

APPROVED FOR  
CONSTRUCTION  
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
By: Joshua Weaver 2-4-2015



ENGINEERING  
PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL  
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING  
AT LEAST 48 HRS. PRIOR TO ANY LAND  
DISTURBING ACTIVITY USING THE ONLINE  
FORM AT <http://development.charmeck.org>

URBAN FORESTRY  
TREE ORDINANCE

CDOT

NOTE: THIS PLAN APPROVAL DOES NOT  
INCLUDE COMMERCIAL ZONING. ALL BUILDING  
PERMITS AND ZONING APPROVALS CAN BE  
OBTAINED AT MECKLENBURG COUNTY CODE  
ENFORCEMENT. PLEASE CALL CTAC AT  
704-336-3829 FOR MORE INFORMATION.

APPROVED  
By Emily Chien at 3:31 pm, Feb 04, 2015

APPROVED

APPROVED Kelly Robertson

APPROVED Keith Bryant

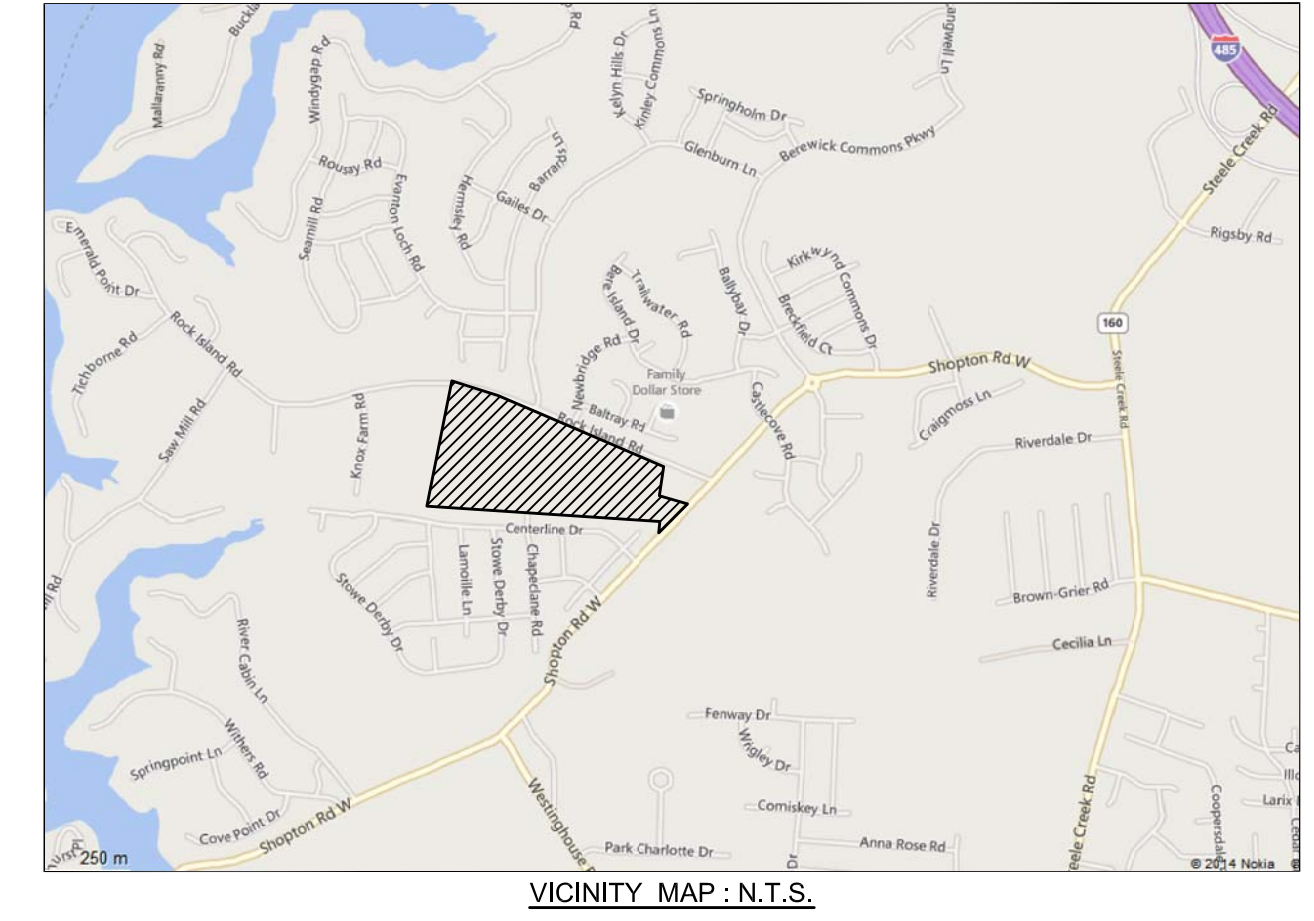
Estimated Impervious Area Breakdown - OVERALL SITE				
60' Lots	4,750 sf x 120 lots	570,000 sq ft	=	13.09 ac
(avg house pad 4,250 sf + 20' x 25' Driveway + 4' x 20' sidewalk + 150 Patio + 200 sf misc. future allocation)				
Streets:				
Chapelcane, B/C-B/C (approx. 26 x 1125)		29,250 sq ft	=	0.67 ac
Moonlight Bay, B/C-B/C (approx. 26 x 1506)		39,156 sq ft	=	0.90 ac
Eleanor Rigby, B/C-B/C (approx. 26 x 2036)		52,936 sq ft	=	1.22 ac
Strawberry Fields, B/C-B/C (approx. 26 x 508)		13,208 sq ft	=	0.30 ac
Maggie May, B/C-B/C (approx. 26 x 424)		11,024 sq ft	=	0.25 ac
Sidewalk (Approx. 5 ft x 2 x 5575 ft):				
		55,750 sq ft	=	1.28 ac
Additional Impervious (Driveway within street R/W) (Approx. 20 ft x 10 ft x 119 lots):				
		16,300 sq ft	=	0.37 ac
Offsite Sidewalk @ Rock Island (approx. 1,908 lf x 5'):				
		9,900 sq ft	=	0.23 ac
Offsite Sidewalk @ Shopton (approx. 345 lf x 6'):				
		2,070 sq ft	=	0.05 ac
Sub-Total		229,594 sq ft	=	5.27 ac
Pond @ W.S.		0,000 sq ft	=	0.00 ac
Existing (Rock Island Rd)		13,000 sq ft	=	0.30 ac
Total Impervious Area		812,594 sq ft	=	18.65 ac
Total Net Site Area		42.12 ac		
BMP Watershed Area		39.50 ac		
Impervious Area Summary				
	Imperv. Area (Ac)	% of Imp. Area of Site Area	% of Imp. Area of WS Area	
Single Family	13.09	31.07%	33.13%	
Streets	5.27	12.51%	13.34%	
Pond @ WS	0.00	0.00%	0.00%	
Existing	0.30	0.71%	0.76%	
Total	18.65	44.29%	47.23%	

