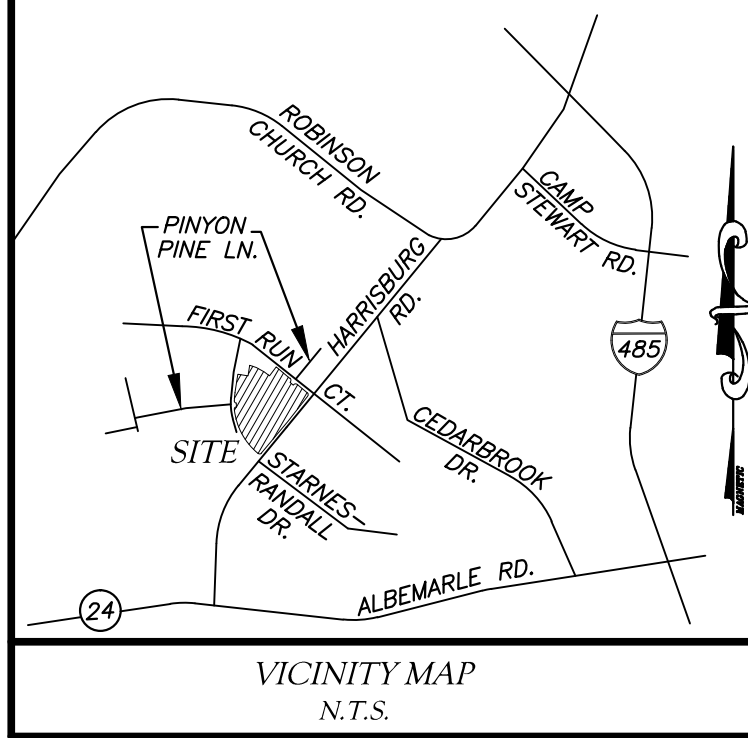
NOTES:

1. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT
2. ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
3. TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704) 336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704) 336-6692 FOR REQUIRED PERMITS.
4. BEFORE YOU DIG STOP... CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW.



Know what's below.
Call before you dig.

- 1). CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- 2). CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAGMEN, ETC., AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
- 3). ALL PAYMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
- 4). SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.



LWE

LATHAM-WALTERS
ENGINEERING, INC.

N.C. CORP. LIC. C-1815
16507-A NORTHCROSS DRIVE
HUNTERSVILLE, N.C. 28078
PHONE: (704) 895-8484
FAX: (704) 237-4362

PRELIMINARY

NOT FOR
CONSTRUCTION

MARCH 3, 2015

DATE



LGI HOMES NC, LLC

2630 S. TRYON ST.,
CHARLOTTE, NC 28203
PHONE: (704) 366-2800
FAX: (704) 366-7576
yurman@lgihomes.com

KINGSTREE SUBDIVISION PHASE 8
HARRISBURG ROAD CHARLOTTE, NC 28215

COVER

REVISIONS

REV. 1 - 05/22/15
REVISED PER CITY OF CHARLOTTE
COMMENTS

PROJECT NO.: 2014.42

SCALE: N.T.S.

