

ARDREY CHASE

CITY OF CHARLOTTE, MECKLENBURG COUNTY, N.C.



REVISION for Bridge only
APPROVED FOR CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 12-15-2015

ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

URBAN FORESTRY
TREE ORDINANCE

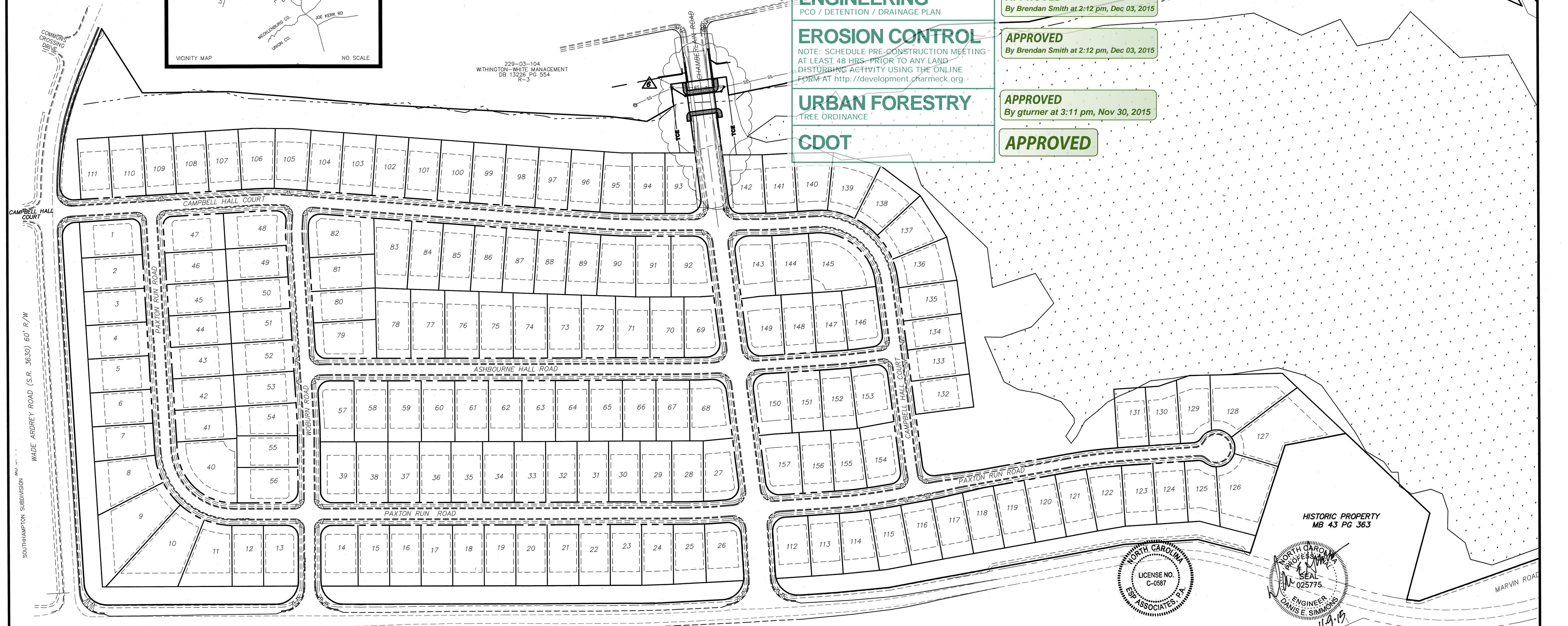
CDOT

APPROVED
By Brendan Smith at 2:12 pm, Dec 03, 2015

APPROVED
By Brendan Smith at 2:12 pm, Dec 03, 2015

APPROVED
By gturner at 3:11 pm, Nov 30, 2015

APPROVED

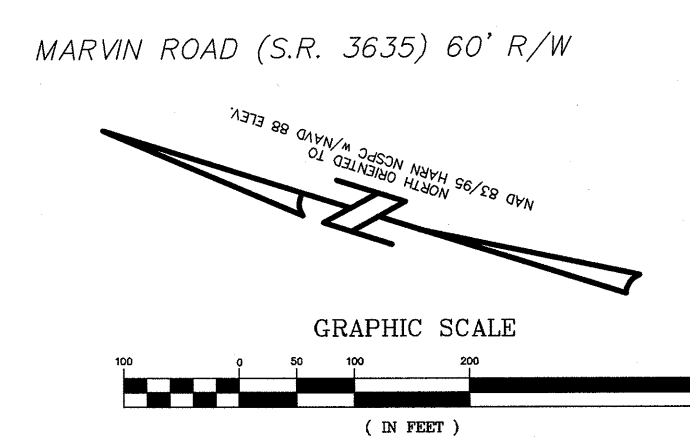


ENGINEERING FIRM:
PLANS PREPARED BY:
ADDRESS:
PHONE:

ESP ASSOCIATES, P.A.
P.O. BOX 7030 CHARLOTTE, NC 28241
(704) 583-4949

DEVELOPER
ADDRESS:
PHONE:

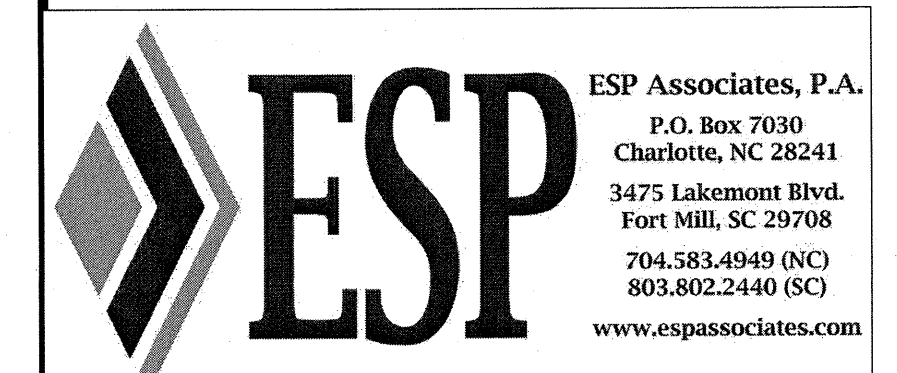
CENTEX HOMES
11121 CARMEL COMMONS BLVD., SUITE 450
CHARLOTTE, NC 28226
(704) 543-4922



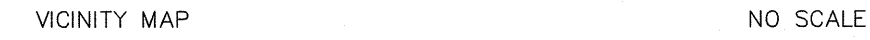
INDEX OF SHEETS	LAST REVISION DATE
SHEET NO. 1 COVER SHEET	11/09/15
SHEET NO. 2 OVERALL SITE PLAN (NTS)	10/23/12
SHEET NO. 3 OVERALL SITE PLAN (100 SCALE)	10/06/15
SHEET NO. 4 SITE PLAN (1 OF 5)	06/09/11
SHEET NO. 5 SITE PLAN (2 OF 5)	04/21/08
SHEET NO. 6 SITE PLAN (3 OF 5)	10/23/12
SHEET NO. 7 SITE PLAN (4 OF 5)	06/09/11
SHEET NO. 8 SITE PLAN (5 OF 5)	04/21/08
