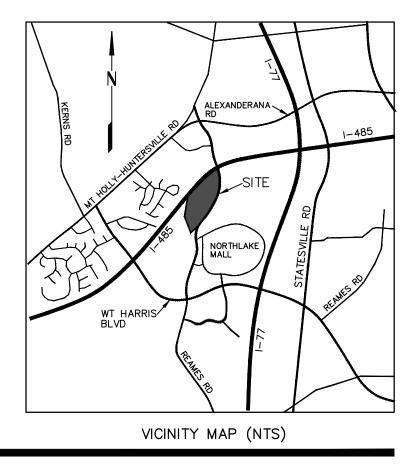
WOODFIELD NORTHLAKE



CHARLOTTE, NORTH CAROLINA

WOODFIELD INVESTMENTS, LLC 3328 LANDERWOOD DRIVE, CHARLOTTE, NC 28210 704.560.2793



CONSTRUCTION DOCUMENTS

- SURVEY INFORMATION OBTAINED BY LANDTEC.
- 2. ARCHITECTURAL DIMENSIONS TO BE VERIFIED BY SURVEYOR. REFER TO ARCHITECTURAL PLANS FOR EXACT
- AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION 4. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.

3. SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN

- 5. ALL ROAD IMPROVEMENTS AT NORTHLAKE CENTRE PARKWAY ARE TO BE COORDINATED WITH THE CITY OF
- CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- 6. DEVELOPER WILL PROVIDE STREET SIGNS PER CMLDS# 50.05 (9" SIGNS ONLY
- 7. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. 8. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT
- MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR
- 9. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD
- 10. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB. 11. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED
- 12. CURB AND GUTTER SHOWN ON PLANS ALONG NORTHLAKE CENTRE PARKWAY MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE
- MODIFICATION BASED UPON FIELD CONDITIONS. 13. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- 14. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- 15. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- 16. ANY BUILDING WITHIN THE 100+1 BUILDING RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF
- THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8. 17. ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS COMMUNITY ENCROACHMENT (0.1')
- FLOODWAY ENCROACHMENT AREA IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
- 18. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- 19. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- 20. NONSTANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- 21. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED
- R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN. 22. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60- 90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED
- 23. PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE
- RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER. 24. ALL CONSTRUCTION TO CONFORM TO CHARLOTTE / MECKLENBURG LAND DEVELOPMENT STANDARDS.
- 25. FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE COUNTY FIRE MARSHALL DURING
- THE BUILDING PERMIT PROCESS. 26. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF

RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.

TRANSPORTATION (704-336-4025) OR VISIT http://www.charmeck.org/Departments/Transportation/Street+Maintenance/Home.htm PER SECTION 18-175(e) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCCEs) MUST BE RECORDED PRIOR TO THE ISSUANCE OF ISSUANCE OF THE CERTIFICATE

SWIM BUFFER NOTES:

OF OCCUPANCY.

- 1. THE STREAM SIDE ZONE OF THE BUFFER MUST BE LEFT COMPLETELY UNDISTURBED. IN THE MANAGED USE ZONE, AT A LIMITED NUMBER OF TREES CAN BE REMOVED PROVIDED THAT THE TREE DENSITY REMAINING IS A MINIMUM OF 8 HEALTHY TREES OF A MINIMUM 6-INCH CALIPER PER 1,000 SQUARE FEET. REMOVAL OF EXISTING VEGETATION MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF REMAINING TREES.
- 2. PLANS CLEARLY INDICATE THAT NO FILL MATERIAL IS TO BE BROUGHT INTO THE BUFFER AND THAT NO STRUCTURES ARE ALLOWED WITHIN ANY OF THE BUFFER AREAS (EXCEPT NON-COMMERCIAL OUT BUILDINGS NOT EXCEEDING 150 SQUARE FEET.)
- 3. GRADING AND OTHER LAND DISTURBING ACTIVITIES ARE ALLOWED ONLY IN THE UPLAND ZONE, HOWEVER, THESE ACTIVITIES MUST BE PERFORMED IN SUCH AS MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF
- REMAINING TREES. GRASS OR OTHER SUITABLE GROUND COVER CAN BE APPLIED TO THE UPLAND ZONE. 4. THE OUTSIDE BOUNDARY OF THE BUFFER MUST BE CLEARLY MARKED WITH ORANGE FABRIC FENCING PRIOR TO ANY LAND DISTURBING ACTIVITIES (GRADING, TREE CUTTING OR STUMPING, ETC.) AT THE SITE AND THIS
- FENCING MUST BE CALLED OUT ON PLANS. 5. THE OUTSIDE BOUNDARY OF THE STREAM BUFFER MUST BE PERMANENTLY MARKED WITH AN IRON PIN OR OTHER ACCEPTABLE PROPERTY CORNER MARKER AT STREET CROSSINGS AND THIS MARKER MUST BE CALLED OUT ON THE PLANS.

