

CITY OF CHARLOTTE DEPARMENT OF TRANSPORTATION (CDOT).

om, Feb 23, 2015 400 SELWYN **APPROVED APPROVED**

PRELIMINARY PLANNED **MULTI-FAMILY SUBDIVISION APPROVAL** CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

By Brent Wilkinson 2/24/15

CONTACT INFORMATION

PHILLIPS DEVELOPMENT AND REALTY

ADDRESS: 142 WEST PLATT STREET

ANDRON ARCHITECTS & ASSOCIATES

CONTACT: S. ROBERT ANDRON

PHONE: 919-616-0405

URBAN DESIGN PARTNERS

CONTACT: BRIAN D. SMITH. PE

ADDRESS: 11312 SADDLEVIEW CT

RALEIGH, NC 27613

CIVIL ENGINEER & LANDSCAPE ARCHITECT

ADDRESS: 1318-E6 CENTRAL AVENUE

CHARLOTTE, NC 28205

PHONE: 704-334-3303 FAX: 704-334-3305

TAMPA, FL 33602

PHONE: 813-868-3100 FAX: 813-868-3102

CONTACT: MATT MURPHY

URBAN DESIGN PARTNERS

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CHARLOTTE, NORTH CAROLINA

By Gary Turner (704-336-4330) at 9:57 am, Feb 19, 2015

y Brendan Smith (bmsmith@charlottenc.gov) at 2:19 pm, Feb 23, 20

Landscape plans not attached. Approved based on no revisions to previously approved LS plans

CDOT

http://development.charmeck.org

. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CHARLOTTE LAND

2. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDRD SPECIFICATIONS FOR ROADS AND STRUCTURES UNLESS OTHERWISE SPECIFIED IN THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.

3. ALL PUBLIC STREETS WITHIN THE DEVELOPMENT WILL BE CONSTRUCTED TO THE CITY OF CHARLOTTE STANDARDS IN ORDER TO BE DEDICATED PUBLIC RIGHT OF WAYS.

5. DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM #50.05A OR #50.05B. SIGNS SHOULD BE LOCATED

4. ALL CURBS SHALL HAVE A 4.5' RADIUS AT THE BACK OF CURB UNLESS OTHERWISE NOTED.

- B. NON-STANDARD ITEMS (I.E.: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE

'. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. FURTHER REQUIREMENTS MAY BE MADE BY THE

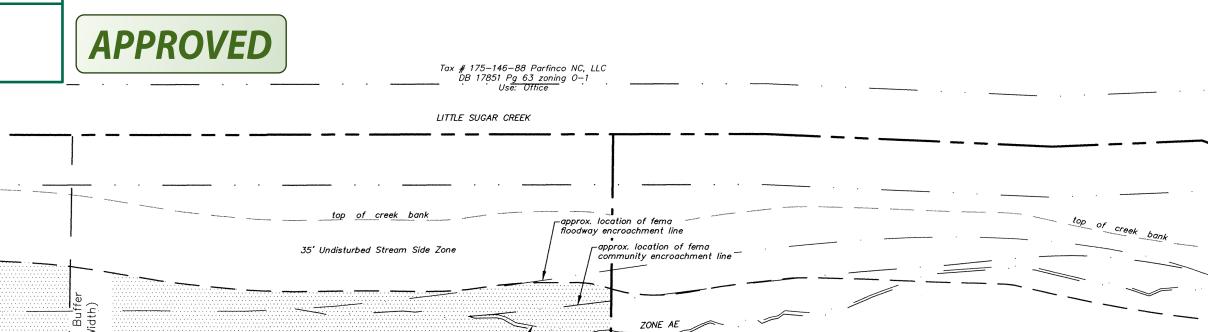
- ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION /NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
- 9. ANY BUILDING WITHIN THE 100+1 BUILDING RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF THE CITY OF CHARLOTTE SUBIDIVISION ORDINANCE, SECTION 7.200.8.
- 10. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3600 P.S.I. AT 28 DAYS AND SHALL COMPLY WITH SECTION 1000 OF THE NCDOT STANDARD SPECIFICATIONS.
- 1. ALL CONCRETE SHALL BE CURED WITH 100% RESIN BASE, WHITE PIGMENTED CURING COMPOUND WHICH MEETS A.S.T.M. SPECIFICATIONS C-309, TYPE 1, APPLIED AT ONE GALLON TO 400 SF WITHIN 24 HOURS OF
- 12. ALL CURB AND GUTTER SHALL BE BACKFILLED WITH SOIL APPROVED BY THE INSPECTOR 48 HOURS AFTER CONSTRUCTION TO PREVENT EROSION.

13. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGATATIVE MATTER, WASTE. CONSTRUCTION MATERIAL, OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.

14. ALL TRENCHES IN THE STREET RIGHT OF WAY SHALL BE BACKFILLED WITH SUITABLE MATERIAL IMMEDIATELY AFTER THE PIPE IS LAID.

- 15. ALL SUBGRADE FOR ROADS SHALL BE COMPACTED TO 100% OF THE MAXIMUM DENSITY OBTAINABLE
- 16. ALL TESTS SHALL BE PERFORMED BY THE DEVELOPER AT NO COST TO THE CITY.
- 17. CONTRACTOR SHALL MAINTAIN TWO WAY TRAFFIC AT ALL TIMES WHEN WORKING WITHIN EXISTING STREETS. THE CONTRACTOR SHALL PLACE AND MAINTAIN SIGNS, DANGER LIGHTS, BARRICADES, AND FURNISH WATCHMEN OR FLAGMEN TO DIRECT TRAFFIC IN ACCORDANCE WITH THE WORK AREA TRAFFIC
- 18. SIDEWALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3600 PSI CONCRETE AND SHALL BE FOUR (4) INCHES THICK, CONSTRUCTED ON AN ADEQUTELY GRADED BASE, EXCEPT WHERE A SIDEWALK CROSSES A DRIVEWAY IT SHALL BE SIX (6) INCHES THICK.
- 19. SUBGRADE FOR SIDEWALKS SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTER TEST. THE SURFACE OF THE SIDEWALK SHALL BE STEEL TROWEL AND LIGHT BROOM FINISHED AND CURED WITH AN ACCEPTABLE CURING COMPOUND. TOOLED JOINTS SHALL BE PROVIDED AT AN INTERVAL NOT LESS THAN FIVE (5) FEET AND EXPANSION JOINTS AT INTERVALS NOT MORE THAN 45 FEET. THE SIDEWALK SHALL HAVE A LATERAL SLOPE OF 1/4" PER FOOT.
- 20. THE ELEVATION OF THE SIDEWALK SHALL BE RELATED TO THE ELEVATION OF THE CROWN OF THE ADJACENT ROADWAY. THE SIDEWALK SHALL BE NO LESS THAN SIX (6) INCHES OR MORE THAN 18 INCHES ABOVE THE ROADWAY CROWN, EXCEPT THAT THE CROSSWALK ELEVATIONS SHALL BE PROPERLY RELATED TO THE EXISTING OR PROPOSED ROADWAY CURB.
- 21. IN ROLLY AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APLLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR
- 22. UTILITY INSTALLATIONS MAY ONLY CROSS BUFFER AREAS AT INTERIOR ANGLES MEASURED AT PROERTY LINES WHICH ARE NOT LESS THAN 75 DEGREES AND, TO THE EXTENT POSSIBLE, PATHS CLEARED FOR SUCH UTILITY LINES SHALL BE REPLANTED WITH PLANT MATERIALS FROM THE ORDINANCES APPROVED PLANT LIST.
- SIGNIFICANT VEGATATION EXISTS. THESE AREAS SHALL REMAIN UNDISTURBED EXCEPT TO THE EXTENT NECESSARY TO ACCOMODATE THE ABOVE ITEMS OF THIS SECTION.
- 27. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY ENGINEERING DEPARTMENT IN
- 28. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANÝ OTHER OBJECTS WICH IMPEDE STORM WATER
- 30. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
- 32. ALL DEVELOPMENT CREATING A TOTAL 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
- REMOVAL BY CITY ENGINEERING AT 704-336-6692.
- 35. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TÓ COORDINATE RELOCATION. DEVELOPER SHALL BE RESONSIBLE FOR ALL RELATED
- 36. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATIONCONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION