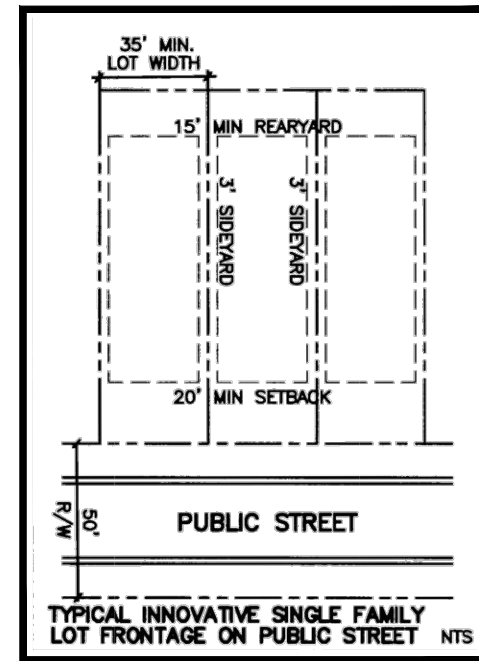
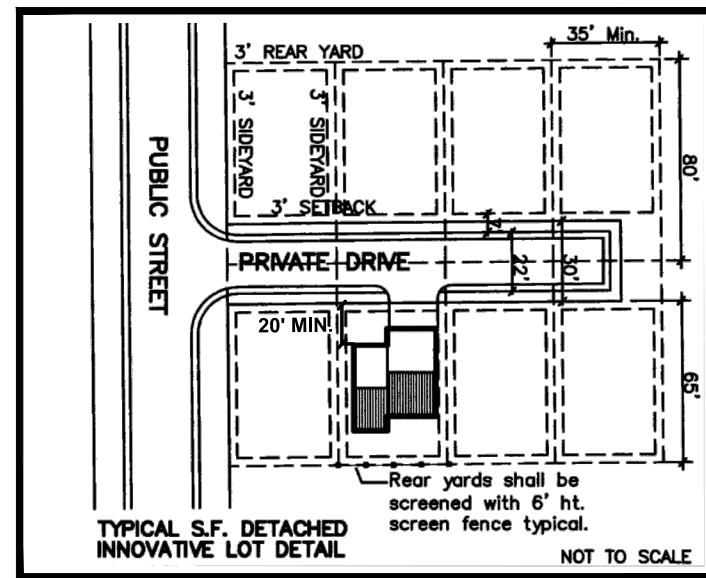
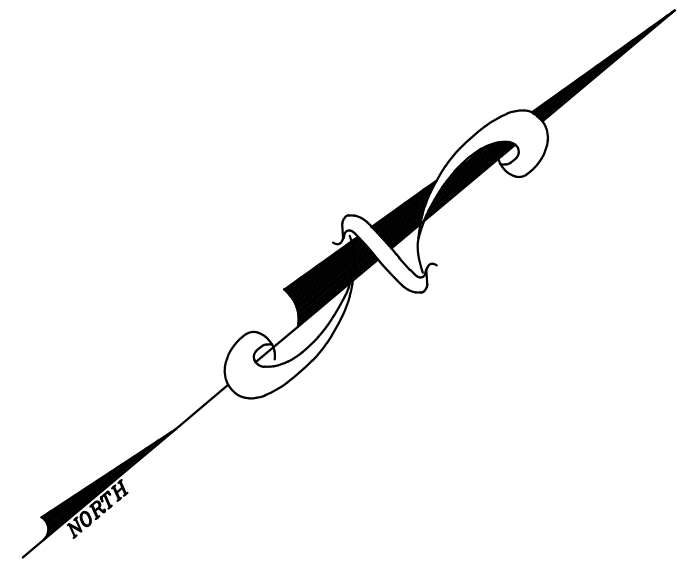
DRAWN BY: MRH

CHECKED BY: JLW

SHEET NO:

C

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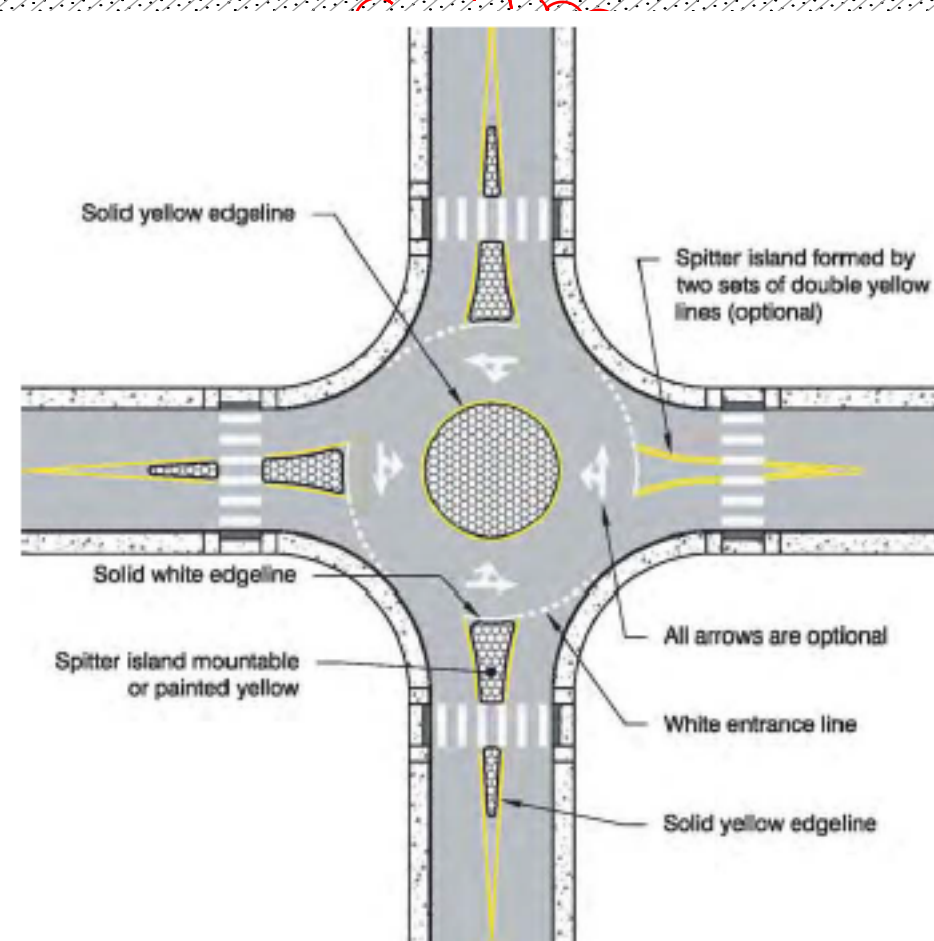