REGULATIONS.

- 1. CONTRACTOR SHALL NOTIFY THE ENGINEER OF WORK 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INTERPRETATIONS FOR ANY QUESTIONS REGARDING THESE DRAWINGS PRIOR TO COMMENCEMENT OF WORK OR ORDERING OF MATERIALS AND SHALL BEAR THE COST OF ALL
- 3. CONTRACTOR SHALL PROVIDE ENGINEER RECORD DRAWING INFORMATION FROM A REGISTERED LAND SURVEYOR UPON COMPLETION OF CONSTRUCTION.
- 4. CONTRACTOR SHALL OBTAIN A PERMIT FOR ANY EXCAVATION PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY 5. THE ENGINEER OF WORK SHALL NOT BE RESPONSIBLE FOR THE ENFORCEMENT OF SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY STANDARDS, LAWS AND
- 6. CONTRACTOR SHALL ADJUST ALL PROPOSED AND EXISTING FACILITIES TO FINAL GRADE PER AGENCY STANDARDS. 7. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE FIELD DATA AND THE INFORMATION SHOWN HEREON. ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY WORK DONE WITHOUT PROPER
- 8. THE ENGINEER PREPARING THESE PLANS SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE DESIGN ENGINEER PRIOR TO IMPLEMENTATION.
- 9. PRIVATE WATER AND SANITARY SEWER SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH N.C.D.E.N.R. REGULATIONS IN THE PRESENCE OF THE ENGINEER. RECEIPT OF FINAL ACCEPTANCE SHALL BE REQUIRED PRIOR TO ACTIVATION OF FACILITIES.
- 10. EXISTING SANITARY SEWER AND WATER SYSTEM SHOWN PER PROVIDED SURVEY AND CMUD REFERENCE DRAWINGS. EXISTING PUBLIC UTILITY INFORMATION IS SHOWN FOR REFERENCE ONLY. EXISTING SIZES, INVERTS AND LOCATIONS
- SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION AND THE ORDERING OF MATERIALS 11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL SUBSTRUCTURES, WHETHER SHOWN HEREON OR NOT, AND PROTECT FROM DAMAGE DURING INSTALLATION. THE EXPENSE OF REPAIR OR REPLACEMENT OF SAID
- STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. 12. A LICENSED UTILITY CONTRACTOR WILL INSTALL THE TAPS AND METERS. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE TAPS AND METERS TO CMUD STANDARDS AND REGULATIONS.
- 13. SANITARY YARD HYDRANTS SHALL NOT BE 'STOP AND DRAIN', 'STOP AND WASTE', OR 'WEEP HOLE' TYPE 14. IF CONTRACTOR OPTS TO INSTALL PRECAST STRUCTURES, CONTRACTOR SHALL VERIFY RIM ELEVATIONS AND
- LAYOUT OF ALL PIPES, INCLUDING SIZE AND INVERTS OF EXISTING FACILITIES, PRIOR TO THE ORDERING OF
- 15. IT SHALL BE THE RESPONSIBILITY OF THE INSTALLER TO ADJUST ALL PRECAST STRUCTURES TO FINISHED GRADE IN ACCORDANCE WITH AGENCY SPECIFICATIONS AND MANUFACTURER RECOMMENDATIONS. NO ADDITIONAL PAYMENT WILL BE MADE FOR ADJUSTING FACILITIES TO FINISHED GRADE.
- 16. FIRE HYDRANTS ARE TO BE 10' CLEAR OF ANY OBSTRUCTIONS.
- 17. FDC LOCATIONS SHALL BE IN ACCORDANCE W/ CFD REQUIREMENTS.
- 18. FIRE SPRINKLER SIZING AND FDC CONNECTIONS TO BE SIZED AND LOCATED PER THE RECOMMENDATIONS OF THE FIRE SPRINKLER CONSULTANT. ALL REFERENCES SHOWN HEREON ARE FOR SCHEMATIC PURPOSES ONLY.

