

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	PRELIMINARY PLAN
3	LANDSCAPE PLAN
4	TREE SAVE PLAN
5	EXISTING CONDITION AND DEMOLITION PLAN
6	GRADING PLAN
7	STORM DRAIN AREA MAP
8	PRE-DEV EC PLAN
9	POST-DEV EC PLAN
10	EC DETAILS
11	EC DETAILS
12	FARMINGTON RIDGE PKWY.
13	ABENDEGO ROAD
14	MESHACK AVENUE
15	SUNBURST LN. & CASRACK ST.
16	STAFFORDSHIRE LANE
17	WOOLCOTT AVENUE
18	FARMINGTON SIGHT DISTANCE
19	SUNBURST SIGHT DISTANCE PLAN
20	TURN LANE AND TRAFFIC CONTROL PLAN
21	TURN LANE AND TRAFFIC CONTROL PLAN
22	CALDWELL ROAD CROSS SECTIONS
23	CALDWELL ROAD CROSS SECTIONS
24	CALDWELL ROAD CROSS SECTIONS
25	CALDWELL ROAD CROSS SECTIONS
26	CALDWELL ROAD CROSS SECTIONS
27	CALDWELL ROAD CROSS SECTIONS
28	DETAILS
29	DETAILS
30	DETAILS
31	DETAILS
32	DETAILS
33	BMP 1 DETAIL SHEET
34	BMP 2 DETAIL SHEET
35	BMP 2A DETAIL SHEET
36	BMP 3 DETAIL SHEET
37	BMP 4 DETAIL SHEET

APPROVED FOR
CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
BY: Joshua Weaver 9-11-2015



ENGINEERING
PCD / DETENTION / DRAINAGE PLAN

EROSION CONTROL
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

URBAN FORESTRY
TREE ORDINANCE

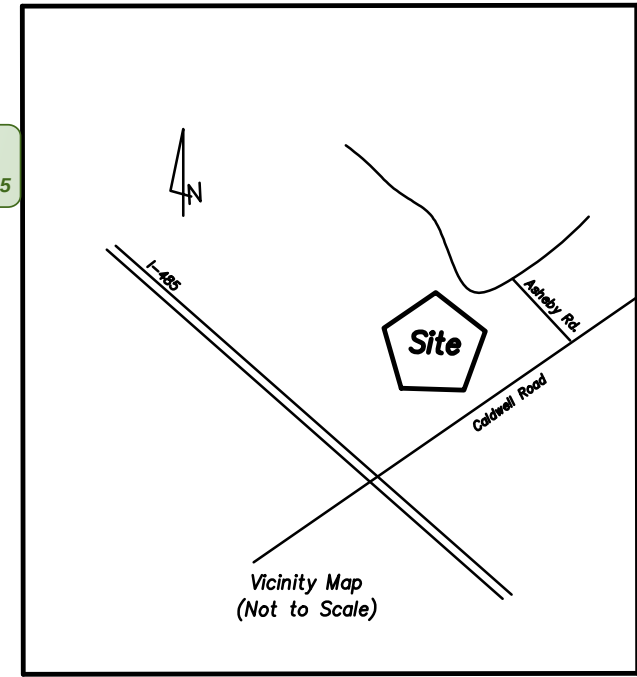
CDOT

NOTE: THIS PLAN APPROVAL DOES NOT INCLUDE COMMERCIAL ZONING. ALL BUILDING PERMITS AND ZONING APPROVALS CAN BE OBTAINED AT MECKLENBURG COUNTY CODE ENFORCEMENT. PLEASE CALL CTAC AT 704-336-3829 FOR MORE INFORMATION.

APPROVED
By Mark Chapman at 3:18 pm, Sep 11, 2015

APPROVED

APPROVED



CONSTRUCTION PLANS FOR CALDWELL FARMS CITY OF CHARLOTTE, NC

SHEET 16

STAFFORDSHIRE LANE

STAFFORDSHIRE LANE
(52' R/W)

FARMINGTON RIDGE PARKWAY
(42' R/W)

SHEET 15

MESHACK AVENUE
(42' R/W)

CASRACK STREET
(42' R/W)

ABENDEGO ROAD
(42' R/W)

CALDWELL ROAD

SHEET 17

SHEET 12
N 43°34'11" E 353.62'

WOOLCOTT AVENUE
(42' R/W)

WOOLCOTT AVENUE

S 60°16'05" E 750.66'

RDDAVIS
CONSULTING ENGINEERS
P.O. Box 470085
Charlotte, NC 28247
(704) 685-5752

THIS DRAWING IS THE PROPERTY OF ROBERT D. DAVIS, CONSULTING ENGINEERS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION AND IS TO BE RETURNED UPON REQUEST.

