

TREE REQUIREMENTS			
FRONTAGE	L6	SM	STREET NAME
IF 10 FEET	14	0	GARDNER LANE
IF 10 FEET	14	0	ALEXANDER CREST LANE
IF 100	22	0	TOTAL

SEE DEVELOPMENT DATA FOR BREAKDOWN

ROAD FRONTAGE: 1100 LF  
STREET TREES REQUIRED: 1100 / 50 = 22 (LARGE MATURING)  
STREET TREES PROPOSED: 22 (LARGE, 0 SMALL)  
USE EXISTING TREES THAT QUALIFY, WHERE ALLOWED  
(1) LARGE MATURING TREES SHALL BE FROM APPROVED URBAN FORESTRY SPECIES LIST.  
DIFFERENT SPECIES OF TREES SHALL BE USED ON DIFFERENT STREET  
NO HERITAGE TREES EXIST ON THIS PROPERTY

SHEET INDEX	
SHEET NO.	SHEET TITLE
1	Preliminary Subdivision Site/Landscape Plan
2	Storm Drainage and Grading Plan
3	Erosion Control Plan (Pre)
4	Erosion Control Plan (Post)
5	Roadway & Storm Drainage Profiles & Site Construction Details
6	Gardner Lane X-sections
7	Gardner Lane Improvement/Traffic Control Plan
8	BMP Plan & Details

## GENERAL NOTES

- THIS PRELIMINARY SUBDIVISION PLAN IS SUBMITTED, AND SHALL BE CONSTRUCTED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CHARLOTTE ZONING AND SUBDIVISION ORDINANCES, AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
- BOUNDARY SURVEY INFORMATION PER SURVEY PREPARED BY PHOENIX LAND SURVEYING.
- TOPOGRAPHIC INFORMATION TAKEN FROM PHOTOGRAMMETRIC MAPPINGS BY CITY OF CHARLOTTE SUPPLEMENTED WITH FIELD SURVEY.
- CHIEF SUBDIVISION INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- LOT DIMENSIONS ARE APPROXIMATE, REFERENCE RECORD PLAT FOR EXACT LOT DIMENSIONS.
- ALL STORM DRAINAGE PIPE SHALL BE CLASS 3 REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED. PIPE LENGTHS INDICATED ON THE PLANS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE DUE TO FIELD CONDITIONS.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY AS DETERMINED NECESSARY BY THE INSPECTOR.
- REFERENCE SHEETS 3 & 4 FOR EROSION CONTROL, PLAN AND NOTES, REFERENCE SHEET 5 FOR EROSION CONTROL DETAILS.
- CONSTRUCTION OF ALL DEVELOPMENT IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL. REFERENCE SHEET 5 FOR SITE DETAILS. THE FOLLOWING ADDITIONAL DETAILS ARE INCLUDED BY REFERENCE:  
(ITEM) CUREB AND GUTTER 10.17  
CUREB TRANSITION 10.18  
CATCH BASIN LOCATION 10.21 & 10.30  
(C) BRICK CATCH BASIN 840.01 & 840.02  
(C) DOUBLE CATCH BASIN 20.03 & 20.04  
STREET NAME SIGN 50.28  
SIDEWALK 10.22
- APPROXIMATE COMPLETION TIME IS SUMMER 2015.
- WATER AND SANITARY SEWER SERVICE SHALL BE PROVIDED BY EXTENSION OF THE EXISTING CHARLOTTE-MECKLENBURG UTILITY SYSTEM.
- THE CONTRACTOR SHALL COORDINATE WITH THE SUBDIVISION INSPECTOR FOR LATEST REVISION OF HANDICAP RAMP DETAIL(S) PRIOR TO PLACEMENT OF ANY H/C RAMPS AND/OR SIDEWALK.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBTAINED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK, AND OTHER ACCUMULATIONS.
- DRAINAGE EASEMENTS INDICATED AS SDE (STORM DRAINAGE EASEMENT) ARE EASEMENTS WHICH ARE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
- DEVELOPER WILL PROVIDE STREET SIGNS PER GLDSM 50.05 (1" SIGNS ONLY).
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH THE CITY INSPECTOR.
- TREESAVE AREA MUST HAVE INVASIVE PLANTS INCLUDING ENGLISH IVY REMOVED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY BEING ISSUED. ANY GAPS IN THE EXISTING TREESAVE AREA WILL BE PLANTED WITH 2" CALIBER LARGE MATURING TREES FROM THE APPROVED SPECIES LIST. COORDINATE WITH URBAN FORESTRY SPECIALIST.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/ COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/ COUNTY SUBDIVISION ORDINANCE.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURBS.
- IN ROLLING AND HILLY TERRAINS, SHEEPING OF THE STONE BASE AND/OR APPLICATION OF TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- SITE BENCHMARK FOR PROJECT IS THE RIM OF AN EXISTING SAN. SHR. MH IN ALEXANDER RD., ELEV. = 661.51 (NAVD 1983).
- CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMITS. FOR INFORMATION CONTACT CDOT (704-336-4025) OR VISIT <http://www.charmeck.org/departments/transportation/tree-maintenance/home.htm>
- COMMON OPEN SPACE TO BE CONVEYED TO THE HOMEOWNERS ASSOCIATION IN ACCORDANCE WITH THE CHARLOTTE ZONING ORD. 4.205