CONSULTANTS: WOODFIELD INVESTMENTS, LLC DEVELOPER: 3328 LANDERWOOD DRIVE,

704.560.2793

THE HOUSING STUDIO 333 WEST TRADE STREET SUITE 300 CHARLOTTE, NC 28202

CHARLOTTE, NC 28210

704.333.7862

LANDSCAPE ARCH.: DESIGN RESOURCE GROUP, PA 2459 WILKINSON BOULEVARD SUITE 200 CHARLOTTE, NC 28208

704.343.0608

DESIGN RESOURCE GROUP, PA CIVIL ENGINEER: 2459 WILKINSON BOULEVARD SUITE 200

CHARLOTTE, NC 28208 704.343.0608

LANDTEC 137 CROSS CENTER RD DENVER, NC 28037 704.483.3201

PRELIMINARY PLANNED MULTI-FAMILY SUBDIVISION APPROVAL CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

By Brent Wilkinson 11/25/14

ARCHITECT:

CHARLOTTE

http://development.charmeck.org

ENGINEERING PCO / DETENTION / DRAINAGE PLAN

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT http://development.charmeck.org

URBAN FORESTRY

CDO1

PLANNING

UMUDD / MUDD / PED / TOD

NOTE: THIS PLAN APPROVAL DOES NOT INCLUDE COMMERCIAL ZONING. ALL BUILDING PERMITS AND ZONING APPROVALS CAN BE OBTAINED AT MECKLENBURG COUNTY CODE ENFORCEMENT. PLEASE CALL CTAC AT 704-336-3829 FOR MORE INFORMATION.

SITE DATA 02510301, PORTION OF 02510302, 02510303, 02508123 TAX MAP NO:

MULTI-FAMILY APARTMENTS FOR RENT

UR-3(CD)**REZONING PETITION NO:** 2013-067

OVERALL SITE AREA: 18.95 AC (825.517 SF) SITE AREA (EXCLUDING NEW R/W): 16.73 AC (728,548 SF)

PROPOSED UNITS: 18.53 DUA TOTAL GROSS FLOOR AREA: 402,757 SF

2.0 MAXIMUM FAR: PROPOSED FAR:

PROPOSED USE:

MAXIMUM HEIGHT: 60' MAXIMUM (PER UR-3 ZONING) 4 STORY MAXIMUM ALONG DIXON BRANCH/ 6 STORY MAXIMUM ELSEWHERE (PER REZONING NOTES)

PROPOSED HEIGHT: BLDG. TYPE I = $48'-2 \ 3/4"$ HT. ABOVE AVG. GRADE PLANE BLDG. TYPE II = $53'-10 \ 3/4"$ HT. ABOVE AVG. GRADE PLANE BLDG. TYPE III: = 56'-35/8" HT. ABOVE AVG. GRADE PLANE BLDG. TYPE IV: = 51'-3 3/4" HT. ABOVE AVG. GRADE PLANE BLDG. TYPE V: = $50-3 \ 3/4$ " HT. ABOVE AVG. GRADE PLANE BLDG. TYPE VI: = $50-3 \ 3/4$ " HT. ABOVE AVG. GRADE PLANE

PARKING REQUIRED: 310 MINIMUM - 620 MAXIMUM (1 SPACE/UNIT MINIMUM - 2 SPACE/UNIT MAXIMUM)

LOADING SPACES REQUIRED: PARKING PROVIDED:

9 REGULAR HANDICAP SPACES 3 VAN ACCESSIBLE HANDICAP SPACES 14 CARRIAGE UNIT GARAGE SPACES 14 TANDEM SPACES 28 GARAGE SPACES 1 VAN ACCESSIBLE GARAGE SPACE 83 REGULAR ON STREET SPACES 2 ACCESSIBLE ON STREET SPACES 532 SPACES TOTAL

BLDG. TYPE VII = 45-1 1/8" HT. ABOVE AVG. GRADE PLANE

LENGTH OF PRIVATE STREET PARKING ALONG PRIVATE STREET: 41 SPACES

BICYCLE PARKING REQUIRED: 16 SPACES (1 SPACE/20 UNITS) BICYCLE PARKING PROVIDED: 20 SPACES [(4) 5 SPACE RACKS]