SHEET NO. 9 OVERALL GRADING PLAN	10/06/15
SHEET NO. 10 GRADING PLAN (1 OF 5)	04/21/08
SHEET NO. 11 GRADING PLAN (2 OF 5)	04/21/08
SHEET NO. 12 GRADING PLAN (3 OF 5)	10/06/15
SHEET NO. 13 GRADING PLAN (4 OF 5)	06/09/11
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SHEET NO. 15 OVERALL STORM DRAINAGE PLAN	10/23/12
SHEET NO. 16 STORM DRAINAGE PLAN (1 OF 5)	04/21/08
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SHEET NO. 38A LANDSCAPE PLAN (6 OF 6)	09/19/06
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SHEET NO. 41 PROFILE - CAMPBELL HALL ROAD (1 OF 3)	04/21/08
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SHEET NO. 56 WADE ARDREY ROAD CDOT PAVEMENT MAP	09/19/06
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SHEET NO. 60 50' CROSS SECTION PROFILE MARVIN ROAD - PROFILES 12-19	03/27/07
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SHEET NO. 71 WADE ARDREY ROAD TRAFFIC CONTROL PHASE I	08/09/11
SHEET NO. 71A WADE ARDREY ROAD TRAFFIC CONTROL FOR GUARDRAIL	08/09/11
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SHEET NO. 73 WADE ARDREY ROAD TRAFFIC CONTROL PHASE II	10/12/06
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ARDREY CHASE
SHEET 1
TG21.400 - COVER.DWG