- ALL ROAD IMPROVEMENTS AT GARDNER LANE ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORD. GUIDELINES STD.
- TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY STAFF.
- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCT, MATLS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREA.
- VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
- NO DEMOLITION LANDFILLS WILL BE LOCATED ON THIS SITE.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (605 JORDI, 336-1086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 90-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COSTS AND/OR ANY REPAIR COSTS CAUSED BY THE CONTRACTOR/DEVELOPER.
- COMMON OPEN SPACE/ TREESAVE AREA TO REMAIN IN A NATURAL STATE. AREAS TO BE CLEARED OF TRASH AND DEBRIS.
- THE PURPOSE OF THE STORM DRAINAGE ESMT. (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- FE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- THE CITY OF CHARLOTTE WILL NEITHER BE RESPONSIBLE FOR THE GROUNDS WITHIN THE PERMANENT STORM DRAINAGE EASEMENT NOR REMOVAL OF ANY OBSTRUCTIONS IN THAT AREA.
- SIGHT TRIANGLES SHOWN ARE MINIMUM REQUIRED.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- PER SECTION 18-115 (E) OF THE CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL SECOND NATURAL AREA AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCEs) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

- ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE FOR LESS THAN 30 DAYS REQUIRES A R/W USE PERMIT. TRAFFIC CONTROL PLANS FOR ANY SIDEWALK OR TRAVEL LANE CLOSURES MUST BE SUBMITTED AS PART OF THE R/W USE AREA TRAFFIC CONTROL HANDBOOK (WATCH) AND MUST BE REVIEWED AND APPROVED. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-2562.
- CONSTRUCTION STAGING WITHIN CITY R/W LASTING MORE THAN 30 DAYS REQUIRES A R/W LEASE AGREEMENT PLEASE SEE TRAFFIC CONTROL PLAN NOTES FOR DETAILS. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-2562.
- NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE CITY R/W REQUIRES A R/W ENCROACHMENT AGREEMENT WITH CDOT BEFORE INSTALLATION, CONTACT CDOT AT (704) 336-3868.
- A SIDEWALK AND UTILITY EASEMENT IS SHOWN 2' BEHIND THE PROPOSED SIDEWALK LOCATION.

**APPROVED FOR CONSTRUCTION**  
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
By: Joshua Weaver 5-14-2015



**ENGINEERING**  
PCO / DETENTION / DRAINAGE PLAN

**EROSION CONTROL**  
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

**URBAN FORESTRY**  
TREE ORDINANCE  
**CDOT**

**APPROVED**  
By Brendan Smith (bmsmith@charlottenc.gov) at 12:51 pm, May 14, 2015

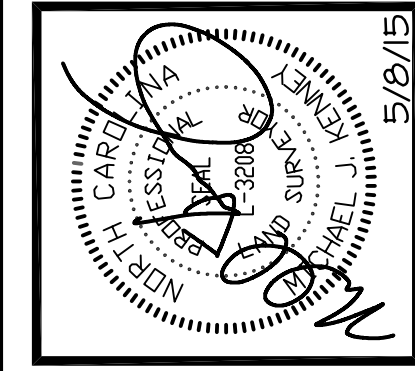
**APPROVED**  
By Brendan Smith (bmsmith@charlottenc.gov) at 12:51 pm, May 14, 2015

**APPROVED**

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**KENNEY DESIGN GROUP, PA**  
C-1986  
1316 GREENWOOD CLIFF  
CHARLOTTE, NORTH CAROLINA 28204  
PH: 704/377-6599  
EMAIL: KENNEY@KENNEYDESIGN.COM