OPEN SPACE REQUIRED: 2.51 AC (15% MINIMUM) OPEN SPACE PROVIDED: 554,224 SF (12.72 ACRES) IMPERVIOUS AREA:

0 SF (0 ACRES)

10' MINIMUM

24' FROM BACK OF CURB

ALL UTILITIES TO BE UNDERGROUND

Ok, with comments, please revised

heet C7.05 (add one-way sign)

PROPOSED PUBLIC STREETS: 16' FROM BACK OF CURB (PER APPROVED REZONING PETITION NO. 2013-67)

PRE 1978 IMPERVIOUS AREA:

NORTHLAKE CENTRE PKWY: SIDE YARD: REAR YARD: BUILDING SEPARATION

TRASH PICK UP REQUIRED: (1) 8 CY. COMPACTOR PER 90 UNITS or (1) 8 CY DUMPSTER PER 30 UNITS TRASH PICK UP PROVIDED: 30 CY. COMPACTOR

By Emily Chien at 12:54 pm, Nov 25, 2014 RECYCLE PICK UP REQUIRED: RECYCLE PICK UP PROVIDED: ESTIMATED TIME OF COMPLETION:



APPROVED By Rick Grochoske at 5:37 pm, Nov 19, 2014

SHEET	SCHEDULE
C0.00	COVER SHEET
RZ-1.0	TECHNICAL DATA SHEET
RZ-2.0	SCHEMATIC SITE PLAN
RZ-3.0	BUILDING EXAMPLE A
RZ-3.1	BUILDING EXAMPLE B
C1.00	EXISTING CONDITIONS
C2.00	SITE PLAN
C2.01	ACCESSIBLE ROUTE PLAN
C2.02	OPEN SPACE PLAN
C2.03	BUILDING FRONTAGE PLAN
C2.04	TRUCK TURNING MOVEMENTS PLAN
C3.00	EROSION CONTROL PHASE 1
C3.01	EROSION CONTROL PHASE 2
C4.00	OVERALL GRADING PLAN
C4.01	GRADING PLAN
C4.02	GRADING PLAN
C4.03	GRADING PLAN
C4.04	GRADING PLAN
C4.05	GRADING PLAN
C4.06	GRADING PLAN
C4.10	STORM DRAINAGE PLAN
C4.11	STORM DRAINAGE AREAS PLAN
C4.12	AREA DRAIN PLAN
C4.13	WET POND DETAILS
C4.14	STORM WATER MANAGEMENT PLAN
C5.00	OVERALL UTILITY PLAN
C6.00	REQUIRED PLANTING PLAN
C6.01	WET POND PLANTING PLAN
C6.02	TREE SAVE CALCULATIONS PLAN
C7.00	PUBLIC STREET "A" PLAN AND PROFILE
C7.01	PUBLIC STREET "A" PLAN AND PROFILE
C7.02	PUBLIC STREET "B" PLAN AND PROFILE
C7.03	ISD PROFILES
C7.04	NORTHLAKE CENTRE PKWY IMPROVEMENTS
C7.05	PAVEMENT MARKING PLAN
37.00	
C7.06	NORTHLAKE CENTRE PKWY CROSS-SECTIONS
	CROSS-SECTIONS NORTHLAKE CENTRE PKWY CROSS-SECTIONS
C7.06 C7.07 C7.08	CROSS—SECTIONS NORTHLAKE CENTRE PKWY CROSS—SECTIONS NORTHLAKE CENTRE PKWY CROSS—SECTIONS
C7.06 C7.07 C7.08 C7.09	CROSS-SECTIONS NORTHLAKE CENTRE PKWY CROSS-SECTIONS NORTHLAKE CENTRE PKWY CROSS-SECTIONS TRAFFIC CONTROL PLAN
C7.06 C7.07 C7.08 C7.09 C8.00	CROSS—SECTIONS NORTHLAKE CENTRE PKWY CROSS—SECTIONS NORTHLAKE CENTRE PKWY CROSS—SECTIONS TRAFFIC CONTROL PLAN SITE DETAILS
C7.06 C7.07 C7.08 C7.09 C8.00 C8.01	CROSS—SECTIONS NORTHLAKE CENTRE PKWY CROSS—SECTIONS NORTHLAKE CENTRE PKWY CROSS—SECTIONS TRAFFIC CONTROL PLAN SITE DETAILS SITE DETAILS
C7.06 C7.07 C7.08 C7.09 C8.00 C8.01 C8.02	CROSS—SECTIONS NORTHLAKE CENTRE PKWY CROSS—SECTIONS NORTHLAKE CENTRE PKWY CROSS—SECTIONS TRAFFIC CONTROL PLAN SITE DETAILS SITE DETAILS SITE DETAILS
C7.06 C7.07 C7.08 C7.09 C8.00 C8.01 C8.02 C8.03	CROSS—SECTIONS NORTHLAKE CENTRE PKWY CROSS—SECTIONS NORTHLAKE CENTRE PKWY CROSS—SECTIONS TRAFFIC CONTROL PLAN SITE DETAILS SITE DETAILS SITE DETAILS SITE DETAILS
C7.06 C7.07 C7.08 C7.09 C8.00 C8.01 C8.02	CROSS—SECTIONS NORTHLAKE CENTRE PKWY CROSS—SECTIONS NORTHLAKE CENTRE PKWY CROSS—SECTIONS TRAFFIC CONTROL PLAN SITE DETAILS SITE DETAILS SITE DETAILS