1. THE STREAMSIDE ZONE OF THE BUFFER MUST BE LEFT COMPLETELY UNDISTURBED. IN THE MANAGED USE ZONE, AT A LIMITED NUMBER OF TREES CAN BE REMOVED PROVIDED THAT THE TREE DENSITY REMAINING IS A MINIMUM OF 8 HEALTHY TREES OF A MINIMUM 6-INCH CALIPER PER 1,000 SQUARE FEET. REMOVAL OF EXISTING VEGETATION MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF REMAINING TREES.
2. GRADING AND OTHER LAND DISTURBING ACTIVITIES ARE ALLOWED ONLY IN THE UPLAND ZONE; HOWEVER, THESE ACTIVITIES MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF REMAINING TREES. GRASS OR OTHER SUITABLE GROUND COVER CAN BE APPLIED TO THE UPLAND ZONE.
3. THE OUTSIDE BOUNDARY OF THE BUFFER MUST BE CLEARLY MARKED WITH ORANGE FABRIC FENCING PRIOR TO ANY LAND DISTURBING ACTIVITIES (GRADING, TREE CUTTING OR STUMPING, ETC.).
4. THE OUTSIDE BOUNDARY OF THE STREAM BUFFER MUST BE PERMANENTLY MARKED WITH AN IRON PIN OR OTHER ACCEPTABLE PROPERTY CORNER MARKER AT STREET CROSSINGS AND THIS MARKER MUST BE CALLED OUT ON THE PLANS.

AREA FROM 0.1 COMMUNITY TO FEMA FLOOD FRINGE = 6.95 AC.
50% AREA = 3.5 AC
AREA PROVIDED AS ADDITIONAL S.W.I.M. UPLAND ZONE = 3.5 AC.

NOTE:
ANY EXISTING STREET TREES REMOVED FOR CONSTRUCTION SHALL
BE REPLANTED UPON COMPLETION OF PROJECT.

TOTAL SITE AREA	91.49 AC
-UTILITY EASEMENTS	<u>2.07 AC</u>
NET AREA	89.42 AC
10% REQUIRED	
TREESAVE AREA	8.94 AC
TREESAVE PROVIDED	10.63 AC (11.89%)



N.T.S.



NORTH CAROLINA
LICENSE NO.
C-0587
ESP ASSOCIATES, P.A.



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ESP Associates, P.A.

- | | | | |
|----|----------|--|---------|
| 12 | 10/06/15 | BRIDGE REVISION | DMS |
| 11 | 08/14/15 | BRIDGE REVISION | DMS |
| 10 | 12/16/13 | ARCH CULVERT | |
| 9 | 7/17/13 | ARCH CULVERT | KED/DES |
| 8 | 10/23/12 | REPLACE ARCH CULVERT WITH BRIDGE | APG |
| 7 | 6/9/11 | PER CLIENT REQUEST ADD GUARDRAIL AND REMOVE ISLAND | FMK |

 <p>ESP Associates, P.A. P.O. Box 7030 Charlotte, NC 28241 3010 South Blvd., Suite 200 Fort Mill, SC 29708 704.583.0495 (NC) 803.802.2440 (SC) www.espassociates.com</p>	 <p>CENTEX HOMES</p> <p>11121 CARMEL COMMONS BLVD. SUITE 450 CHARLOTTE, NC 28226 (704) 543-4922</p>		<p>CLIENT</p>
	<p>OVERALL SITE PLAN</p>		<p>SHEET TITLE</p>
	<p>ARDREY CHASE</p>		<p>PROJECT</p>
	<p>11121 CARMEL COMMONS BLVD. SUITE 450 CHARLOTTE, NC 28226 (704) 543-4922</p>		<p>STATION ORIGINAL SITE</p>
	<p>11121 CARMEL COMMONS BLVD. SUITE 450 CHARLOTTE, NC 28226 (704) 543-4922</p>		<p>STATION ORIGINAL SITE</p>

