

Project Manager
HVN

Drawn By
VPB

Checked By
CG/HVN

Date
6/03/08

Project Number
07038.6

REVISIONS:

No.	Date	By	Description
1	8-19-08	VB	REVISED PER CITY OF CHARLOTTE COMMENTS
2	11-10-08	RIT	REVISED PER CITY OF CHARLOTTE COMMENTS

DPR

DESIGN PLANNING RESEARCH

DPR ASSOCIATES

Landscape Architects

Planners & Engineers

420 Hawthorne Lane

Charlotte, NC 28204

704/332-1204

COVER SHEET

KINGSTREE - PH 4

SINGLE FAMILY

MECKLENBURG COUNTY, NORTH CAROLINA

MULVANEY PROPERTIES

7301 CARMEL EXECUTIVE PARK

SUITE 102

CHARLOTTE, NC 28226

PHONE: 704.962.3229

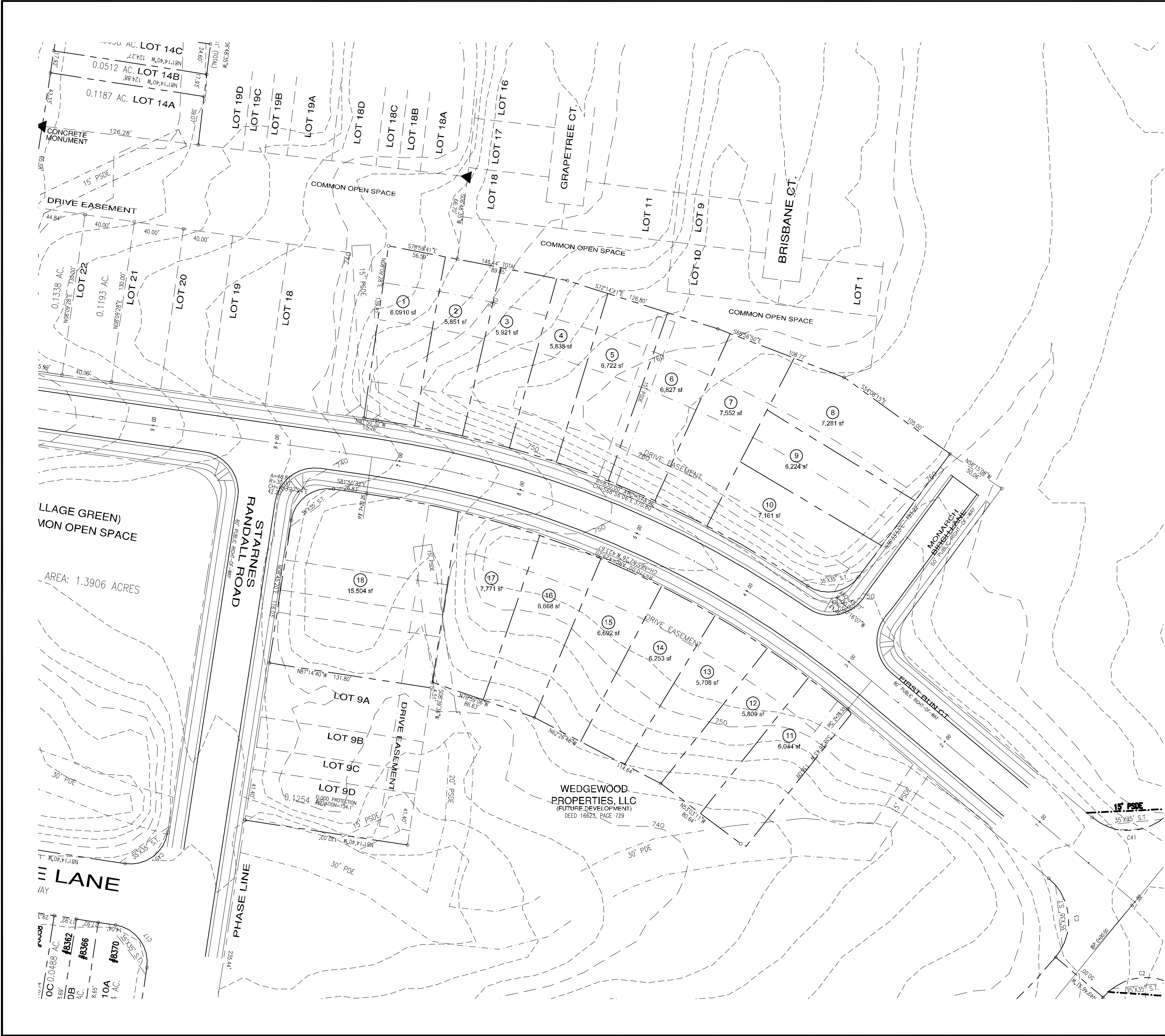
Scale:

