

ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

URBAN FORESTRY

TREE ORDINANCE

CDOT

NOTE: THIS PLAN APPROVAL DOES NOT INCLUDE COMMERCIAL ZONING. ALL BUILDING PERMITS AND ZONING APPROVALS CAN BE OBTAINED AT MECKLENBURG COUNTY CODE ENFORCEMENT. PLEASE CALL CTAC AT 704-336-3829 FOR MORE INFORMATION.

APPROVED

APPROVED

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Civil Construction Plans for

BRYANT PARK

City of Charlotte

Mecklenburg County, North Carolina

SOUTHEASTERN LAND

DEVELOPMENT, LLC



SUMMIT

LAND SERVICES

P.O. BOX 7442

CHARLOTTE, NC 28241

OFFICE: 704.504.1717

FAX: 704.504.1125

WWW.SUMMIT-COMPANIES.COM

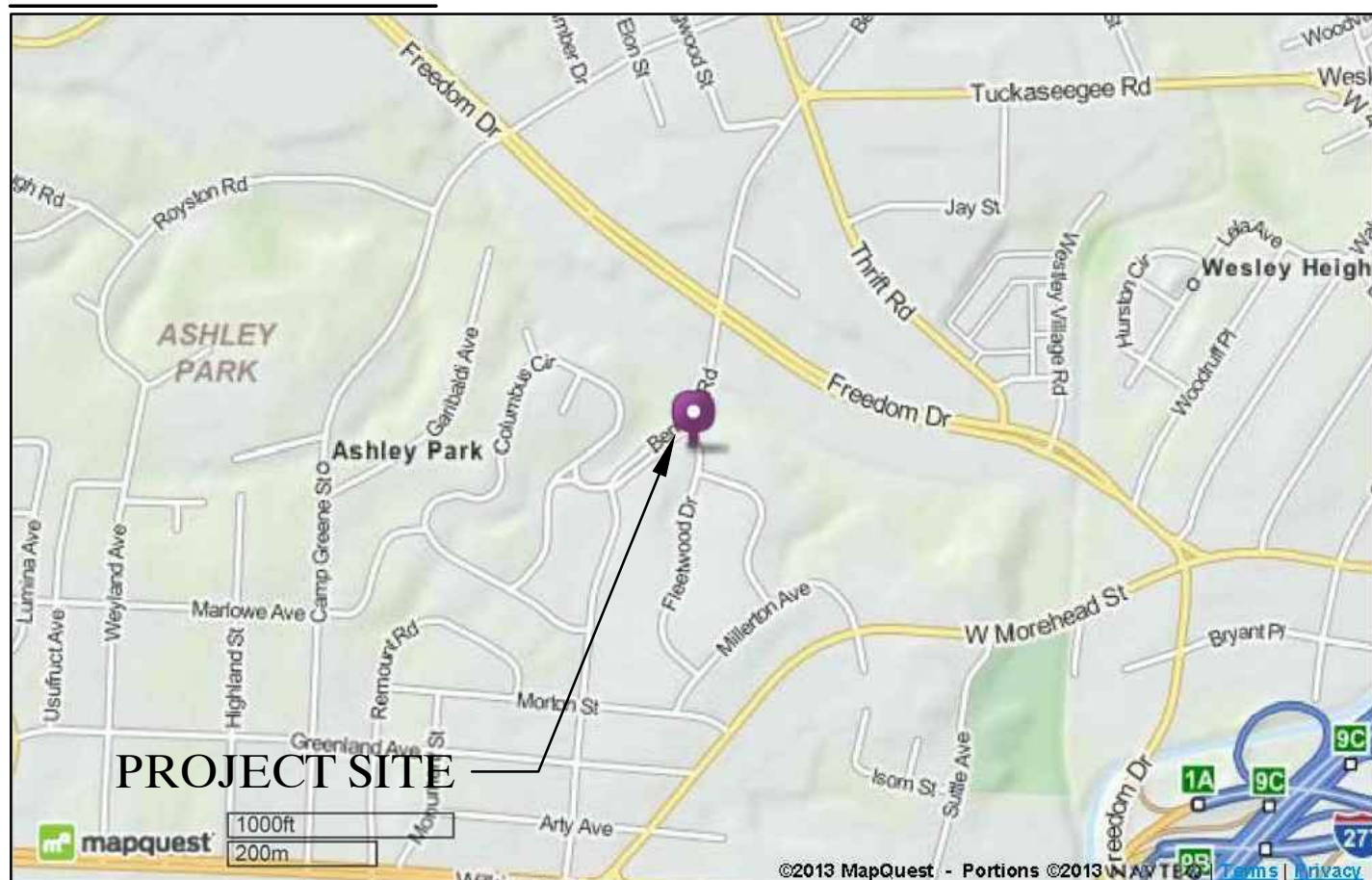
UTILITIES CONTACTS:

Water & Sewer Service: CHARLOTTE-MECKLENBURG UTILITIES
700 NORTH TRYON STREET
CHARLOTTE, NC 28202
PHONE: (704) 336-7600

Power: DUKE POWER
526 SOUTH CHURCH STREET
CHARLOTTE, NC 28202
(800)653-5307

Utilities Protection: NORTH CAROLINA ONE Call
811 OR (800) 632-4949

VICINITY MAP



THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.



IF YOU DIG NORTH CAROLINA...
CALL US FIRST!
811 or 1-800-632-4949
NORTH CAROLINA ONE CALL
IT'S THE LAW

THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
24 HOUR CONTACT: D. KEITH RAINS, P.E. (803) 493-5393

REVISION

APPROVED FOR
CONSTRUCTION

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

By: Joshua Weaver 7-6-2015 1of 2

STANDARD EROSION CONTROL NOTES:

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

PRIOR TO LAND-DISTURBING ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE AREA EROSION CONTROL INSPECTOR.

ANY DISTURBED AREA LEFT IDLE FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING; DISTURBED AREAS IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.

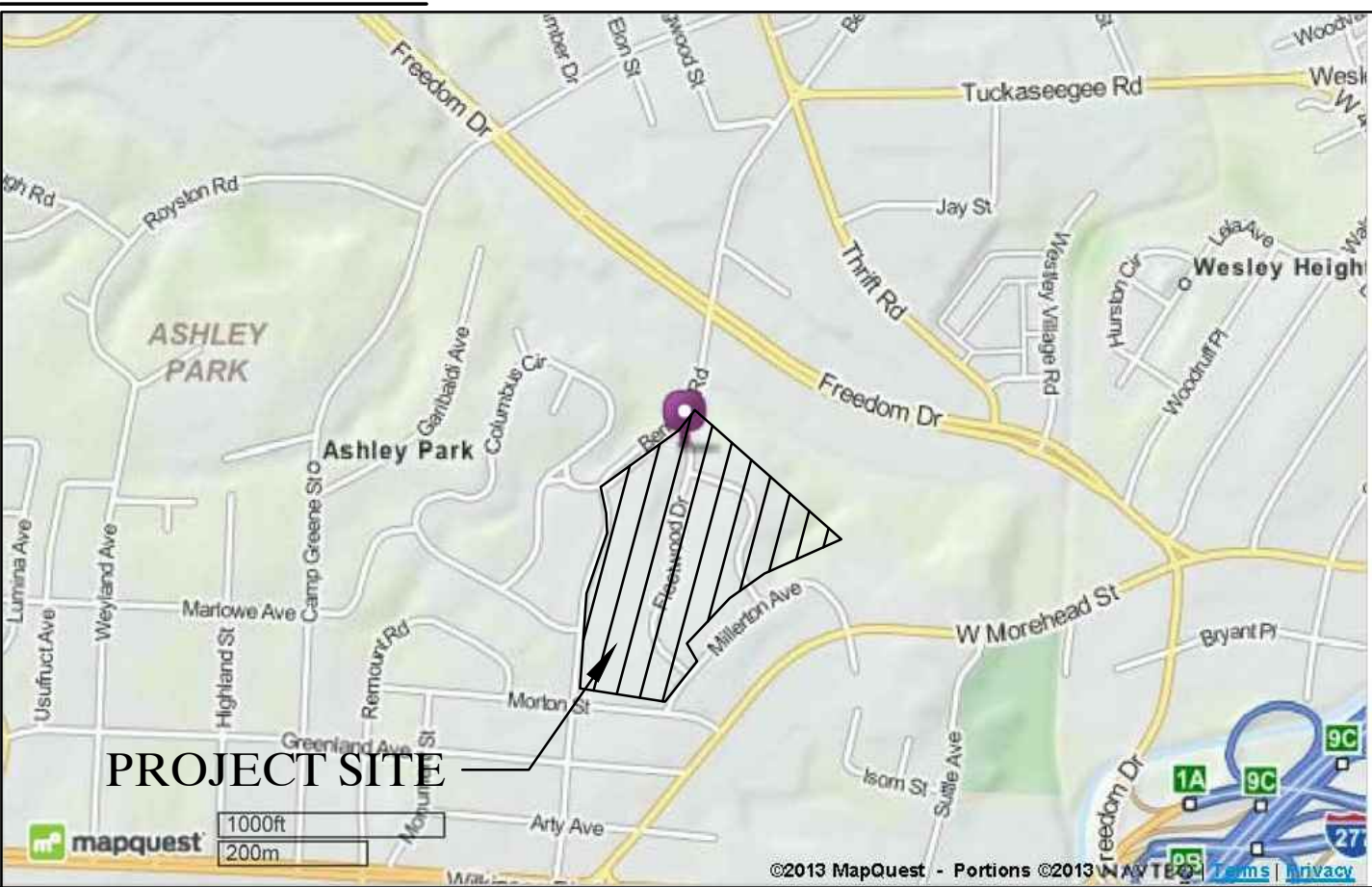
SHEET INDEX

NUMBER	DESCRIPTION
C1.0	DEMOLITION PLAN
C1.1-1.3	APPROVED REZONING PLANS
C1.4	APPROVED REZONING SITE PLAN
C2.0-2.5	SITE LAYOUT PLAN
C3.0-3.2	GRADING AND DRAINAGE PLAN
C4.0-4.7	ROADWAY PLANS AND PROFILES
C5.0-5.5	STORMWATER PROFILES
C6.0-6.2	EROSION CONTROL PLAN
C7.0-7.1	PLANTING PLAN AND DETAILS
C8.0-8.2	DRAINAGE AREA PLAN
C9.0-9.4	E&SC NOTES AND DETAILS
C10.0-10.3	CONSTRUCTION DETAILS

ISSUE SET

DATE	DESCRIPTION & REVISIONS
07/19/13	INITIAL PERMIT SET
09/19/13	RESUBMISSION PER CITY COMMENTS
11/04/13	RESUBMISSION PER CITY COMMENTS
12/20/13	RESUBMISSION PER CITY COMMENTS
01/31/14	RESUBMISSION PER CITY COMMENTS
05/15/14	RESUBMISSION PER MEETING W/ CITY
03/04/15	REVISED PER SITE CONDITIONS
05/29/15	RESUBMISSION PER CITY COMMENTS