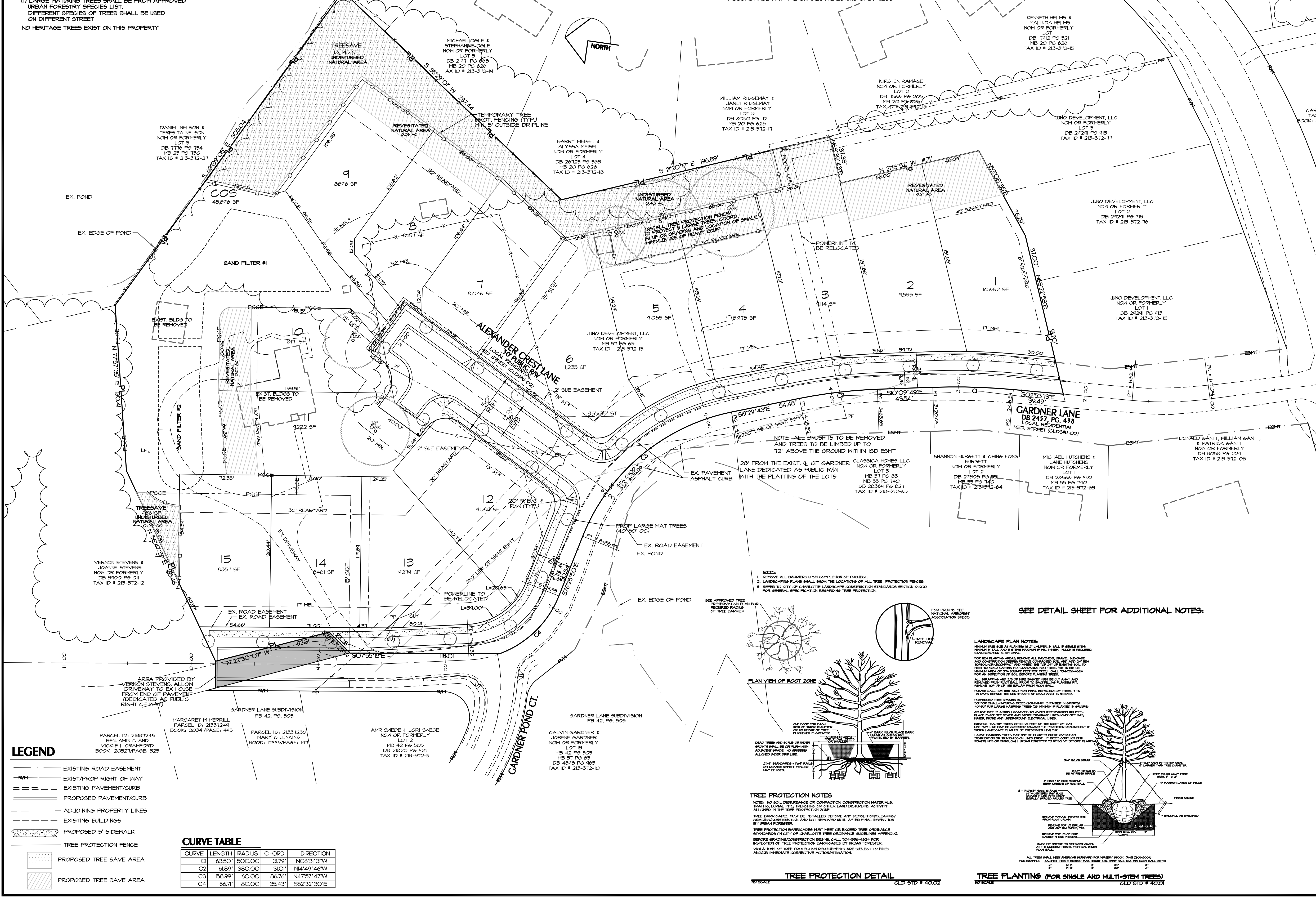
Revisions:	1. REVISED PER L&S AND R/W USE PERMIT
2. REVISED PER L&S AND R/W USE PERMIT	
3. REVISED PER L&S AND R/W USE PERMIT	



Scale:	1"=40'
Date:	11/7/14
Drawn By:	MJK
Designed By:	MJK
Job No.:	0614

**Preliminary Subdivision Site/Landscape Plan**  
**Alexander Crest**  
City of Charlotte, Mecklenburg County, North Carolina  
Juno Development, 10100 Park Center Dr., Charlotte NC 28210