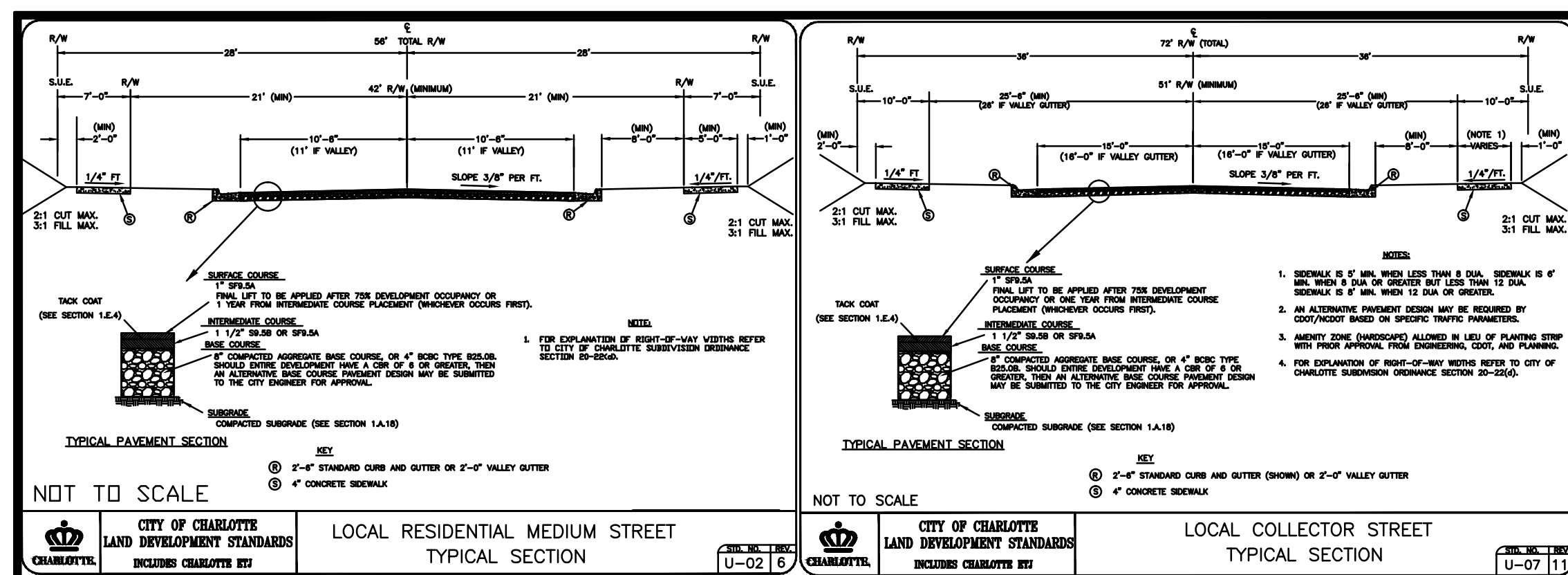
McCray Smith

Caldwell Farms
Residential Subdivision
Charlotte, Mecklenburg County, NC

Project
Sheet Title
COVER SHEET

RDD
Project Engineer
RDD
Drawn By
3/21/14
Date Drawn
Caldwell Road/CONSTRUCTION SET
Sht. Set / Subset
239.001 Road Base, RDD Standard
Dwg. Name
COVER SHEET
Layout:
Horiz. Scale: 1" = 60'
Vert. Scale: 1" = N/A
Revisions
No. Date
No. Date
No. Date
No. Date
Issue Date

