

Tax # 175-146-88 Parfino NC, LLC
CB 17850 Pg 63 zoning C-1
Use: Office

LITTLE SUGAR CREEK

top of creek bank

40' rear yard

35' Undisturbed Stream Side Zone

45' Managed Use Zone

PCO NATURAL AREA
0.41 AC
(HATCHED)

25' Upland Zone

100' SWM Buffer/PCO Water Quality Buffer
(as measured from top of creek bank)

PROPOSED BUILDING
7,850 SF

ACCESSIBLE
PARKING & SIGNAGE
(CLDSM: 50.10)

1 BICYCLE RACK
4 SPACES
(CLDSM: 50.21)

PROP. 7' SIDEWALK

PROP. CURB
TRANSITION

PROP. CURB STOP
(REFER TO DETAIL)

6 COMPACT
PARKING SPACES

PROP. 1.5' MOUNTABLE
CURB & GUTTER
(CLDSM 10.17B)

PROP. 5' SIDEWALK
AT BACK OF CURB

PROP. SIGN
"KEEP RIGHT"
(MUTCD R4-7)

PROP. HEAVY DUTY
ASPHALT IN DRIVE AISLES
+/- 10,828 SF
(REFER TO DETAIL)

UNDISTURBED AREA
3,884 SF
(HATCHED)

Tax # 175-131-99
Zoning: R-3
Use: Vacant

Tax # 175-131-38
Zoning: R-3
Use: Single-Family Residential
(B 20259-560)

Nance T. Levin & Ross C. Levin

DENSITY CALCULATIONS:

NUMBER OF UNITS ALLOWED

PHASE 1 (PID # 175-131-37):
R-22: 5.839 AC x 22 UNITS/AC = 128.45 UNITS
R-3: 0.345 AC x 3 UNITS/AC = 1.03 UNITS
TOTAL: 129.48 UNITS

PHASE 2 (PID # 175-131-12 & 175-131-99):
R-22: 2.031 AC x 22 UNITS/AC = 44.68 UNITS
R-3: 0.113 AC x 3 UNITS/AC = 0.33 UNITS
TOTAL: 45.01 UNITS

TOTAL ALLOWED: 174.49 UNITS

SUMMARY

PHASE 1 (EXISTING):	129 UNITS	20.8 UNITS/AC
PHASE 2 (PROPOSED):	45 UNITS	20.9 UNITS/AC
TOTAL:	174 UNITS	20.9 UNITS/AC

DEVELOPMENT SUMMARY

TAX PARCEL ID #:	175-131-12 & 175-131-99
ZONING:	R-3 & R-22MF
TOTAL SITE AREA:	
PHASE 1:	
R-3:	0.35 AC (PID # 175-131-37, MATADOR LN)
R-22MF:	5.84 AC (PID # 175-131-37)
PHASE 2:	
R-3:	0.11 AC (PID # 175-131-99)
R-22MF:	2.03 AC (PID # 175-131-12)
TOTAL:	8.33 AC
PROPOSED USE:	APARTMENTS (45 UNITS)
SETBACKS:	
TOTAL:	N/A (40' REAR YARD TO BE USED)
SIDE:	42' (ADJACENT TO SF, SEE NOTE 16)
REAR:	5' (ADJACENT TO MF)
BUILDING HEIGHT:	
MAXIMUM:	40' (BASE HT.)
AVERAGE:	56' (SEE NOTE 16)
BUILDING SEPARATION:	16' MIN.
OPEN SPACE:	
REQUIRED:	40% MIN. (37,287 SF)
PROPOSED:	61,662 SF
VEHICULAR PARKING:	
REQUIRED:	261 (1.5 PER UNIT)
EXISTING (PHASE 1):	204 SPACES
TO BE REMOVED:	4 SPACED
PROPOSED:	61 SPACES
STANDARD:	45
COMPACT:	16
TOTAL:	261 SPACES
BICYCLE PARKING:	
REQUIRED:	NONE
LONG-TERM:	3 (1 PER 20 UNITS)
SHORT-TERM:	4
PROPOSED:	
SOLID WASTE/RECYCLING:	
REQUIRED:	8 CU. YD. COMPACTOR/90 UNITS 144 SF RECYCLE STATION/80 UNITS
PROVIDED:	16 CU. YD. COMPACTOR 432 SF RECYCLE STATION