BOUNDARY - R/W CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD DIRECTION	CHORD LENGTH
C1	70.62	45.00	S04°55'22"E	63.59
C2	70.73	45.00	N85°05'14"E	63.67
C3	46.11	30.00	S05°51'03"E	41.70
C4	45.91	30.00	S85°28'14"W	41.56
C5	48.20	30.00	N40°14'10"E	43.18
C6	50.24	30.00	N45°46'09"W	44.57

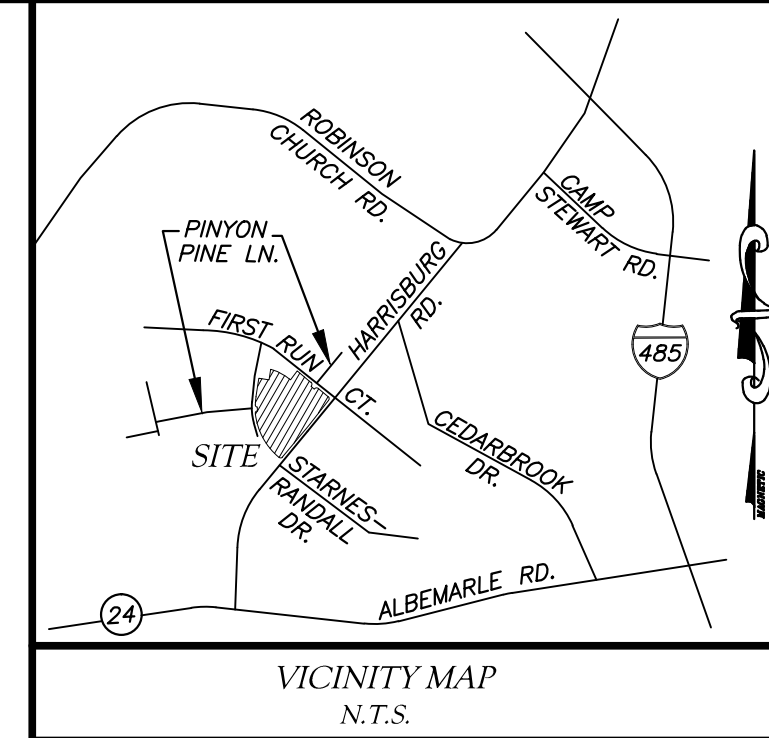
THE MULVANEY GROUP LTD.
PARCEL ID: 10821105
DB: 11862-PG. 133
EX. ZONING: NS
EX. USE: VACANT



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Recommend developer sign/mark existing mini roundabout on First Run Ct./Pinyon Pine. At least be responsible of the proposed subdivision's frontage along First Run Ct. and the new 4th leg serving the subdivision. (See NCHRP Report 672, page 7-17 for typical marking/signing for these smaller roundabouts, photo to left)



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KINGSTREE SUBDIVISION PHASE 8
HARRISBURG ROAD CHARLOTTE, NC 28215

SITE PLAN

REVISIONS

REV. 1 - 05/22/15
REVISED PER CITY OF CHARLOTTE COMMENTS

PROJECT NO.: 2014.42

SCALE: 1" = 60'