Project Number
239.001
Sheet 1 Of 37



NOT TO SCALE
CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
LOCAL RESIDENTIAL MEDIUM STREET
TYPICAL SECTION

NOT TO SCALE
CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
LOCAL COLLECTOR STREET
TYPICAL SECTION

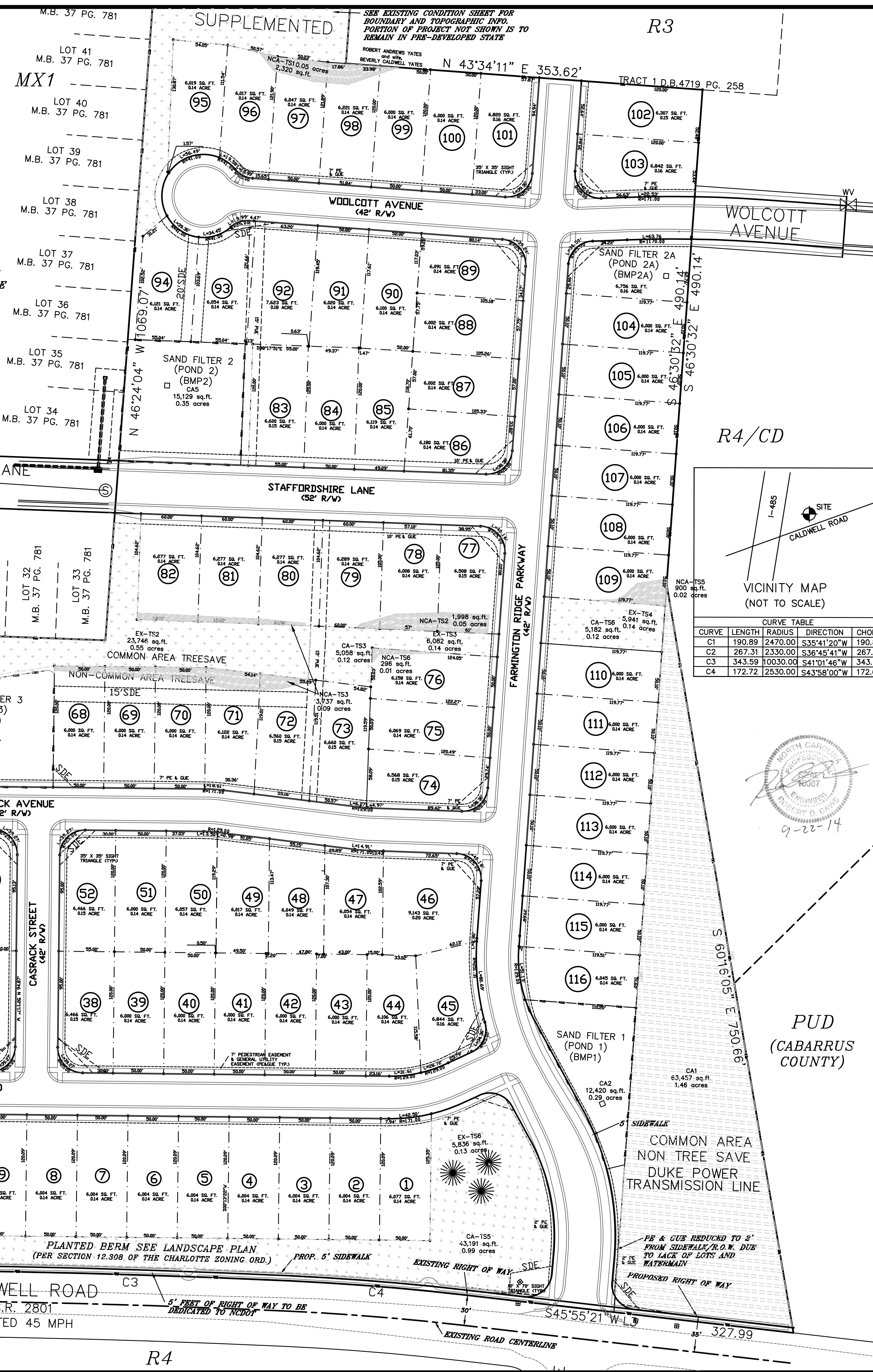
NOTES:
TOTAL AREA = 31.93 ACRES
EXISTING DUKE EASEMENT = 1.46 ACRES
EXISTING UTILITY EASEMENT = 0.07 ACRES
REG'D 5' ROW DED. = 0.19 ACRES
NET PROJECT AREA = 30.21 ACRES
25% TREESAVE CA AREA REQ. = 7.55 ACRES
CA TREESAVE AREA PROVIDED = 7.66 ACRES
NON-CA TREESAVE AREA PROVIDED = 0.24 ACRES
TOTAL TREESAVE AREA = 7.80 ACRES - 26%
NON TREESAVE COMMON AREA = 2.90 ACRES
TOTAL COMMON AREA = 10.80 AC = 33.8 % OF TOTAL SITE
EXISTING TREE CANOPY = 4.81 ACRES
EXISTING TREE CANOPY SAVED = 4.45 ACRES
(0.36 ACRES OF FENCELINE SCRUB TO BE REMOVED TO BE ALLOWED DUE TO POOR QUALITY OF TREES AND EXCEPTIONAL SITE CONDITIONS)
NEW PLANTED TREE CANOPY = 3.18 ACRES
EXISTING TREES: 4.45/30.21x 100% = 14.7%
EXISTING ZONING - R3
BASE LOTS ALLOWED - 95
TREESAVE BONUS = 7.66x3=22
TOTAL LOTS ALLOWED = 117
TOTAL LOTS PROVIDED = 116
25% TREESAVE IN COMMON AREA GIVES R-4 BONUS*

R4 CLUSTER LOT STANDARDS:
MINIMUM LOT = 6,000 SF
MINIMUM LOT WIDTH = 50 FT
FRONT SETBACK = 32' FROM B.O.C.
SIDE SETBACK = 5'
SIDE CORNER SETBACK = 10'
INTERIOR REAR SETBACK = 30'
EXTERIOR REAR SETBACK = 45'
NO LOTS SHALL HAVE DIRECT ACCESS TO CALDWELL ROAD
GARAGE SETBACK SHALL BE 20' FROM RIGHT OF WAY OR BACK OF SIDEWALK WHICHEVER IS GREATER