1" = 200'

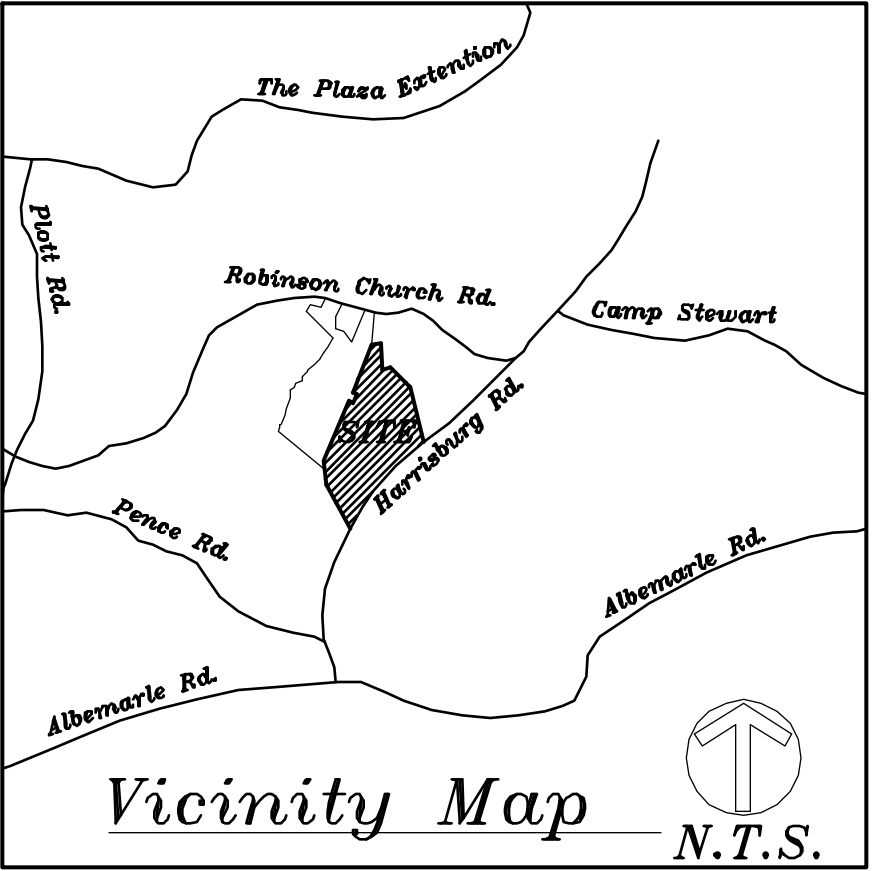
Sheet Number

L-1

SHEET 1 OF 10 TOTAL



DEVELOPER:
LGI HOMES-NC, LLC
CONTACT: MR. CEDRIC COMBO
CCOMBO@LGHOMES.COM
ADDRESS : 2631 S. TRYON ST., SUITE-D
CHARLOTTE, NC 28208
PHONE: 704.780-5160
DESIGN COMPANY:
PLANS PREPARED BY: DPR ASSOCIATES, INC
ATTN: DAVID SHERILL, PE
DSHERILL@DPRASSOCIATES.NET
ADDRESS: 420 HAWTHORNE LANE
CHARLOTTE, NC 28204
PHONE: 704-332-1204
LAND SURVEYOR:
PREPARED BY: SUMMIT LAND SERVICES, P.C.
ATTN: MARK FISHER, NCPLS
ADDRESS: 3575 CENTRE CIRCLE DRIVE
FORT MILL, SC 2971
PHONE: 704-504-1717