NOTES:

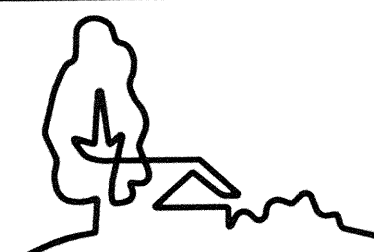
- BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY:
A.G. ZOUTEWELLE SURVEYORS
1418 EAST FIFTH STREET
CHARLOTTE, NC 28204
(704) 372-9444
- SEE ARCHITECTURAL PLANS FOR BUILDING FOOTPRINT DIMENSIONS PREPARED BY:
ANDRON ARCHITECTS & ASSOCIATES
11312 SADDLEVIEW CT
RALEIGH, NC 27615
919-616-0405
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
- ALL DEVELOPMENT CREATING A TOTAL 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
- TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY OF CHARLOTTE LANDSCAPE MANAGEMENT AT 704-336-4262. ALL TREES OVER 8-INCHES IN DIAMETER (4.5-FT ABOVE GROUND) IN SETBACK AREA ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY ENGINEERING AT 704-336-6692.
- ALL EXISTING DUMPSTERS TO BE REMOVED ONCE COMPACTOR IS INSTALLED. TRASH SERVICE FOR THE ENTIRE SITE WILL BE CONTRACTED THROUGH A PRIVATE COLLECTION COMPANY. COORDINATION FOR SERVICE IS THE RESPONSIBILITY OF THE APPLICANT.
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. CURB RADII SHALL MEASURE 4'-6" AT BACK OF CURB UNLESS OTHERWISE NOTED.
- THIS DEVELOPMENT IS PHASE 2 OF AN EXISTING DEVELOPMENT (ADJACENT TO THE NORTH, PID#175-131-37).
- ACCESS TO THE PROJECT SITE WILL BE PROVIDED VIA MATADOR LANE, A PRIVATE STREET OFF SELWYN AVENUE CURRENTLY SERVING THE EXISTING DEVELOPMENT. THE OWNER WILL PETITION THE CITY TO ACCEPT OWNERSHIP AND MAINTENANCE OF MATADOR LANE AS A PUBLIC STREET UNDER SEPARATE COVER AT A LATER DATE.
- TREE SAVE AREAS WILL BE PROVIDED IN ACCORDANCE WITH THE CITY OF CHARLOTTE TREE ORDINANCE AND WILL BE LOCATED WITHIN THE SWM BUFFER AS SHOWN ON THE REQUIRED LANDSCAPE PLAN.
- THE OWNER WILL REQUEST AN ALTERNATE BUFFER PER SECTION 12.304 OF THE ORDINANCE. THE SITE HAS UNUSUAL/SEVERE TOPOGRAPHY AND A S.W.I.M. BUFFER THAT PREVENT MAKING A CONNECTION INTO THE SITE VIA THE REAR DRIVE OF THE EXISTING DEVELOPMENT. THEREFORE, AN ENCROACHMENT INTO THE REQUIRED BUFFER IS NECESSARY FOR ONLY THE ACCESS DRIVE TO ALLOW A VEHICULAR CONNECTION TO THE PARKING LOT OF THE EXISTING PORTION OF THE MULTI-FAMILY DEVELOPMENT CLOSEST TO MATADOR LANE.
- THE OWNER MUST PURCHASE AND RECOMBINE THE SMALL ADJACENT LOT (PID #175-131-99) INTO THE PROJECT PARCEL FOR USE AS A BUFFER PRIOR TO MULTI-FAMILY APPROVAL AND ISSUANCE OF PERMITS.
- THE SMALL ADJACENT LOT (PID #175-131-99) WILL REMAIN UNDISTURBED TO THE GREATEST EXTENT FEASIBLE AND WILL MEET THE PLANTING REQUIREMENTS OF A FULL WIDTH CLASS C BUFFER. REFER TO SITE PLAN, GRADING PLAN, AND LANDSCAPE PLAN FOR MORE DETAILED INFORMATION.
- ALL PORTIONS OF THE PROPOSED BUILDING MUST BE LOCATED WITHIN 400 LINEAR FEET OF A PUBLIC OR PRIVATE STREET. THE FURTHEST POINT OF THE PROPOSED BUILDING IS 384 LF FROM THE EDGE OF MATADOR LANE WHERE IT MEETS THE ACCESS DRIVE INTO THE PROPERTY.
- MAXIMUM BUILDING HEIGHT MAY BE INCREASED PER ALLOWANCES IN TABLE 9.305(1)(J)(B) OF THE ORDINANCE.
- SEE INCLUDED SECTION FOR BUILDING HEIGHT INFORMATION (SHEET C-4.1). 10' SIDE YARD HAS BEEN INCREASED TO 42 FEET PER TABLE 9.305(1)(J)(B) TO ALLOW FOR TOTAL AVERAGE MAXIMUM HEIGHT OF 56 FEET (16' OVER 40' BASE HT. MAX = 32' INCREASE OF SIDE YARD).
- OPEN SPACE CALCULATION IS BASED ON ONLY PHASE 2 OF THE OVERALL DEVELOPMENT.
- BUFFER WIDTH IS BASED ON THE OVERALL DEVELOPMENT SIZE.
- ALL UTILITIES WILL BE UNDERGROUND UNLESS DUKE POWER ELECTS TO SERVE THE PROPOSED BUILDING VIA OVERHEAD POWER FROM AN EXISTING POLE AND TRANSFORMER ON OR ADJACENT TO THE SITE.
- AN EXACT COMPLETION SCHEDULE HAS NOT YET BEEN DETERMINED, BUT IT IS ANTICIPATED THAT CONSTRUCTION WILL BE COMPLETE BY JANUARY 2016.
- THE OWNER HAS CONFIRMED WITH KEVIN BRICKMAN THAT THE 100' SWM BUFFER IS TO BE DEDICATED OR SOLD TO MECKLENBURG COUNTY PARK & RECREATION.