\*NOTE: OVERALL BUA = 50% Max. for Lake Wylie Critical Area

PCCO SUMMARY			
Original Parcel ID Number(s):	19958102		
Development Type:	Single-Family		
Subject to PCCO? Y/N	YES		
If NO, why?	Click for Dropdown --		
Watershed:	Western Catawba		
Overlay	Lower Lake Wylie - Critical Area		
Disturbed Area (ac):	37.50		
Site Area (Net) (ac):	42.12		
	BMP #1 Sand Filter	BMP #2 Sand Filter	BMP #3 Sand Filter
	19.50	7.50	10.20
Total on-site Drainage Area (ac):	0.00		
Existing Built-upon-area (ac):	0.00		
Existing BUA to be removed (ac):	0.00		
Existing BUA to remain (ac):	0.00		
Proposed New BUA (ac):	18.03		
Proposed % BUA:	47.23%		
Density (High / Low)	High		
Total Post-Project BUA for site:	Development		
Development or Redevelopment?	17.5% = 7.37		
Natural Area Required: (>24%/-50%)	7.40		
Natural Area Provided (ac):	> 7.37 = OK		
Total stream buffer protected on-site (ac):	N/A		
Transit Station Area? Y/N	N		
Distressed Business District? Y/N	N		
Mitigation Type (if applicable)	N/A		
Natural Area mitigation? Y/N	N/A		
Buffer Mitigation? Y/N	N/A		
Total Phosphorous Mitigation? Y/N	N/A		

IMPERVIOUS AREA CALCULATION (BUA) BREAKDOWN:

SUB-BASIN:	BMP-1	BMP-2	BMP-3
TOTAL DA AREA (AC.)	19.5	7.5	10.2
# LOTS (4)	60.5	21.5	35
IMPERVIOUS IN LOT AREA (AC.)	6.60	2.34	3.82
IMPERV. IN STREET + SW (AC.)	2.50	1.35	1.16
TOTAL IMPERV. AREA (AC.)	9.10	3.69	4.97