Sheet No. 1 of 8



**DEVELOPMENT DATA**

TAX PARCEL NO.: 215-312-19 & 1417  
ZONING JURISDICTION: CITY OF CHARLOTTE  
SITE ACRES: 4.85 AC  
NO. OF LOTS ALLOWED BY ZONING: 4.85 x 3 = 14.5  
AREA IN EASEMENTS/R/W: 0.50 AC  
NET TOTAL SITE AREA: 4.35 AC

TREE SAVE REQUIRED/PROPOSED: 10% x 4.35 AC = 0.44 AC/0.45 AC  
ADD. LOTS FOR 10% TREE INCENTIVE IN COPI: 0.45 (10.426) AC x 3 = 1 LOT  
NO. OF LOTS ALLOWED/PROPOSED: 14 + 1 = 15/15  
COMMON OPEN SPACE REQUIRED: 10% x 4.85 AC = 0.44 AC  
COMMON OPEN SPACE PROVIDED: 1.05 AC = 21.12%

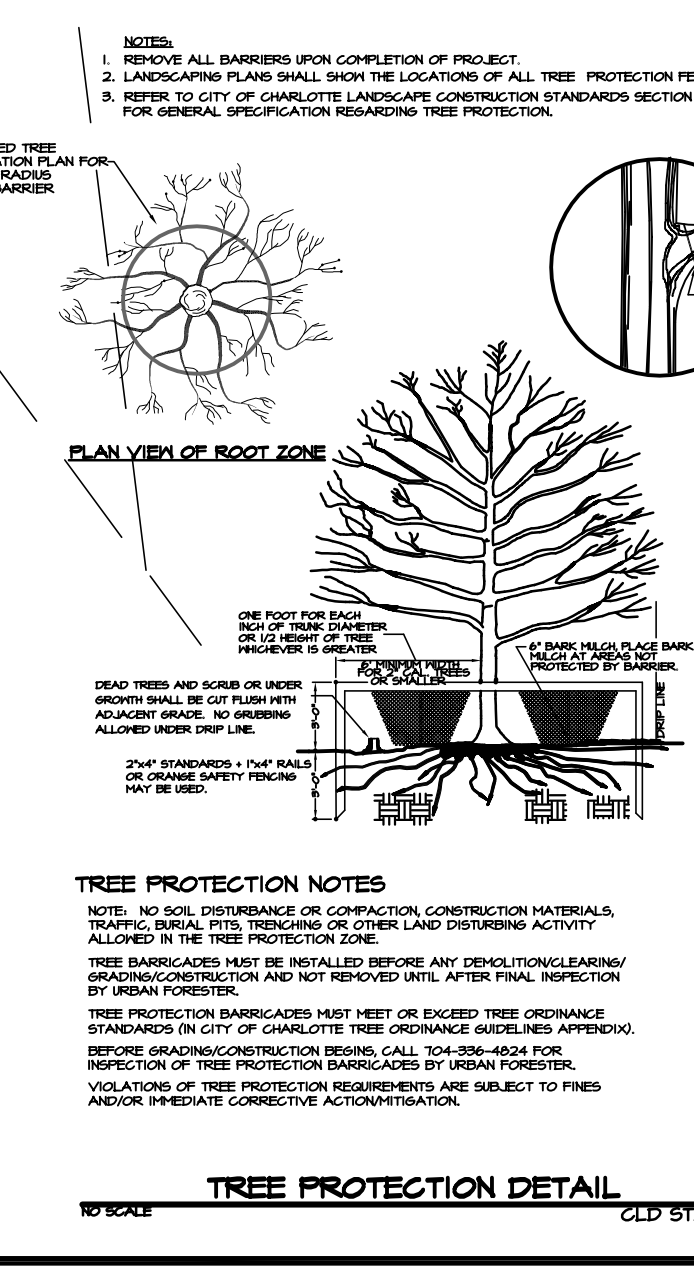
R-3 CLUSTER LOT DATA:  
MIN. LOT SIZE = 8000 SF  
MIN. LOT WIDTH = 60'  
MIN. SETBACK = 17'20" (\*20' GARAGE SETBACK FRONT/SIDE STREET)  
MIN. SIDE YARD = 6' EXTERNAL, 5' INTERNAL  
MIN. REAR YARD = 45' EXTERNAL, 30' INTERNAL