RETAINING WALL NOTES:

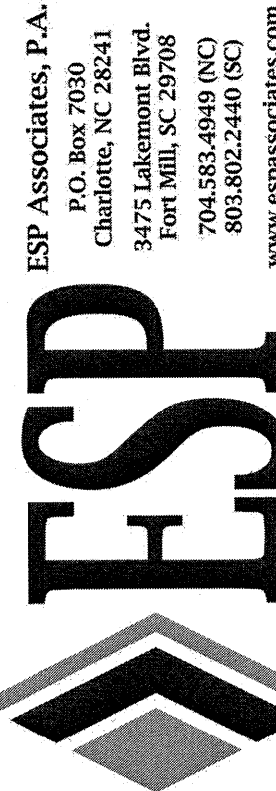
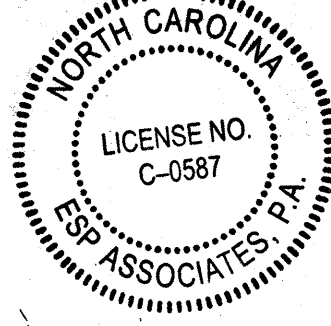
1. RETAINING WALL DESIGN BY CONTRACTOR. DESIGN OF ALL RETAINING WALLS IS TO BE PER NC BUILDING CODE SECTION 1610.3 AND PERFORMANCE SPECIFICATIONS.
2. CONTRACTOR SHALL PROVIDE DETAILED RETAINING WALL DESIGN DRAWINGS SEALED BY A NC LICENSED ENGINEER, SHALL BE PREPARED PRIOR TO CONSTRUCTION AND WILL BE SUBMITTED TO THE LOCAL AUTHORITY PRIOR TO CONSTRUCTION FOR APPROVAL.
3. CONTRACTOR SHALL PROVIDE A NC LICENSED ENGINEER TO PERFORM CONSTRUCTION OBSERVATION, VERIFYING IN A SEALED LETTER TO THE LOCAL AUTHORITY THAT RETAINING WALLS ARE CONSTRUCTED PER THE ENGINEERED DRAWINGS, IN COMPLIANCE WITH SECTION 1610.3 OF THE NC BUILDING CODE. CONTRACTOR SHALL OBTAIN BUILDING PERMIT FOR RETAINING WALL CONSTRUCTION.
4. PE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.

TREE PROTECTION

1. TREE PROTECTION FENCE/BARRICADES MUST MEET OR EXCEED TREE ORDINANCE GUIDELINES STANDARDS.
2. TREE PROTECTION FENCE/BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING/CONSTRUCTION, AND NOT REMOVED UNTIL AFTER AN INSPECTION BY URBAN FORESTRY STAFF.
3. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREAS.
4. VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
5. URBAN FORESTER, GARY TURNER AT 704-336-4330, MUST BE NOTIFIED OF THE PRE-CONSTRUCTION MEETING.