DEVELOPER:
MCCRAY SMITH
P.O. 1315
WAXHAM, NC 28173
PHONE: 704-219-2230

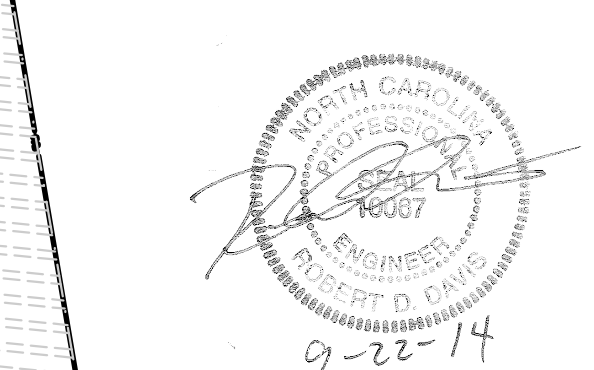
ENGINEER/DESIGNER:
RDDAVIS CONSULTING ENGINEER
PO BOX 470085
CHARLOTTE, NC 28247-0085
ROBERT D. DAVIS PRINCIPAL
704-651-5752
RDDAVIS@ATT.NET

GENERAL NOTES:
1. PARCEL ID NUMBERS: 5121206A, 5121206B, 5121205
2. SITE ADDRESS, 14041 CALDWELL ROAD
3. PRESENT USE: FARM/LAND
4. ESTIMATED COMPLETION DATE: OCTOBER, 2014
5. SEE LANDSCAPING PLAN FOR ZONING PLANTING ELEMENTS
6. SEE TREESAVE PLAN FOR TREESAVE PLANTING REQUIREMENTS
7. SEE SHEET 5 FOR EXISTING CONDITIONS
8. SEE ROADWAY PLANS FOR ROAD DETAILS, STORMDRAIN AND EASEMENTS
9. FIVE (5) FOOT RIGHT OF WAY TO BE DEDICATED TO NCDOT ALONG NORTH SIDE OF CALDWELL ROAD TO BRING TOTAL RIGHT OF WAY TO 35 FEET FROM CENTERLINE
10. SEE STORMWATER PLANS FOR PCCO AND DETENTION REQUIREMENTS
11. ALL CONSTRUCTION SHALL BE PER THE CMDS AND CMU STANDARDS
12. TO THE MAXIMUM EXTENT POSSIBLE, IMPERVIOUS AREA RAINFALL RUNOFF SHALL BE DEDICATED TO SANDFILTERS. ALL LOTS SHALL BE GRADED AS TO HAVE RAINFALL RUNOFF BE DIRECTED TOWARDS THE STREET, INCLUDING ANY GUTTERS FROM ROOF RUNOFF WITH THE EXCEPTION OF LOTS 15, 16, 23, 24, 92 AND 93.
13. AN HOA SHALL BE FORMED TO BE RESPONSIBLE FOR ALL COMMON AREAS
14. NO DEMOLITION LANDFILL SHALL BE LOCATED ON SITE.
15. A 15' WATERMAIN EASEMENT FROM CENTERLINE OF PROPOSED WATERMAINS SHALL BE RECORDED. REFER TO WATER AND SANITARY SEWER PLANS.



VICINITY MAP (NOT TO SCALE)

CURVE	LENGTH	RADIUS	DIRECTION	CHORD
C1	190.89	2470.00	S35°41'20"W	190.85
C2	267.31	2330.00	S36°45'41"W	267.16
C3	343.59	10030.00	S41°01'46"W	343.58
C4	172.72	2530.00	S43°58'00"W	172.68



PUD
(CABARRUS COUNTY)

AVIS CONSULTING ENGINEERS

P.O. Box 470085
Charlotte, NC 28247
(704) 651-5752

THIS DRAWING IS THE PROPERTY OF ROBERT D. DAVIS, CONSULTING ENGINEER AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION AND IS TO BE RETURNED UPON REQUEST.

McCray Smith

Project
Caldwell Farms
Residential Subdivision
Charlotte, Mecklenburg County, NC

Sheet Title
PRELIMINARY PLAT

RDD
Project Engineer

RDD
Drawn By
3/21/14
Date Drawn
Caldwell Road/CONSTRUCTION SET
Sht. Set / Subset
Caldwell_PRELIM PLAN
Dwg. Name
PRELIMINARY PLAT
Layout:
Horiz. Scale: 1" = 60'
Vert. Scale: 1" = N/A

Revisions

No. Date

No. Date

No. Date

No. Date

Issue Date

Project Number
239.001

Sheet
2
Of
37