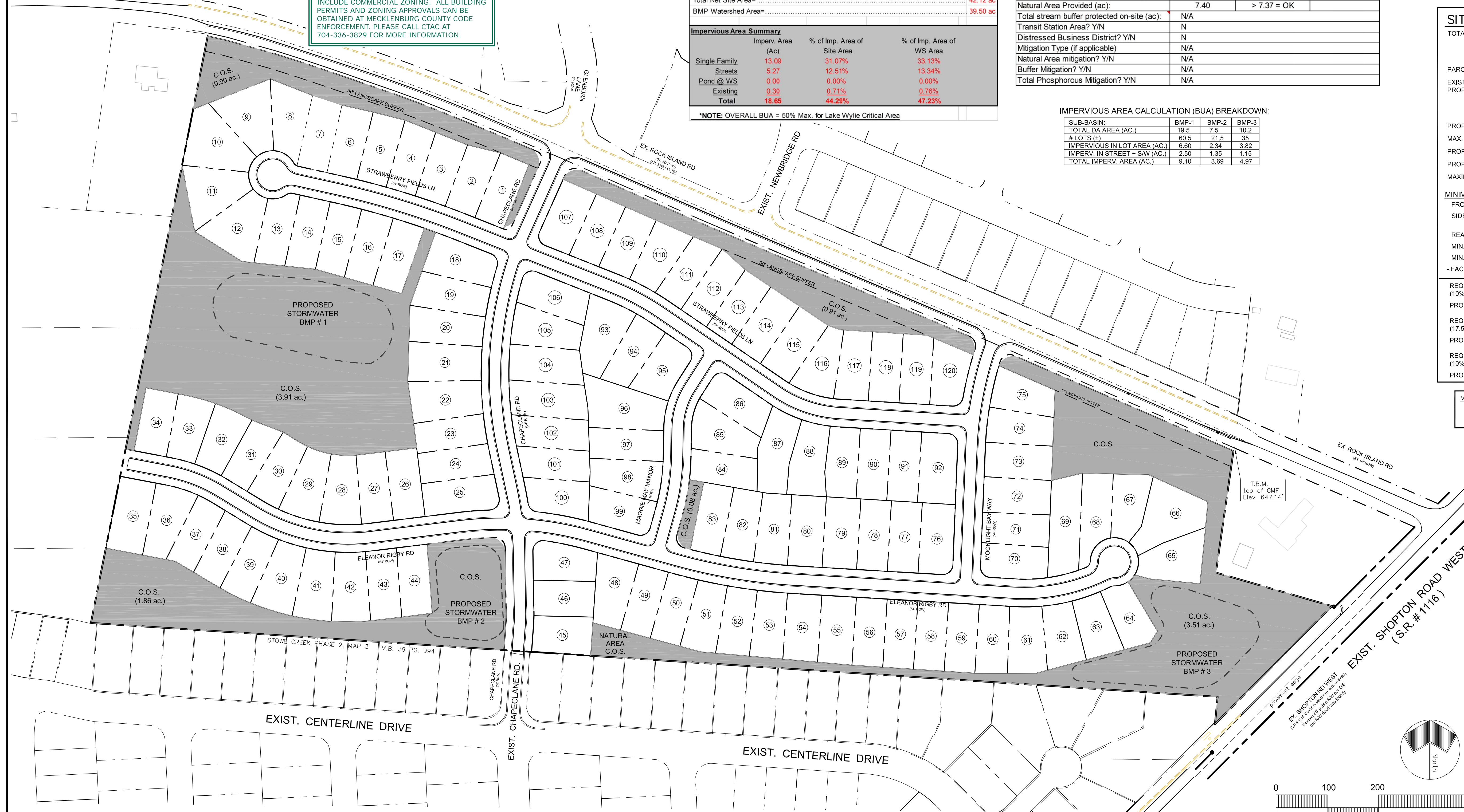


SITE TABULATION:	
TOTAL SITE AREA:	44.34 AC. (GROSS) 42.12" AC. (NET) *Excludes right of way to be dedicated on Rock Island Rd and Shopton Road West
PARCEL ID#:	199-581-02
EXISTING ZONING:	R-3
PROPOSED ZONING:	R-3 CLUSTER, SINGLE FAMILY RESIDENTIAL, LOWER LAKE WYLIE WATERSHED, DEVELOPED AS HIGH-DENSITY: MAX. BUA PER LOT = 4,750 S.F. (SEE BUA CHART, THIS SHEET)
PROPOSED PARKING:	MIN. 2 PER LOT
MAX. ALLOWABLE LOTS :	126
PROPOSED DENSITY:	2.82
PROPOSED # OF LOTS :	120 DETACHED SINGLE-FAMILY
MAXIMUM BLDG. HEIGHT:	35'
MINIMUM LOT STANDARDS (WITH CLUSTER DEVELOPMENT):	
FRONT YARD:	20' FROM ROW
SIDE YARD:	5' INTERNAL LOTS, 6' EXTERNAL LOTS 10' CORNER LOTS
REAR YARD:	45' EXTERNAL, 30' INTERNAL
MIN. LOT WIDTH:	60' @ SETBACK
MIN. LOT AREA:	8,000 S.F.
- FACE OF GARAGES TO BE SET BACK A MINIMUM OF 20' FROM RIGHT-OF-WAY	
REQUIRED TREE SAVE (10% NET AREA)	4.21 AC
PROVIDED TREE SAVE	4.21 AC SEE SHT. L-16
REQUIRED NATURAL AREA (17.5% NET AREA)	7.37 AC
PROVIDED NATURAL AREA	7.40 AC (Includes 8' planting strip) SEE SHT. L-16
REQUIRED COMMON OPEN SPACE (10% MIN. AREA)	4.21 AC
PROVIDED C.O.S.	11.17 AC (26.5%)

MAX ALLOWED BUILDING COVERAGE PER LOT:			
Up to 4000 S.F. LOTS	= 50%	8501-15000 S.F. LOTS	= 35%
4001-6500 S.F. LOTS	= 45%	15001 S.F. or greater	= 30%
6501-8500 S.F. LOTS	= 40%		

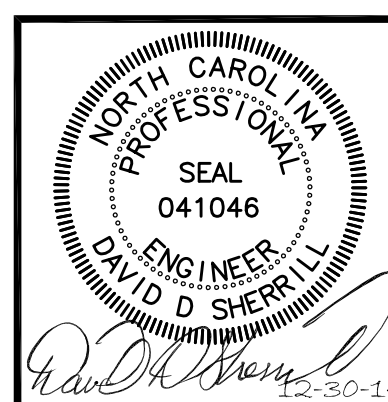
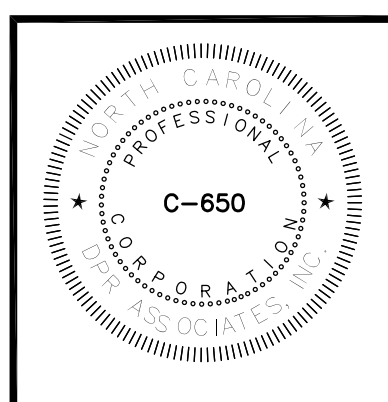
## SHEET SCHEDULE

- L-1 COVER SHEET
- L-2 EXISTING CONDITIONS PLAN
- L-3 SITE PLAN ( WEST )
- L-4 SITE PLAN ( EAST )
- L-5 OVERALL GRADING PLAN
- L-6 GRADING AND STORM DRAINAGE PLAN
- L-7 GRADING AND STORM DRAINAGE PLAN
- L-8 EROSION CONTROL PLAN - INITIAL PHASE
- L-9 EROSION CONTROL PLAN - FINAL PHASE
- L-10 EROSION CONTROL PLAN - FINAL PHASE
- L-11 BMP ENLARGEMENT AND DETAILS PLAN
- L-12 BMP ENLARGEMENT AND DETAILS PLAN
- L-13 STORM DRAINAGE AREA PLAN
- L-14 ROAD PROFILES
- L-15 ROAD PROFILES
- L-16 PLANTING PLAN
- L-17 STANDARD DETAILS
- L-18 STANDARD DETAILS
- RD-1 ROAD IMPROVEMENTS - WIDENING
- RD-2 ROAD IMPROVEMENTS - TRAFFIC CONTROL
- RD-3 ROAD WIDENING - CROSS SECTIONS
- RD-4 ROAD WIDENING - CROSS SECTIONS
- RD-5 ROAD WIDENING - CROSS SECTIONS
- RD-6 ROAD WIDENING - CROSS SECTIONS
- RD-7 ROAD WIDENING - CROSS SECTIONS
- RD-8 ROAD WIDENING - CROSS SECTIONS
- RD-9 ROAD WIDENING - CROSS SECTIONS
- RD-10 ROAD WIDENING - CROSS SECTIONS
- RD-11 ROAD WIDENING - CROSS SECTIONS & DETAILS



REVISIONS:				
No.	Date	By	Description	
1	10-28-14	DDS	REVISED PER CITY OF CHARLOTTE COMMENTS	
2	12-30-14	DDS	REVISED PER CITY OF CHARLOTTE COMMENTS	

Project Manager DDS
Drawn By DDS
Checked By HVN
Date 09 / 25 / 2014
Project Number 14016



**DPR** landscape architecture  
civil engineering  
planning

DPR Associates, Inc. • 420 Hawthorne Lane • Charlotte, NC 28204  
phone 704.332.1204 • fax 704.332.1210 • [www.dprassociates.net](http://www.dprassociates.net)