C9.00 | EROSION CONTROL DETAILS

C9.01 | EROSION CONTROL DETAILS

C9.02 | STORM DRAINAGE DETAILS

A3.6 BUILDING TYPE I ELEVATIONS

A3.7 BUILDING TYPE I ELEVATIONS

A4.8 BUILDING TYPE II ELEVATIONS

A4.9 BUILDING TYPE II ELEVATIONS

A5.8 | BUILDING TYPE III ELEVATIONS

A5.9 BUILDING TYPE III ELEVATIONS

A6.6 BUILDING TYPE IV ELEVATIONS

A6.7 BUILDING TYPE IV ELEVATIONS

A7.6 BUILDING TYPE V ELEVATIONS

A8.4 BUILDING TYPE VI ELEVATIONS

A9.5 BUILDING TYPE VII ELEVATIONS

A10.1 GARAGE ELEVATIONS

A10.2 GARAGE ELEVATIONS

BUILDING TYPE V ELEVATIONS

BUILDING TYPE VII ELEVATIONS

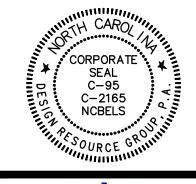
C9.03 UTILITY DETAILS

- design resource group
- landscape architecture
 - civil engineering urban design
 - land planning
- traffic engineering

transportation planning

2459 wilkinson boulevard, suite 200 charlotte, nc 28208 p 704.343.0608 f 704.358.3093

www.drgrp.com





E 32 Ct

00D

CONSTRUCTION

DOCUMENTS

COVER SHEET

217-025

MAY 30, 2014

PROJECT #:

CHECKED BY:

DRAWN BY:

REVISIONS: 1. 08/15/14 PER REVIEW COMMENTS

2. 10/28/14 PER REVIEW COMMENTS

C0.00

PRIOR TO ORDERING OR INSTALLATION.

1. THE TYPE, LOCATION, AND SPACING OF ALL LIGHT FIXTURES IN THE PUBLIC RIGHT OF WAY SHALL BE REVIEWED AND APPROVED BY CDOT

-ACCESSIBLE PARKING (TYP.), SEE

50' CLASS C BUFFER REDUCED

N.C. DEPARTMENT OF CONCRETE STAIRS

BIKE PARKING, SEE DETAIL 9 SHEET C8.00

DB 14933 PG 646

TAX PARCEL: 025-102-34

ZONING: R-3 USE: VACANT

REGULAR DUTY ASPHALT (TYP.)

HEAVY DUTY ASPHALT (TYP.), SÈE

BIKE PARKING, SEE DETAIL 9 SHEET C8.00

DRIVEWAY #4. TYPE II MODIFIED

DRIVEWAY WITH 10'x10' PEDESTRIAN SIGHT TRIANGLES AND 30"x30" STOP

> N.C. DEPARTMENT OF TRANSPORTATION DB 14601 PG 215

TAX PARCEL 025-102-28 ZONING: R-3 USE: VACANT 6' HT. BUFFER

8' PLANTING STRIP, 8'

CONCRETE SIDEWALK (TYP.)