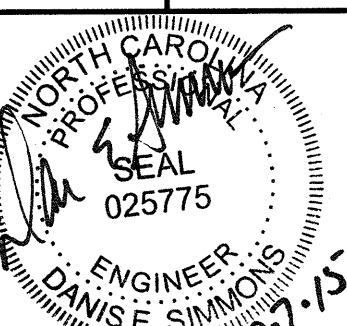
S.W.I.M. NOTES

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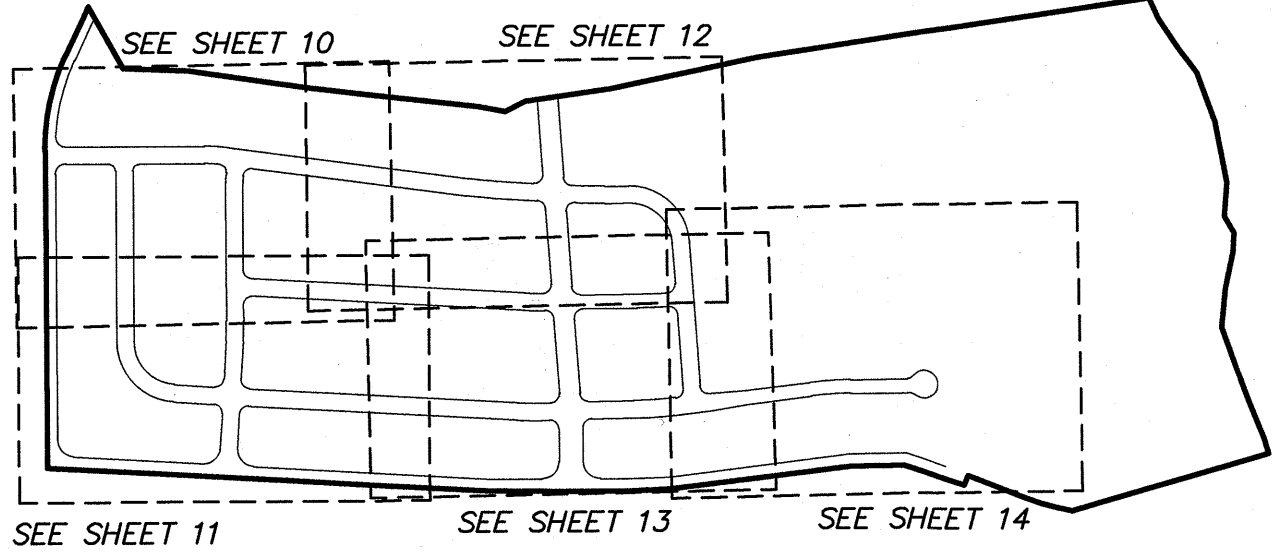
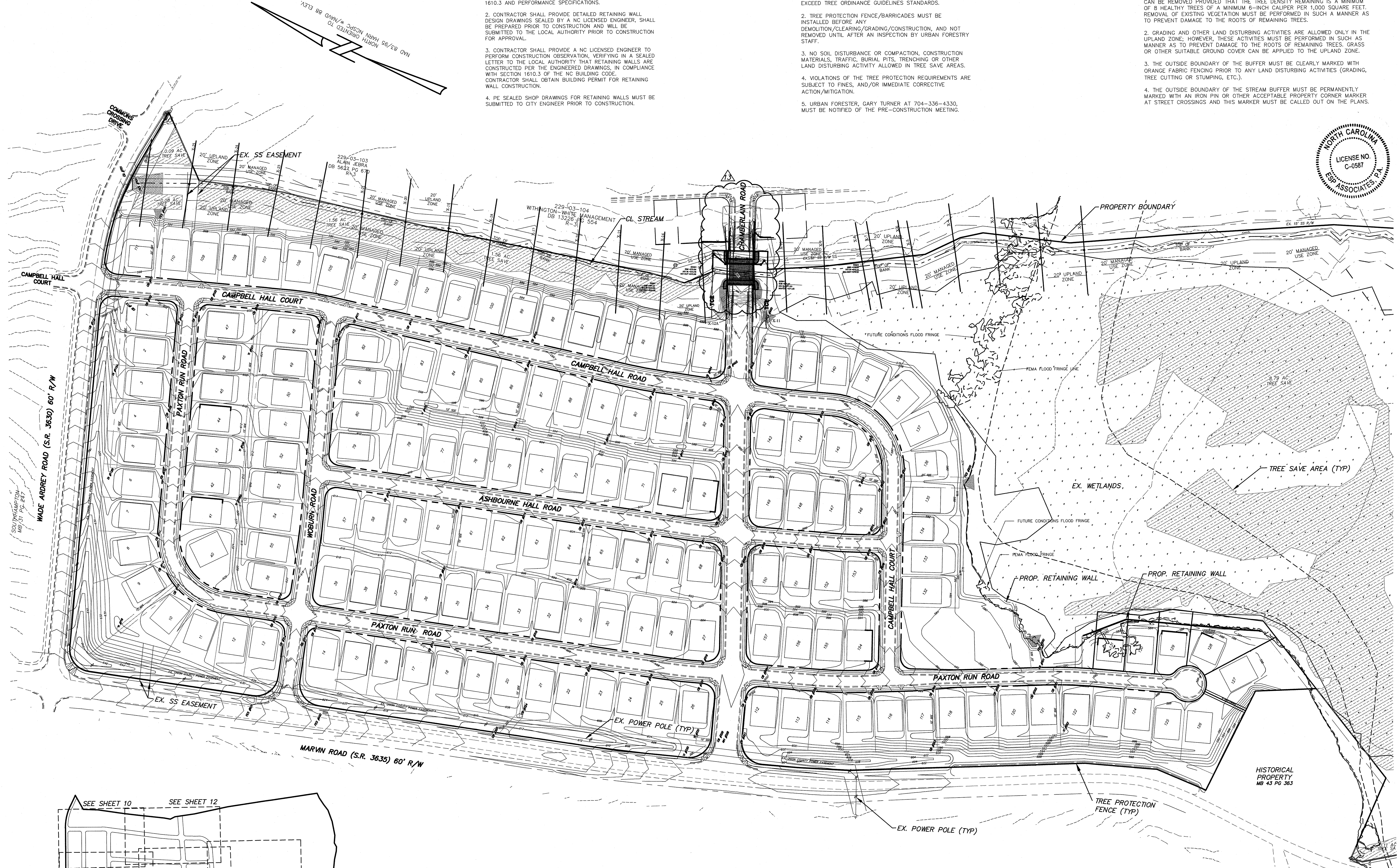