COVER SHEET

CLARABELLA  
CHARLOTTE - MECKLENBURG, NC  
M/I HOMES OF CHARLOTTE, LLC

CLIENT / OWNER:  
M/I HOMES OF CHARLOTTE, LLC  
5550 SEVENTH - SEVEN CENTER DRIVE  
SUITE # 100  
CHARLOTTE, NC 28217  
(704) 597-4571

Scale: 1" = 100'
Sheet Number L-1
SHEET 1 OF 18 TOTAL

CLARABELLA / 14016



ISD NOTE

1. IN ACCORDANCE WITH CDOT'S SIGHT DISTANCE POLICY, ADEQUATE INTERSECTION SIGHT DISTANCE (ISD) IS TO BE PROVIDED AT THE EXISTING PUBLIC STREET CONNECTION TO PARK ROAD FOR A MINIMUM OF 335 FEET IN BOTH DIRECTIONS ALONG THE ROADWAY. ISD IS MEASURED FROM A POINT 15 FEET BACK FROM THE PROJECTION OF THE PARK ROAD CURB LINE IN THE OUTBOUND LANE OF THE PROPOSED PRIVATE DRIVE TO THE CENTER OF EACH APPROACHING LANE. THE SIGHT DISTANCE IS BASED ON A DRIVER'S EYE HEIGHT OF 3.5 FEET AND AN APPROACHING VEHICLE HEIGHT OF 3.5 FEET.
2. EXISTING TREES WITHIN THE AREA OF THE ISD LINE SHALL BE LIMBED UP IN ORDER TO PROVIDE 6' OF VERTICAL CLEARANCE BETWEEN THE GROUND AND THE LOWEST LIMBS OF THE EXISTING TREES.

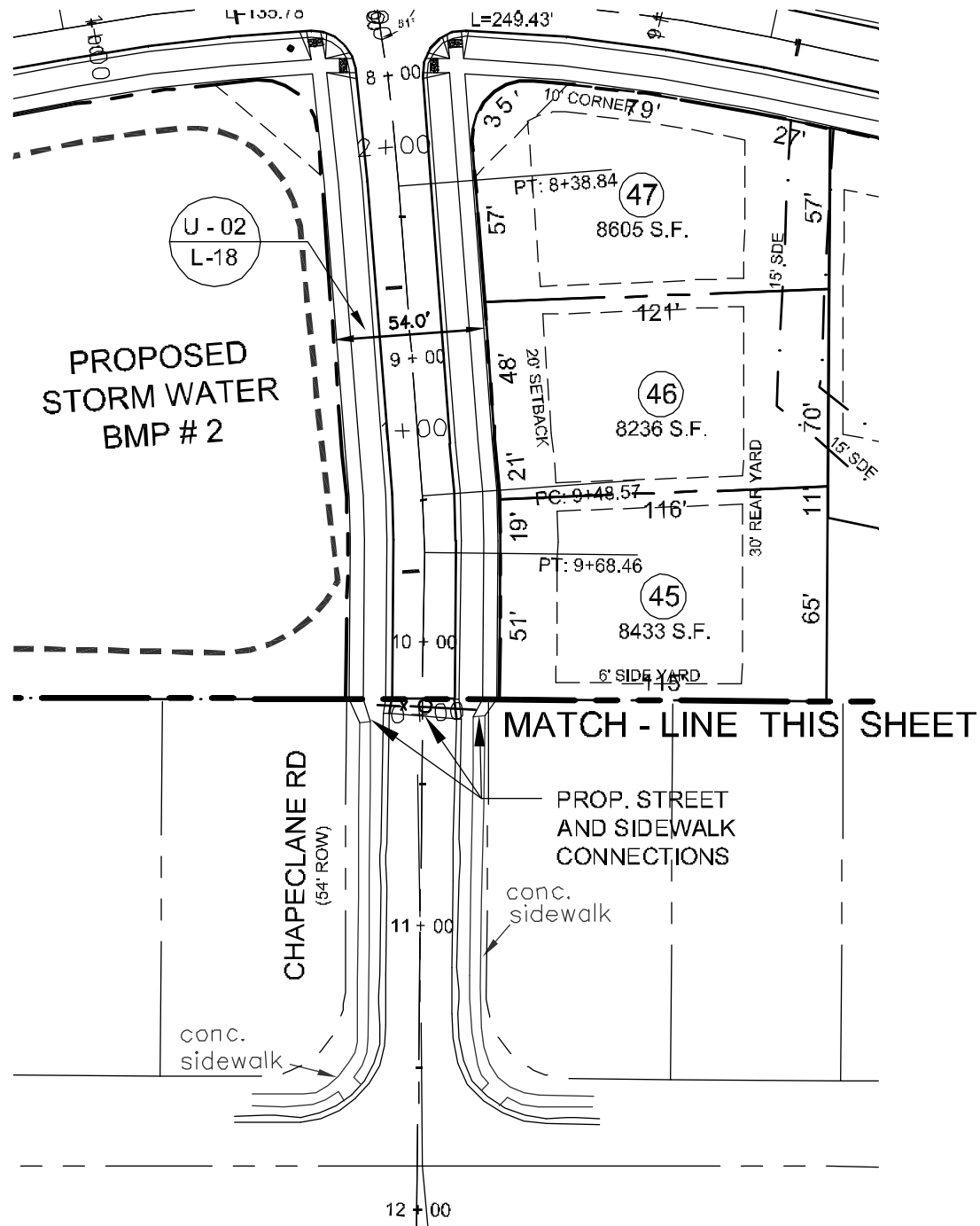
NOTE :  
SEE SHEET L - 4 FOR GENERAL / SITE NOTES  
SEE SHEET L - 16 FOR NATURAL AREA AND TREESAVE AREA.