DEAD END STREET

BARRICADE, SEE DETAILS

7, 8, & 9, SHEET C8.02

DETAIL 4, SHEET C8.03

ON-STREET PARKING, SEE

PROPOSED PUBLIC STREET A

DERRICK N HOLT &

DB 18106 PG 219 TAX PARCEL: 025-105-01

ZONING: R-3 USE: VACANT

DRIVEWAY #3. TYPE II MODIFIED

DRIVEWAY WITH 10'x10' PEDESTRIAN

SIGHT TRIANGLES AND 30"x30" STOP

15' SEWER EASEMENT -

50' CLASS C BUFFER —

MODULAR BLOCK

42" GUARDRAIL, SEE

RETAINING WALL WITH

DETAIL 1 SHEET C8.05

DERRICK N HOLT &

ANNE M HOLT DB 3258 PG 585

ZONING: R-3 USE: VACANT

TRANSPORTATION

DB 12841 PG 258

► TAX PARCEL

, FUTURE CONDITIONS

BOUNDARY FLOODPLAIN

BOUNDARY (MECK. CO.)

PORTION OF 100'.

TO BE DEDICATED AND CONVEYED

TO MECKLENBURG-

TO ISSUANCE OF

DANIEL J MCAULAY / c/o OLIN C MCAULA`

CERTIFICATE OF

OCCUPANCY

COUNTY PRIOR

SWIM BUFFER

SIGN, SEE DETAIL 3 SHEET C8.00

ANNE M HOLT

(LOCAL RESIDENTIAL WIDE STREET), -

SEE DETAIL 1,2,3,&4 SHEET C8.03

FENCE, SEE DETAIL -

6, SHEET C8.02

SIGN, SEE DETAIL 3 SHEET C8.00

DETAIL 5 SHEET C8.01

TREE PROTECTION FENCE ADJACENT TO

SEE SHEET C4.13

PCCE EASEMENT

TAREA (TYP.)

TREE SAVE AREA TO

BE CHAIN LINK FENCE

WET POND BMP, 25' STORM DRAINAGE

SEE DETAIL 5 SHEET C8.01

TRANSPORTATION (TYP.), SEE DETAIL 1-

PROPOSED

EASEMENT <

EASEMENT

HANDICAP PARKING (TYP.), SEE

PROPOSED PRIVATE STREET A TO BE

WIDE STREET CROSS SECTION, SEE

DETAIL 9 SHEET C8.03

EASMENT

(TYP.)

-EXISTING R/W

BUILT TO STANDARDS OF RESIDENTIAL

8' PLANTING STRIP,

8' CONCRETE SIDEWALK

DETAIL 6 SHEET C8.00

ACCESSIBLE

UNIT (TYP.)

8' PLANTING STRIP. 8' CONCRETE SIDEWALK (TYP.)

AND GUTTER (TYP.)

DRIVEWAY WITH 10'x10' PEDESTRIAN .

SIGN, SEE DETAIL 3 SHEET C8.00

SIGHT TRIANGLES AND 30"x30" STOP

WATERLINE

OF ROAD CENTERLINE

APPROXIMATE LOCATION

DRIVEWAY #1. TYPE II MODIFIED

EXISTING 2'-6" CURB NORTHLAKE CENTRE PARKWAY

(VARIABLE WIDTH PUBLIC R/W)

SIDEWÁLK EASEMENT TO BE ESTABLISHED 2' BEHIND ALL

PUBLIC REQUIRED SIDEWALK LOCATED OUTSIDE OF PUBLIC

RIGHT OF WAY OR TO FACE OF WALL. EASEMENT SHALL

BE CONVEYED TO THE CITY PRIOR TO FINAL C.O.