\*\* CHARLOTTE TREE ORD. INCENTIVES

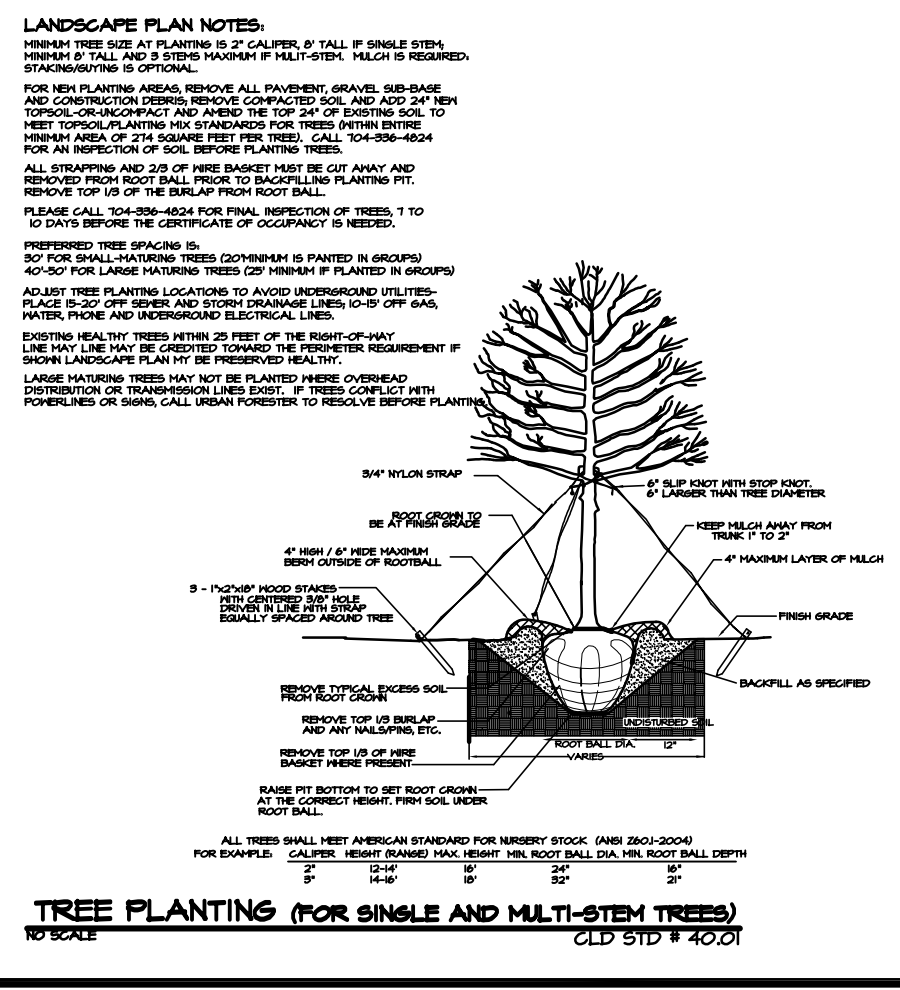
**THE MAXIMUM BUA IS 3,200 SF PER LOT**

BUILT-UPON AREA (BUA) MEANS THAT PORTION OF A PROPERTY THAT IS COVERED BY IMPROVEMENTS OR PARTIALLY IMPROVED SURFACE INCLUDING, BUT NOT LIMITED TO, BUILDINGS, PAVEMENT AND GRAVEL AREAS SUCH AS ROADS, PARKING LOTS AND PATHS, AND RECREATION FACILITIES SUCH AS TENNIS COURTS (ACTIVITY FIELDS THAT HAVE BEEN DESIGNED TO ENHANCE DISPLACEMENT OF RUNOFF, SUCH AS COMPACTION AND GRADING, OR INSTALLATION OF SOFTED TURN AND UNDERGROUND CONSIDERED BUILT-UPON AREA). BUILT-UPON AREA DOES NOT INCLUDE A WOODEN SLATTED DECK OR THE WATER AREA OF A SWIMMING POOL.

SINGLE FAMILY LOT SIZE (SF)	MAX. BLDG COVERAGE
UP TO 4,000	30%
4,001 - 6,500	40%
6,501 - 8,500	40%
8,501 - 15,000	30%
15,001 OR GREATER	30%



SEE DETAIL SHEET FOR ADDITIONAL NOTES.



CURVE DATA			
CURVE	LENGTH	RADIUS	DIRECTION
C1	635.01	500.00	31.79' N06°31'34"W
C2	6.89	380.00	31.01' N41°49'46"W
C3	58.99	160.00	86.76' N47°57'47"W
C4	66.71	80.00	35.43' S52°32'30"E

**TREE PROTECTION DETAIL**  
15.0002 CUD STD # 40.02

**TREE PLANTING (FOR SINGLE AND MULTI-STEM TREES)**  
15.0002 CUD STD # 40.01