LEGEND

- |     |                        |
|-----|------------------------|
| 100 | LOT NUMBER             |
| --- | EXISTING PROPERTY LINE |
| --- | PROPOSED RIGHT OF WAY  |
| --- | EXISTING WOODS LINE    |
| --- | EXISTING CREEK         |
| --- | SITE DISTANCE TRIANGLE |
| --- | STORM DRAIN EASEMENT   |
| --- | ACCESSIBLE RAMP        |
| ●   | STOP SIGNAGE           |
| --- | SPEED LIMIT SIGNAGE    |

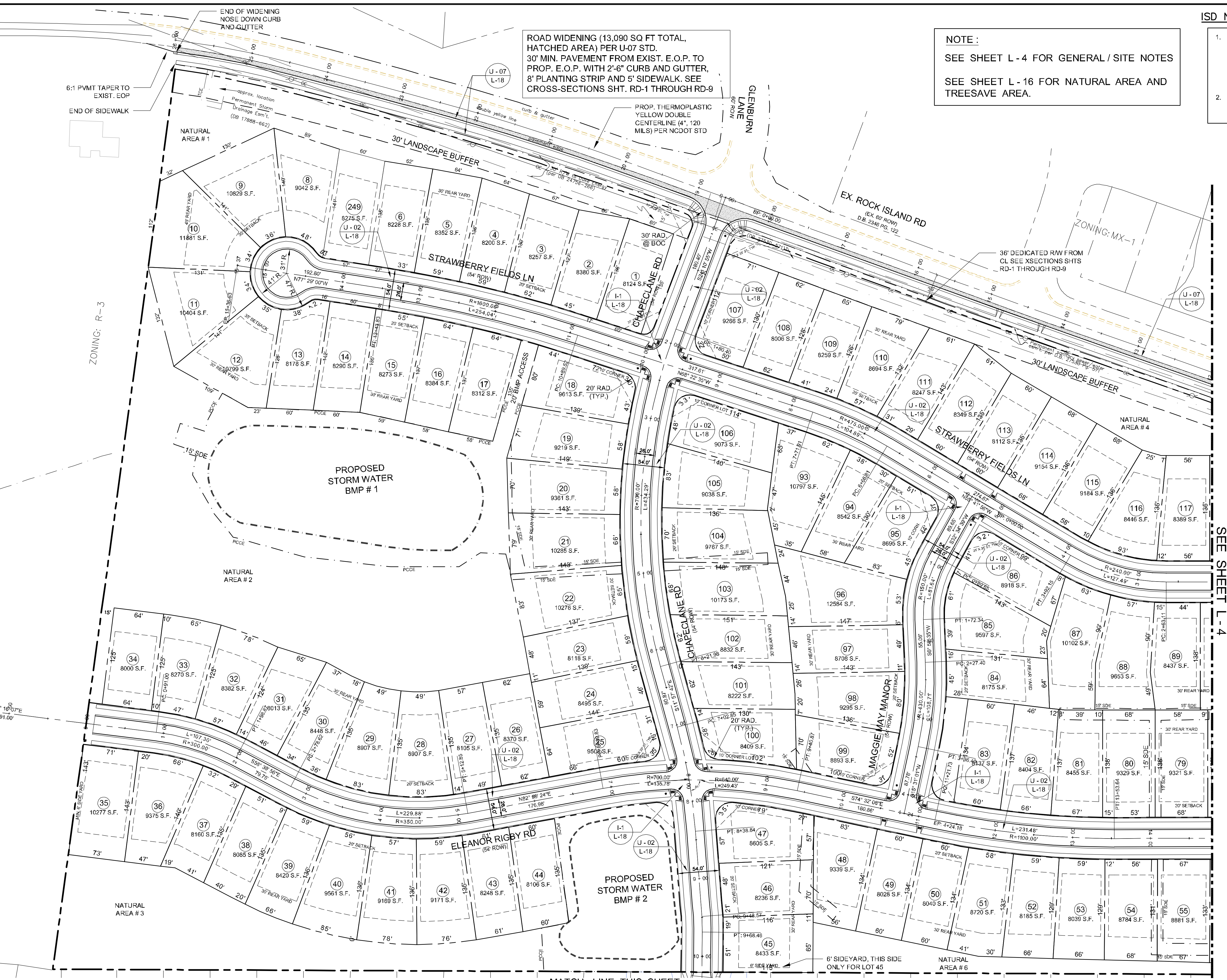
RETAINING WALL NOTES:

1. RETAINING WALLS GREATER THAN 4 FT. HIGH (RESIDENTIAL) OR 5 FT. HIGH (COMMERCIAL) REQUIRE A PERMIT FROM MECKLENBURG COUNTY CODE ENFORCEMENT PRIOR TO CONSTRUCTION.
2. CONSTRUCTION OF WALL CANNOT BEGIN UNTIL ALL NECESSARY PERMITS ARE ACQUIRED.
3. THE MECKLENBURG COUNTY ENGINEERING DEPARTMENT HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR RETAINING WALLS.



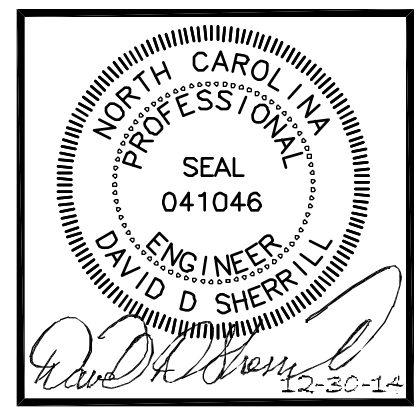
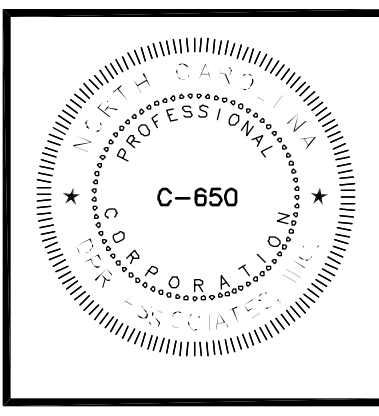
ROAD WIDENING (13,090 SQ FT TOTAL, HATCHED AREA) PER U-07 STD.  
30' MIN. PAVEMENT FROM EXIST. E.O.P. TO PROP. E.O.P. WITH 2'-6" CURB AND GUTTER, 8' PLANTING STRIP AND 5' SIDEWALK. SEE CROSS-SECTIONS SHT. RD-1 THROUGH RD-9

PROP. THERMOPLASTIC YELLOW DOUBLE CENTERLINE (4", 120 MILS) PER NCDOT STD



REVISIONS:			
No.	Date	By	Description
1	10-28-14	DDS	REVISED PER CITY OF CHARLOTTE COMMENTS
2	12-23-14	DDS	REV. PER CITY OF CHARLOTTE COMMENTS