WATER NO BUILDING

BY 25% WITH FENCE

SHEET C8.02

DETAIL 6 SHEET C8.00

DRAINAGE

EASMENT

BIKE PARKING,

STEP

SEE DETAIL 9

2' BUILDING

└24' \$ETBACK

SHEET C8.00

REGULAR DUTY ASPHALT

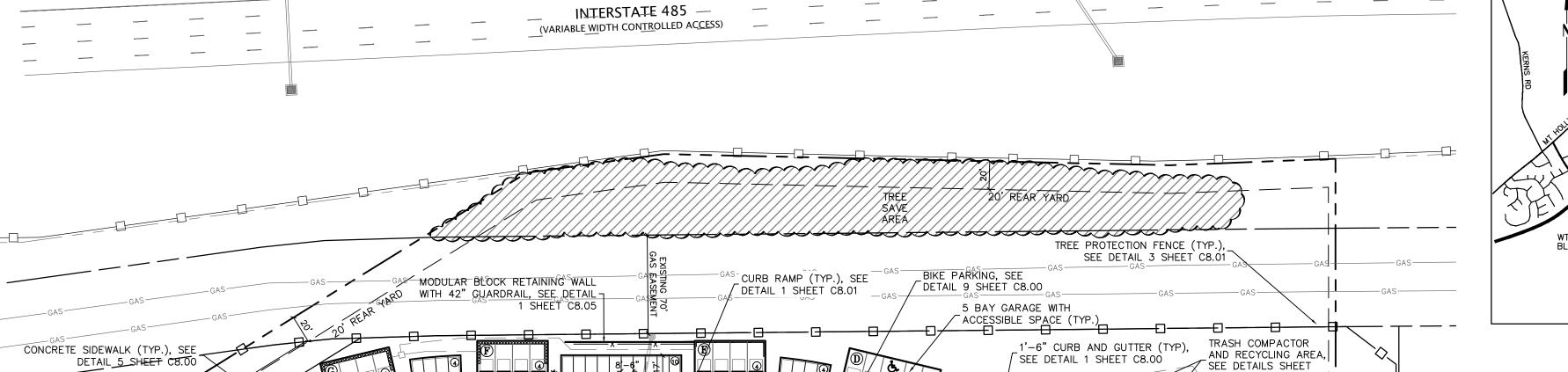
(TYP.), SEE DETAIL 5 -

HEAVY DUTY ASPHALT (TYP.), SEE DETAIL

SHEET C8.01

5 SHEET C8.01

2. SEE DETAIL 5 SHEET C8.05 FOR LIGHTING DETAILS



ACCESSIBLE

S'SETBACK

16' SETBACK

EXISTING 2'-6" CURB .

AND GUTTER (TYP.)

10'x70' SIGHT

EXISTING 2'-6" CURB

AND GUTTER (TYP.)

TRIANGLE

BUILDING

DRIVEWAY #5. TYPE II MODIFIED

DRIVEWAY WITH 10'x10' PEDESTRIAN

PROPOSED PUBLIC STREET B (LOCAL

-OFFICE/COMMERCIAL WIDE STREET),

SEE DETAIL 5,6,7,&8 SHEET C8.03

HEAVY DUTY ASPHALT (TYP.), SEE

METROLINA PROPERTIES LIMITED

PARTNERSHIP

DB 5809 PG 855

ZONING: BP USE: VACANT

EXISTING ACREAGE = 16.58 AC

NEW LOT ACREAGE = 15.83 AC

DRIVEWAY #2. TYPE II MODIFIED

DRIVEWAY WITH 10'x10' PEDESTRIAN

SIGN, SEE DETAIL 3 SHEET C8.00

SIGHT TRIANGLES AND 30"x30" STOP

□ SIGHT TRIANGLES AND 30"x30" STOP

SIGN, SEE DETAIL 3 SHEET C8.00

8' PLANTING STRIP, 8'

DETAIL 5 SHEET C8.01

BIKE PARKING, SEE
DETAIL 9 SHEET C8.00

ON-STREET PARKING, SEE

CONCRETE SIDEWALK (TYP.), SEE

TDETAIL 4, SHEET C8.03

DETAIL 5 SHEET C8.00

POOL FENCE, SEE DETAIL

DRIVEWAY MEDIAN TO HAVE

MOUNTABLE CURB, SEE DETAIL

ACCESSIBLE RAMP, SEE DETAIL

DIMENSIONS ARE FROM EDGE OF PAVEMENT

-EXISTING R/W

APPROXIMATE LOCATION

OF ROAD CENTERLINE

3 SHEET 8.02

2 SHEET C8.05

3 & 4 SHEET C8.05

-10'x70' SIGHT TRIANGLE

CONCRETE SIDEWALK (TYP.)

r BUILDING

(71' PUBLIC R/W)