CENTEX HOMES
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OVERALL GRADING PLAN
ARDREY CHASE



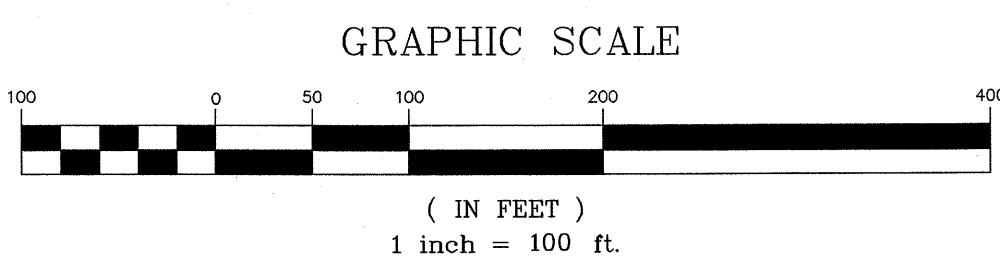
PROJECT NO.	DATE	REVISION	BY
1021-400	2/20/06	REVIEW COMMENTS	PSC
1021-400	3/23/06	REVIEW COMMENTS	SKF
1021-400	4/24/06	REVIEW COMMENTS	PSC
1021-400	8/23/06	REVIEW COMMENTS	PSC
1021-400	3/23/07	REVIEW COMMENTS	PSC
1021-400	7/6/07	REVIEW COMMENTS	JDK



SHEET KEY MAP
N.T.S.



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ESP Associates, P.A.



NO.	DATE	REVISION	BY
13	08/14/15	BRIDGE REVISION	DMS
12	12/16/13	ARCH CULVERT	BAM
11	7/17/13	ARCH CULVERT	KED/DES
10	10/23/12	REPLACED ARCH CULVERT WITH BRIDGE AND REMOVE ISLAND	APG
9	6/09/11	PER CLIENT REQUEST ADD GUARDRAIL AND REMOVE ISLAND	FMK
8	4/03/08	ADDED STORM 112B,112A,802,801,800 ADDED 15' SDE TO STORM 800-802	NJH
7	1/28/08	REPLACE BRIDGE WITH ARCH CULVERT	JDK
NO.	DATE	REVISION	BY