Project Manager DDS	
Drawn By DDS	
Checked By HVN	
Date 09 / 25 / 2014	
Project Number 14016	



**DPR** landscape architecture  
civil engineering  
planning

DPR Associates, Inc. ■ 420 Hawthorne Lane ■ Charlotte, NC 28204  
phone 704.332.1204 ■ fax 704.332.1210 ■ www.dprassociates.net

SITE PLAN ( WEST )

**CLARABELLA**  
CHARLOTTE - MECKLENBURG, NC  
M/I HOMES OF CHARLOTTE, LLC

CLIENT / OWNER:  
M/I HOMES OF CHARLOTTE, LLC  
5350 SEVENTY-SEVEN CENTER DRIVE  
SUITE # 100  
CHARLOTTE, NC 28217  
(704) 597-4571

Scale:  
1" = 60'

Sheet Number  
**L-3**  
SHEET 3 OF 18 TOTAL



ISD NOTE

- IN ACCORDANCE WITH CDOT'S SIGHT DISTANCE POLICY, ADEQUATE INTERSECTION SIGHT DISTANCE (ISD) IS TO BE PROVIDED AT THE EXISTING PUBLIC STREET CONNECTION TO PROPOSED ACCESS ROADS FOR A MINIMUM OF 450 FEET IN BOTH DIRECTIONS ALONG THE ROADWAY. ISD IS MEASURED FROM A POINT 15 FEET BACK FROM THE PROJECTION OF THE PARK ROAD CURB LINE IN THE OUTBOUND LANE OF THE PROPOSED PRIVATE DRIVE TO THE CENTER OF EACH APPROACHING LANE. THE SIGHT DISTANCE IS BASED ON A DRIVER'S EYE HEIGHT OF 3.5 FEET AND AN APPROACHING VEHICLE HEIGHT OF 3.5 FEET.
- EXISTING TREES WITHIN THE AREA OF THE ISD LINE SHALL BE LIMBED UP IN ORDER TO PROVIDE 6' OF VERTICAL CLEARANCE BETWEEN THE GROUND AND THE LOWEST LIMBS OF THE EXISTING TREES.

RETAINING WALL NOTES:

- RETAINING WALLS GREATER THAN 4 FT. HIGH (RESIDENTIAL) OR 5 FT. HIGH (COMMERCIAL) REQUIRE A PERMIT FROM MECKLENBURG COUNTY CODE ENFORCEMENT PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WALL CANNOT BEGIN UNTIL ALL NECESSARY PERMITS ARE ACQUIRED.
- THE MECKLENBURG COUNTY ENGINEERING DEPARTMENT HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR RETAINING WALLS.

GENERAL/SITE NOTES:

- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY BY A.G. ZOUTEWELLE, DATED 6/05/14. OFF-SITE TOPOGRAPHIC INFORMATION TAKEN FROM MECKLENBURG COUNTY GIS.
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWING FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
- STORM DRAIN EASEMENTS (SDE) ARE TO BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNER OR HOMEOWNERS ASSOCIATION.
- ALL RADII AT INTERSECTIONS TO BE 20' AT RIGHT-OF-WAY AND 20' AT BACK OF CURB UNLESS OTHERWISE NOTED.
- LOT DIMENSIONS ARE APPROXIMATE. REFERENCE RECORD PLAT FOR EXACT DIMENSIONS.
- GRADING AREAS OUTSIDE THE LIMITS SHOWN IS A VIOLATION OF CITY ORDINANCE AND IS SUBJECT TO FINES.
- GRADING MORE THAN ONE ACRE WITHOUT A PERMIT IS A VIOLATION MUST BE SUBMITTED TO THE CHARLOTTE ENGINEERING DEPT. IN ACCORDANCE WITH CITY OF CHARLOTTE SUBDIVISION ORDINANCE, CITY CODE AND SUBJECT TO FINES.
- THIS DEVELOPMENT WILL BE SERVICED BY PUBLIC (CMU) WATER AND SEWER.
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FROM ALL REGULATORY AUTHORITIES.
- GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
- A RIGHT-OF-WAY ENCROACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ALL NON-STANDARD ITEMS (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK PAVERS, ETC.) WITHIN A PROPOSED EXISTING CITY MAINTAINED STREET RIGHT-OF-WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNERS/BUSINESS ASSOCIATION. AN ENCROACHMENT AGREEMENT MUST BE APPROVED BY CDOT/NC DOT PRIOR TO THE CONSTRUCTION/INSTALLATION OF THE NON-STANDARD ITEMS. CONTACT CDOT/NC DOT FOR ADDITIONAL INFORMATION CONCERNING COST, SUBMITTAL AND LIABILITY INSURANCE COVERAGE REQUIREMENTS. IT IS POSSIBLE THAT CDOT/NC DOT MAY NOT APPROVE ALL ITEMS SOUGHT UNDER AN ENCROACHMENT AGREEMENT.
- ALL DRAINAGE FACILITIES, CURB CUTS, AND CURB RAMPS MUST BE CONSTRUCTED IN COMPLIANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL AND COORDINATED WITH CITY ENGINEERING DEPARTMENT.
- ALL PROPOSED TREES, BERMS, WALLS, FENCES AND/OR IDENTIFICATION SIGNS MUST NOT INTERFERE WITH SIGHT DISTANCE AT THE STREET CONNECTIONS.
- PROPOSED SIGNAGE AND LANDSCAPING AND OTHER MONUMENTATIONS SHALL BE PERMITTED IN CONFORMANCE WITH ZONING ORDINANCE REQUIREMENTS.
- ALL PAVEMENT MARKINGS SHALL HAVE A MIN. WIDTH OF FOUR (4) INCHES UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES ON THE SITE.
- ALL DISTURBED AREAS NOT TO RECEIVE BUILDING OR PAVEMENT SHALL BE SEEDED AND STRAW MULCHED.
- COORDINATE PUBLIC STREET CURB IN INTERSECTION WITH INSPECTOR.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLDS 50.05 (9' SIGNS ONLY).
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- IN ORDER TO ENSURE PROPER DRAINAGE, MAINTAIN A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR. PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC STREET DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION. PIPE SYSTEMS LOCATED WITHIN PERMANENT STORM DRAINAGE EASEMENT IN THE CITY ARE TO BE MAINTAINED BY THE CITY IN AN "ON-CALL" MANNER. THE CITY WILL NEITHER BE RESPONSIBLE FOR THE GROUNDS WITHIN THE PERMANENT STORM DRAINAGE EASEMENT NOR REMOVAL OF ANY OBSTRUCTIONS IN THAT AREA.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM MUST BE SUBMITTED PRIOR TO FINAL SUBDIVISION INSPECTION TO THE CITY OF CHARLOTTE ENGINEERING DEPT. IN ACCORDANCE WITH THE CITY SUBDIVISION ORDINANCE.
- ONLY PATIOS (NO ELEVATED DECKS) AT GRADE ARE ALLOWED IN THE SETBACK.
- ALL ROAD IMPROVEMENTS AT INTERSECTION WITH ROCK ISLAND ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- CONTRACTOR TO PROVIDE TRAFFIC CONTROL DURING SITE CONSTRUCTION WITHIN ROCK ISLAND ROAD R.O.W. AS DIRECTED BY CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDOT).
- ALL DRIVEWAYS SHALL BE IN ACCORDANCE WITH NC DOT AND CITY OF CHARLOTTE STANDARDS, DETAILS AND SPECIFICATIONS.
- TOP SOIL TO BE STRIPPED AND SMALL PORTION OF THE TOP SOIL MAY BE STOCKPILED ON-SITE IN AREAS DIRECTED BY SITE DEVELOPERS. CONTRACTOR TO BE RESPONSIBLE FOR THE REMAINDER OF THE TOP SOIL.
- CONTRACTOR TO COORDINATE ANY PROBLEMS OR FIELD CONDITIONS THAT MAY CHANGE DESIGN WITH DPR ASSOCIATES, INC. PRIOR TO PROCEEDING.
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE CONTRACTOR. BEFORE YOU DIG, STOP: CALL THE NC ONE-CALL CENTER (811). IT'S THE LAW.
- ALL NC DOT STANDARDS ARE PER HIGHWAY DESIGN BRANCH ROADWAY STANDARD DRAWINGS JANUARY 2012 OR LATEST EDITION.
- PROPOSED SIGNAGE SHALL COMPLY WITH CITY OF CHARLOTTE ZONING REQUIREMENTS.
- ALL ADA RAMPS TO BE INSTALLED PER CITY OF CHARLOTTE STANDARDS, AND NC DOT STANDARDS AT PUBLIC STREET R.O.W. ALONG SHOPTON ROAD.
- CONTRACTOR TO OBTAIN BUILDING DEMOLITION PERMIT AS REQUIRED PER ALL APPLICABLE REGULATIONS.
- THE SITE IS LOCATED IN LOWER LAKE WYLIE CRITICAL AREA AND WILL BE DEVELOPED WITH HIGH DENSITY OPTION. MAXIMUM IMPERVIOUS AREA=50%. AREAS THAT DO NOT DRAIN TO BMP WILL BE DEVELOPED WITH 20% MAXIMUM IMPERVIOUS AREA.
- ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM ZONING ADMINISTRATION. ANY ON-SITE DEMOLITION LANDFILLS OR STUMPHOLES SHALL BE A MINIMUM OF 100' FROM ANY EXTERIOR PROPERTY LINE. (NO ON-SITE BURIAL WILL BE PERMITTED FOR THIS PROJECT.).
- NEW CURB & GUTTER SHOWN ON PLANS ALONG ROCK ISLAND ROAD OR SHOPTON ROAD WEST MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- A SIGHT DISTANCE EASEMENT IS REQUIRED TO BE RECORDED WHERE A SIGHT DISTANCE LINE SHOWN GOES OUTSIDE OF AN NC DOT R.O.W. THIS EASEMENT MUST BE RECORDED BEFORE NC DOT WILL GRANT DRIVEWAY PERMITS.

SITE TABULATION:

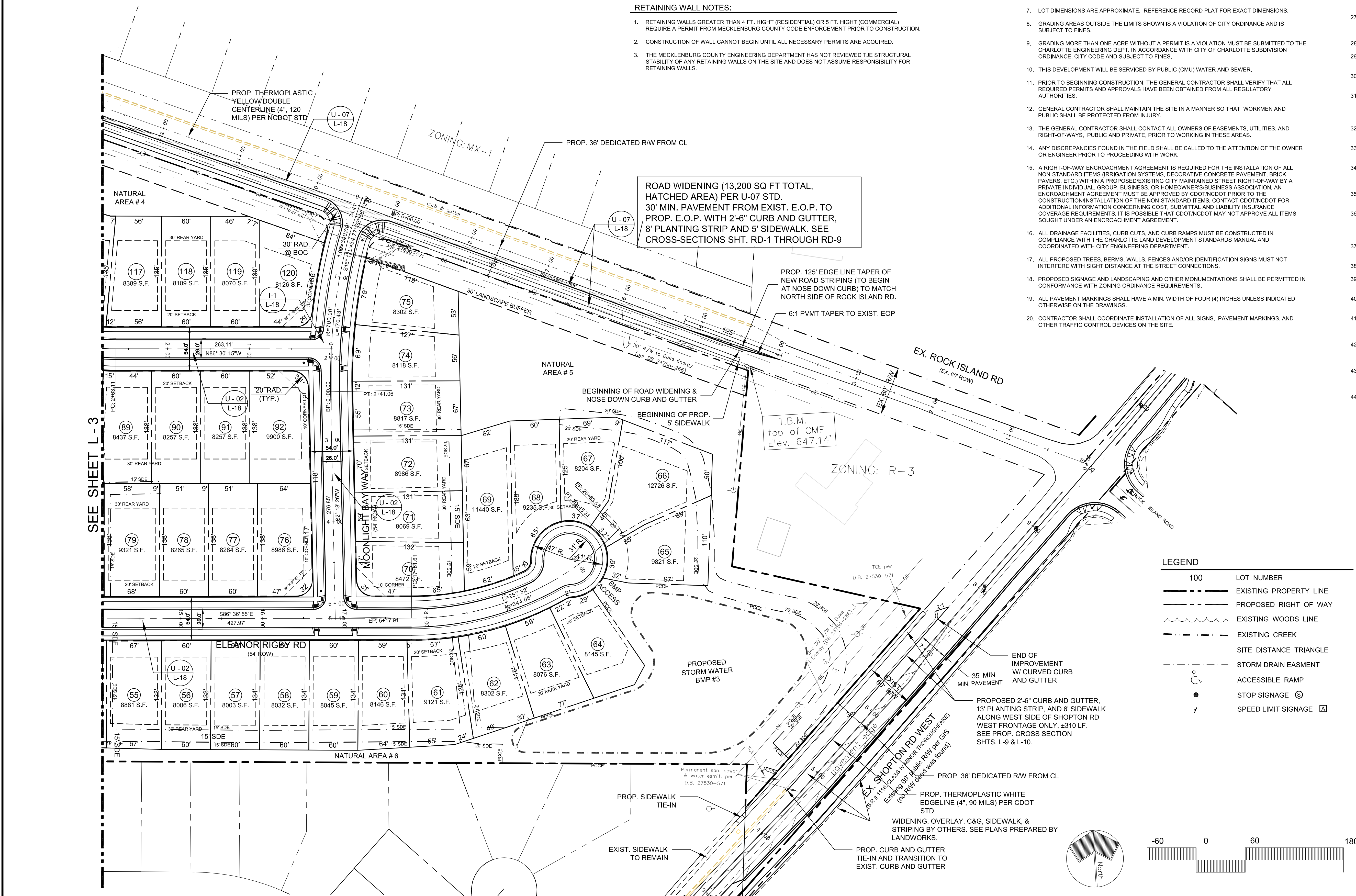
TOTAL SITE AREA:	44.34 AC. (GROSS) 42.12 AC. (NET)
PARCEL ID#:	199-581-02
EXISTING ZONING:	R-3
PROPOSED ZONING:	R-3 CLUSTER, SINGLE FAMILY RESIDENTIAL, LOWER LAKE WYLIE WATERSHED DEVELOPED AS HIGH-DENSITY; MAX. BUA PER LOT = 4,750 S.F. (SEE BUA CHART, THIS SHEET)

PROPOSED PARKING:	MIN. 2 PER LOT
MAX. ALLOWABLE LOTS :	126
PROPOSED DENSITY:	2.82
PROPOSED # OF LOTS :	120 DETACHED SINGLE-FAMILY
MAXIMUM BLDG. HEIGHT:	35'

MINIMUM LOT STANDARDS (WITH CLUSTER DEVELOPMENT):	
FRONT YARD:	20' FROM ROW
SIDE YARD:	5' INTERNAL LOTS, 6' EXTERNAL LOTS 10' CORNER LOTS
REAR YARD:	30' INTERNAL, 45' EXTERNAL
MIN. LOT WIDTH:	60' @ SETBACK
MIN. LOT AREA:	8,000 S.F.
-FACE OF GARAGES TO BE SET BACK A MINIMUM OF 20' FROM RIGHT-OF-WAY	

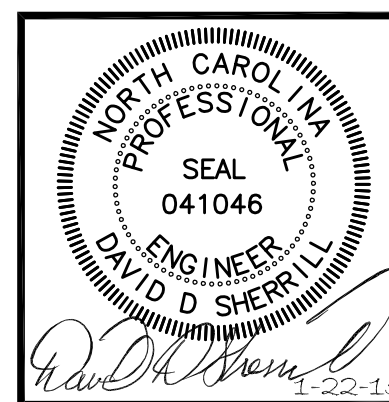
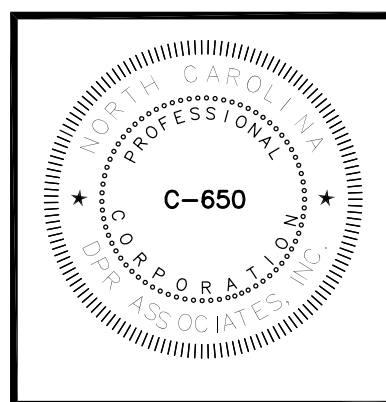
REQUIRED TREE SAVE (10% NET AREA)	4.21 AC	
PROVIDED TREE SAVE	4.21 AC	SEE SHT. L-16
REQUIRED NATURAL AREA (17.5% NET AREA)	7.37 AC	
PROVIDED NATURAL AREA	7.40 AC (Includes 8' planting strip)	SEE SHT. L-16
REQUIRED COMMON OPEN SPACE (10% MIN. AREA)	4.21 AC	
PROVIDED C.O.S.	11.17 AC (26.5%)	

MAX ALLOWED BUILDING COVERAGE PER LOT:	
Up to 4000 S.F. LOTS	= 50%
4001-6500 S.F. LOTS	= 45%
6501-8500 S.F. LOTS	= 40%
8501-15000 S.F. LOTS	= 35%
15001 S.F. or greater	= 30%



Project Manager		DDS
Drawn By		DDS
Checked By		HVN
Date		09 / 25 / 2014
Project Number		14016

REVISIONS:			
No.	Date	By	Description
1	10-28-14	DDS	REVISED PER CITY OF CHARLOTTE COMMENTS
2	12-30-14	DDS	REV. PER CITY OF CHARLOTTE COMMENTS
3	1-22-15	DDS	REVISED PER NC DOT COMMENTS



**DPR** landscape architecture  
civil engineering  
planning

DPR Associates, Inc. • 420 Hawthorne Lane • Charlotte, NC 28204  
phone 704.332.1204 • fax 704.332.1210 • www.dprassociates.net

SITE PLAN ( EAST )

**CLARABELLA**  
CHARLOTTE - MECKLENBURG, NC  
M/I HOMES OF CHARLOTTE, LLC

CLIENT / OWNER:  
M/I HOMES OF CHARLOTTE, LLC  
5350 SEVENTY-SEVEN CENTER DRIVE  
SUITE # 100  
CHARLOTTE, NC 28217  
(704) 597-4571

Scale:	1" = 60'
Sheet Number	L-4
SHEET 4 OF 18 TOTAL	