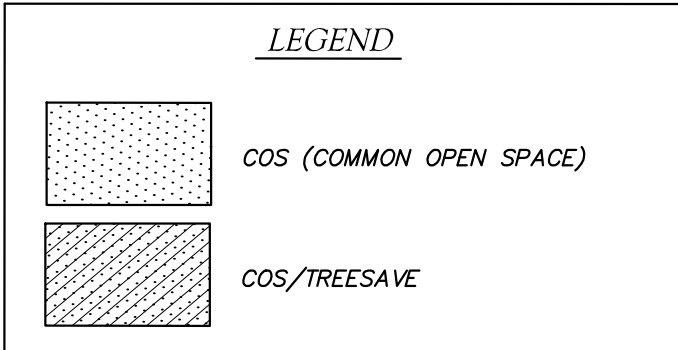
DRAWN BY: MRH

CHECKED BY: JLW

SHEET NO.

C1.1

PUBLIC STREET 60' R/W.
STARNES RANDALL ROAD (EXT.)
PUBLIC STREET 50' R/W.
BRITTONDALE LANE
PINYON PINE LANE
PRIVATE STREET 30' R/W.
AMOS OAKS LANE
TULOCAY LANE
VISTA WOODS LANE
STEVIE OAKS LANE
ERICA WOODS LANE
BRITTONDALE LANE
RORY GLEN LANE
PRESTON KNOLL LANE



SITE NOTES:

- TAX PARCEL ID: 10806199, 10821105
DB/PG: 16623/729 & 11862/133
- SITE ADDRESS: 8605 HARRISBURG ROAD
CHARLOTTE, NC 28215
- PROPOSED USE: SINGLE FAMILY
EXISTING USE: VACANT
- TOTAL SITE AREA: ±14.42 ACRES
- CURRENT ZONING: MX-2 (MIXED USE DISTRICT)
PER APPROVED REZONING PETITION #2000-12 (c)
- MINIMUM LOT SIZE: 2600 S.F.
TOTAL NUMBER OF LOTS PROVIDED = 82
- MINIMUM LOT WIDTH: 35'
- SETBACKS AND YARDS: (MEASURED FROM PUBLIC R/W)

PUBLIC STREET

FRONT: 20' MIN. SETBACK AT ALL STREETS
FOR FRONT-LOADED GARAGES
10' MIN. SETBACK AT FRONT PUBLIC STREET
FOR REAR AND SIDE-LOADED GARAGES
REAR: 15' MIN.
SIDE: 3'
10' FOR REAR AND SIDE-LOADED GARAGES

PRIVATE STREET

FRONT: 3' (20' MIN. SETBACK AT ALL STREETS)
REAR: 3'
SIDE: 3'

ALL GARAGES SHALL BE FRONT LOAD WITH THE EXCEPTION OF LOTS 35 & 36, WHICH SHALL BE SIDE-LOADED.

SIDE YARDS (3') SHALL MEET THE CURRENT FIRE CODE FOR SEPARATION

- TREE SAVE DATA:
TOTAL ACREAGE: ±14.42 ACRES
COMMON OPEN SPACE: 4.58 AC. / 14.42 = 31.76%
TREE SAVE AREA REQUIRED: ±14.42AC. x 10% = 1.44 AC.
TREE SAVE AREA PROVIDED: 1.94 AC.
TREE SAVE PERCENTAGE: (2.18/14.42) x 100% = 15.12%
- NATURAL AREA REQUIREMENTS:
PCO DOES NOT APPLY TO THIS SUBDIVISION
- STREAM WATERSHED: REEDY
REGULATED DRINKING WATERSHED: N/A
- THIS PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP NUMBER: 3710459400K DATED 02/19/14 AND CITY OF CHARLOTTE COMMUNITY PANEL 370159 4594 K.
- SURVEY TOPO INFORMATION PROVIDED BY:
JASON LEE WILIE
501 FORNEY AVENUE
LINCOLNTON, N.C. 28092

NOTE:

PUBLIC STREETS SHALL USE CLDS 11.01
PRIVATE STREETS SHALL USE THE "INNOVATIVE STREET SECTION" PER THE APPROVED REZONING PLAN

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GRAPHIC SCALE