GRAPHIC SCALE

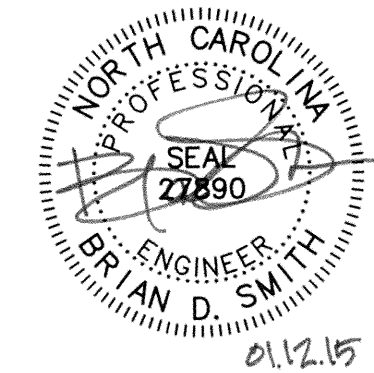
20 0 10 20 40
1 INCH = 20 FEET

BEFORE YOU DIG
CALL 1-800-832-4049
N.C. ONE-CALL CENTER
IT'S THE LAW!



URBAN
DESIGN
PARTNERS

1318-e6 central ave. P. 704.334.3303
charlotte, nc 28205 F. 704.334.3305
urbandesignpartners.com



Phillips Development
and Realty

Mr. Matt Murphy
142 West Platt Street
Tampa, FL 33602

3400 Selwyn Phase 2 Site Plan

City of Charlotte, NC

NO. DATE BY: REVISIONS:

1	9.23.14	udb	PER CITY COMMENTS
2	11.12.14	udb	PER CITY COMMENTS
3	1.12.15	udb	PER CITY COMMENTS

Project No: 13-054

Date: July 10, 2014

Designed by: udb

Drawn by: udb

Scale: 1" = 20'

Sheet No:

C-3.0



Mr. Matt Murphy
142 West Platt Street
Tampa, FL 33602

3400 Selwyn

Phase 2

Overall Site Plan

City of Charlotte, NC

NO.	DATE:	BY:	REVISIONS:
1	9.23.14	udp	PER CITY COMMENTS
2	11.12.14	udp	PER CITY COMMENTS
3	1.12.15	udp	PER CITY COMMENTS

Project No: 13-054
Date: July 10, 2014
Designed by: udp
Drawn By: udp
Scale: 1" = 30'
Sheet No:

C-3.1