HTTP: /WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREET+MAINTENANCE/HOME.HTM



100-year fema flood fringe line approx. location of zone 100' SWM Buffer/PCO Water Quality Buffer (as measured from top of creek bank) PROPOSED BUILDING 7,850 SF

(1,870 s.f.).

shed

Tax # 175-133-87

Lot 10 Block C Zoning: R-3

Use: Single—Family Residential MB 3 Pg. 534 15,060 s.f. DB 16843, Pg 818

2' valley curb ______ curbing

Lot 9 Block C, Part Lot 8

Use: Single-Family Residential

Barbara Miller DB 19087 Pg 321

Parts of Lot 8 & Lot 7
Tax # 175-133-85
Zoning: R-3
Use: Single-Family Residential
DB 7804-12

MB 3-534 BLOCK (

2-story brick apartment bldg (3,710 s.f.)

apartment bldg.

(1,870 s.f.)

conc.

Lot 12 Block C Tax # 175-131-14 Zoning: R-3

MB 3 Pg 534 DB 20673 Pg 456

Mary Faison Green Knox

Part of Lot 3 Tax # 175–131–10 Zoning: R–3 Use: Single–Family Residential Zoning: R-3 Use: Single-Family Residential DB 6889-765 MB 3-302 DB 9237-72

Mitchell Lasner

Class C Buffer (33' Width with Fence)

23. NO BUILDINGS, PARKING SPACES OR MANUVERING AREAS MAY BE LOCATED WITHIN ANY BUFFER AREAS. 24. THE DEVELOPER SHALL MAKE A DILIGENT EFFORT TO PRESERVE AREAS OF REQUIRED BUFFERS WHERE

25. UNDER DRAINAGE SHALL BE PROVIDED AS DIRECTED BY GEO-TECHNICAL ENGINEER. DETERMINATION SHALL BE MADE IN THE FIELD. DRAINS TO BE INSTALLED PER CLDSM STD #30.05.

26. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED

ACCORDANCE WITH THE CITY SUBDIVISION ORDINANCE.

FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.

31. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES

33. TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY OF CHARLOTTE LANDSCAPE MANAGEMENT AT 704-336-4262. ALL TREES OVER 8-INCHES IN DIAMETER (4.5-FT ABOVE GROUND) IN SETBACK AREA ARE PROTECTED BY LAW. PERMIT REQUIRED FOR

34. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.

RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.

SELWYN AVENUE 50' R/W

LCURB CUTS

PROPOSED R/W (CLASS III)

City of Charlotte

Tax # 175-131-38

Zoning: R-3 Use: Single-Family Residential DB 20559-560

Nance T. Levin & Ross C. Levin

SITE DETAILS & SPECIFICATIONS SITE DETAILS & SPECIFICATIONS SITE DETAILS & SPECIFICATIONS **DEMOLITION & EROSION CONTROL PLAN - PHASE 1 EROSION CONTROL PLAN - PHASE 2 EROSION CONTROL DETAILS** MATADOR LANE IMPROVEMENTS TURNING MOVEMENTS

C-4.4

SHEET INDEX

COVER SHEET

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BMP PLAN

BMP DETAILS

UTILITY PLAN

EXISTING CONDITIONS

DETAILED GRADING PLAN

STORM DRAINAGE PIPE PROFILE

STORM DRAINAGE AREA MAP

STORM DRAINAGE PLAN

OVERALL SITE PLAN

GRADING PLAN

LS-1.0 REQUIRED LANDSCAPE PLAN



IT'S THE LAW!