VICINITY MAP



PROJECT SITE

REVISION GUIDE

1. SHRUNK TREE SAVE AREA BY 866 SQFT AND ADDED A RETAINING WALL ALONG TREE SAVE LIMITS
2. CHANGED CI A23 TO HW A23 AND SLID STORM SYSTEM OVER TO ACCOMMODATE GRADING BETWEEN BLDG 22 & LOTS 32-35
3. REGRADE BETWEEN BLDGS 198-22
4. REMOVED WALLS BEHIND BLDG 22 AND ON LOT 55
5. STORM INVERT CHANGES TO ACCOMMODATE INACCURATE SEWER AS-BUILTS
6. REMOVE CTS A44AS AND REROUTED STORM SYSTEM TO TIE INTO BLDG 2
7. SHIFTED STORM SYSTEM TO ACCOMMODATE BLDG 18 TRANSFORMATION
8. MADE B6 36B6.2 SHALLOWER
9. REMOVE A PORTION OF ACKERMAN COURT
10. TRANSFORM BLDG 18 INTO 24' WIDE PRODUCT
11. REGRADE BETWEEN BLDGS 178-18
12. KEPT EXISTING RETAINING WALL AND ADDED SMALL WALL BY BLDG 17
13. MOVED BLDGS 17-18 AWAY FROM BERRYHILL ROAD
14. REMOVE HAMMILL COURT AND CHANGE AREA TO OPEN SPACE
15. ROTATE BLDG 34 TO FACE DOLLY MADISON AND SWITCH TO 28' WIDE PRODUCT
16. SWITCH BLDG 35 TO 28' WIDE PRODUCT AND SLIDE TOWARDS MAJOR SAMUELS
17. ADD TREE SAVE AREA TO PROJECT
18. ROTATE LOTS 125&126 TO FACE MORGAN CLARK
19. REGRADE FROM REAR OF BLDGS 23&24 TO THE FRONT OF BLDG 27
20. SHIFT BLDG 2 AWAY FROM INSTALLED DUKE POWER LINE
21. REMOVE LOT 100
22. SLID STORM SYSTEM TO AVOID DUKE POWER INSTALLED LINE FOR BLDG 3
23. REMOVE A PORTION OF DOLLY MADISON ROAD
24. REGRADE AREA AND REMOVE A PORTION OF THE PROPOSED WALL
25. REGRADE AROUND LOT 7 AND MARLOWE AVE AND ADDED 2' STEM WALL
26. GRAVEL ROAD ADDED FOR POND MAINTENANCE ACCESS
27. REGRADE BETWEEN POND AND BUILDINGS
28. RELOCATED HO RAMP
29. REMOVED DRIVEWAY CUT

SITE DATA

1. PIN: 06703112, 06704409, 06704309, 06704409, & 06704402
2. DEED BOOK AND PAGE: 26540, PG 922, TRACTS 1-6
3. PROJECT AREA - 29.86 ACRES ±
4. ZONING: MUD-O - REZONING PETITION: 2007-058
5. PROPOSED USE: MIXED-USE DEVELOPMENT
6. REQUIRED OPEN SPACE: 2.99 ACRES ± 10% - OPEN SPACE
7. PROVIDED: 7.88 ACRES ± 26.40%
8. REQUIRED TREE SAVE: 2.99 ACRES ± 10% - TREE SAVE PROVIDED: 3.61 ACRES ± 12.12%
9. SETBACKS
10. FRONT: 14' FROM BACK OF CURB
11. 20' GARAGE SETBACK FROM BACK OF SIDEWALK
12. REAR: NONE REQUIRED (10' BUILDING SEPARATION)
13. SIDE: NONE REQUIRED (10' BUILDING SEPARATION)
14. MINIMUM LOT WIDTH: 20'
15. MINIMUM LOT AREA: NONE REQUIRED
16. MAXIMUM BUILDING HEIGHT: 60'

9. PARKING REQUIREMENTS: 1 SPACE / UNIT

10. PARKING PROVIDED: 2 SPACES / SF AND 28' TOWNHOME WITHIN GARAGE

11. 248 PROPOSED UNITS:

- 22' TOWNHOME SUBLOTS - 71
- 28' TOWNHOME SUBLOTS - 126
- DUA ALLOWED: 16.60 DUA
- DUA PROPOSED: 248 LOTS / 26.83 AC NET = 9.24



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PROJECT:

BRYANT PARK
CHARLOTTE, N.C.

CLIENT:

NVR, INC.
10710 SIKES PL., STE. 250
CHARLOTTE, NC 28277

SOUTHEASTERN LAND
DEVELOPMENT, LLC
9624 BAILEY RD., STE. 290
CORNELIUS, NC 28031

ORIG. PROJ. DATE: 07-19-2013
SCALE: 1" = 60'
DRAWN BY: TMM
CHECKED BY: DKR

SITE PLAN

SEAL DATE:
03-04-2015

PROJECT NO:
3117

SHEET
C2.0