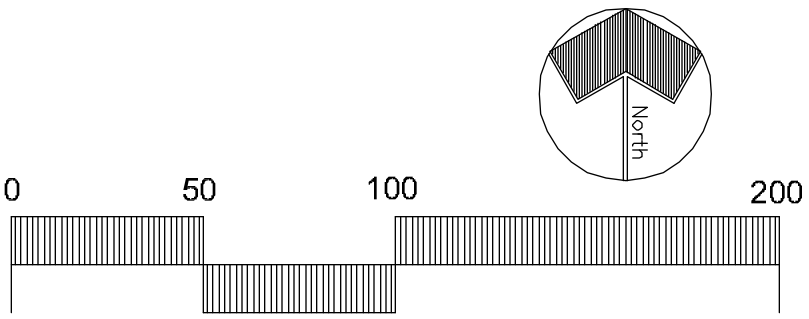
DEVELOPMENT DATA:
TOTAL SITE AREA:± 19.93 AC
REVISED SITE AREA:2.50 AC
EXISTING ZONING:MX-2 & R-3
DEVELOP AS:R-3
TAX PARCEL #:108-06-897 & 108-06-898
PROPOSED DETACHED SINGLE-FAMILY LOTS:18
MAXIMUM # UNITS ALLOWED BY ZONING:32
DENSITY:5.75 DUA
OPEN SPACE REQUIRED:2.86 AC
OPEN SPACE PROVIDED:7.66± AC

MINIMUM STANDARDS:
SINGLE FAMILY DETACHED:
STREET TYPE & RIGHT-OF-WAY50' PUBLIC or 30' PRIVATE
SIDEWALK4' WIDTH
CURB AND GUTTER2'-6" STD. OR 2' VALLEY
STREET FRONTAGEPUBLIC OR PRIVATE
MIN. LOT SIZE2,600 S.F.
MIN. STREET SETBACK
(FOR FRONT LOADED GARAGE)20'
MIN. STREET SETBACK10'
(FOR REAR/SIDE LOADED GARAGE)
MIN. SIDEYARD3'
MIN. REARYARD15'
MIN. LOT WIDTH35'
MIN. OFF-STREET PARKING2 SPACES PER UNIT
MIN. BUILDING SEPARATION6'
HEIGHT OF FENCES AND WALLS5'-6" MIN. 6'-6" MAX.

NOTE:
KINGSTREE PHASES 1-6 HAVE BEEN APPROVED BY THE
CHARLOTTE-MECKLENBURG PLANNING COMMISSION.

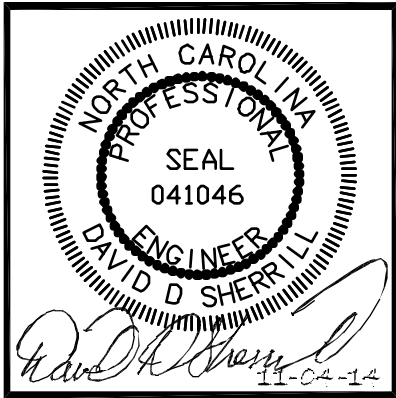
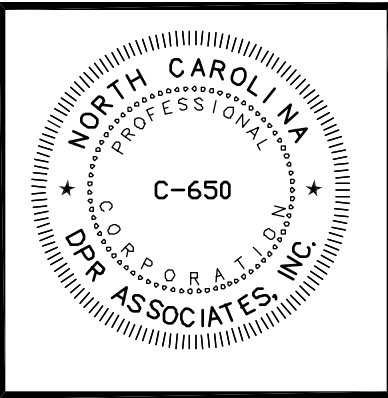
SHEET SCHEDULE
LG-1 GRADING/STORM DRAINAGE & EROSION
CONTROL PLAN - PHASE 1
LG-2 GRADING/STORM DRAINAGE & EROSION
CONTROL PLAN - PHASE 2
LG-3 SITE DETAILS

LEGEND
EXISTING CONTOUR
PROPOSED CONTOUR
RIGHT-OF-WAY
EXISTING EASEMENTS
EXISTING STORM PIPE
DIVERSION DITCH
DRAINAGE AREA
FORMER PARCEL BOUNDARIES
LOT NUMBER
LIMITS OF GRADING



Project Manager
DDS
Drawn By
DDS
Checked By
LRM
Date
10/14/14
Project Number
14037

REVISIONS:			
No.	Date	By	Description



DPR ASSOCIATES
Landscape Architects
Planners & Engineers
420 Hawthorne Lane
Charlotte, NC 28204
704/332-1204

SITE PLAN WITH EXISTING CONDITIONS

KINGSTREE - PHASE 1
SINGLE FAMILY SUBDIVISION
FIRST RUN COURT
MECKLENBURG COUNTY, NORTH CAROLINA

CLIENT / OWNER:
LGI HOMES-NC, LLC
2631 S. TRYON ST., SUITE-D
CHARLOTTE, NC 28208
PH. #: (704) 780-5160

Scale:
1" = 40'

Sheet Number
LG-1

SHEET 2 OF 3 TOTAL