EASMENT

POOL

COURTYARD

ACCESSIBLE PARKING \

(TYP.), SEE DETAIL 6 -

SHEET C8.00

SEE SHEET C7.05 FOR ADDITIONAL INFORMATION

PROPOSED LEFT HAND TURN LANE,

ACCESŠIBLE ON STREET

DETAIL 6 SHEET CB.05

BIKE PARKING,

PROPOSED

EASEMENT

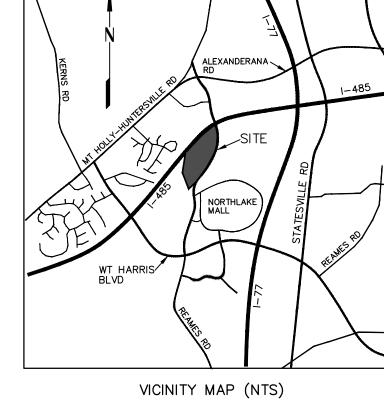
WATER -

SEE DETAIL 9

SHEET C8.00

BIKE PARKING, SEE —

DETAIL 9 SHEET C8.00





–4 BAY GARAGE (TY<u>F</u>

DEND STREET

ZÁRRICADE, SEE

DETAILS 7, 8, & 9,

LANDSCAPE ISLAND TO HAVE

-MOUNTABLE CURB, SEE DETAIL

2 SHEET C8.05

DETAIL 5 SHEET C8.01

DRIVEWAY #6. TYPE II MODIFIED

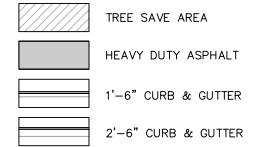
SHEET C8.00

-GRADING EASEMENT

DRIVEWAY WITH 10'x10' PEDESTRIAN

SIGHT TRIANGLES AND 30"x30" STOP

CONCRETE SERVICE AREA, SEE



CONCRETE SIDEWALK

ACCESSIBLE PARKING SPACE

GENERAL NOTES

1. ALL NON-STANDARD ITEMS IN THE PUBLIC RIGHT-OF-WAY WILL NEED AN ENCROACHMENT AGREEMENT W/ CDOT BEFORE THEY CAN BE APPROVED OR INSTALLED. APPROVAL OF THIS PLAN SET DOES NOT APPROVE ANY NON-STANDARD ITEMS IN THE RIGHT-OF-WAY. PLEASE CONTACT BOB STALEY, 704-432-1562, FOR FURTHER INFORMATION.

OR BLOCK-OFF FOR ANY STAGING, CONSTRUCTION, OR DEMOLITION FOR A PERIOD GREATER THAN THIRTY [30] DAYS THEN A RIGHT-OF-WAY LEASE AGREEMENT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCKED-OFF. PLEASE CONTACT BOB STALEY, 704-432-1562, FOR FURTHER

3. SIDEWALK EASEMENT SHALL BE DEDICATED BEFORE FINAL C.O. IS GIVEN. SIDEWALK EASEMENT SHALL BE LOCATED 2 FROM BACK OF SIDEWALK ALL SIDEWALK LOCATED OUTSIDE

SIGN LEGEND

- PA STOP (R1-1 30"x30")
- ALL SIGNS TO BE MUTCD STANDARD PROVIDED AND INSTALLED BY OWNER/ CONTRACTOR

ALL PEDESTRIAN CROSSING ALONG PUBLIC STREETS SHOULD HAVE ACCESSIBLE RAMPS, HOWEVER NO CROSS—WALK PAVEMENT MARKINGS ACROSS PAVEMENT

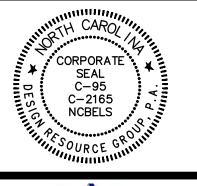
PUBLIC STREET SIGNAGE AND MARKING SHOWN FOR REFERENCE ONLY. SEE SHEET C7.05 FOR SPECIFICATIONS



design resource group

- civil engineering
- urban design
- land planning traffic engineering
- transportation planning

2459 wilkinson boulevard, suite 200 charlotte, nc 28208 p 704.343.0608 f 704.358.3093 www.drgrp.com



WOODFIELD

2. IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED

OF R/W.

- OB CLDS STREET NAME SIGN

AND CONSTRUCTION INFORMATION

CONSTRUCTION DOCUMENTS



PROJECT #: 217-025 DRAWN BY: CHECKED BY:

SITE PLAN

MAY 30, 2014

REVISIONS: 1. 08/15/14 PER REVIEW COMMENTS

2. 10/28/14 PER REVIEW COMMENTS