



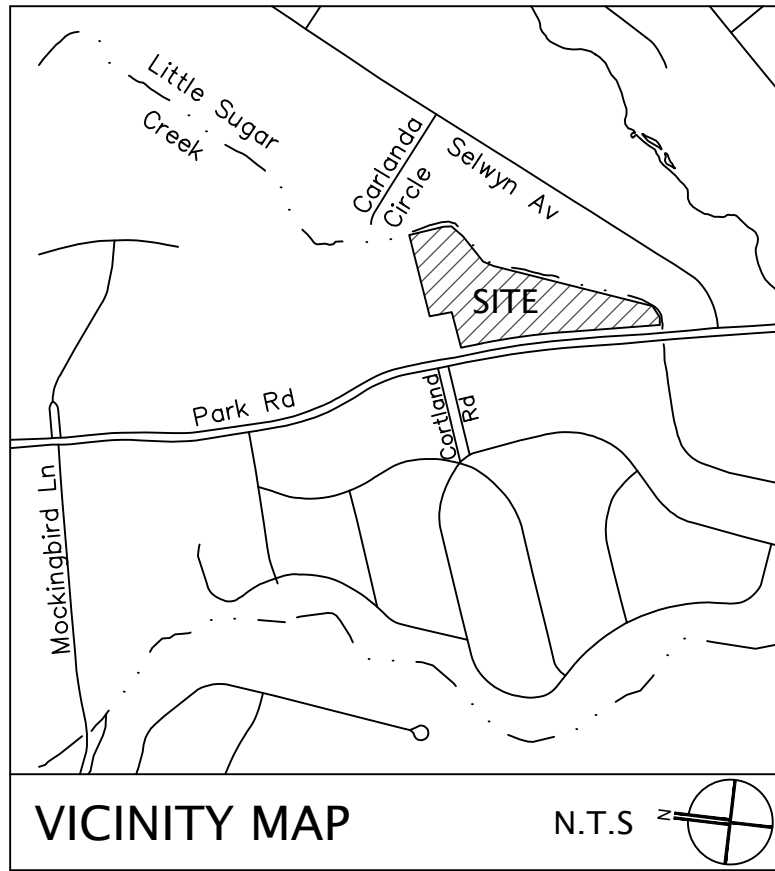
Know what's below.
Call before you dig.

STRATFORD APARTMENTS

CHARLOTTE, NORTH CAROLINA

POLLACK PARTNERS
5605 GLENRIDGE DRIVE, SUITE 775
ATLANTA GA, 30342
P: 404.835.4662

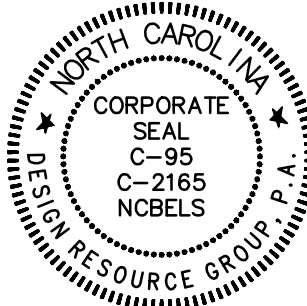
Revision
**PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL**
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By Brent Wilkinson April 3, 2014



■ design resource group

- landscape architecture
- civil engineering
- urban design
- land planning
- traffic engineering
- transportation planning

2459 wilkinson boulevard, suite 200
charlotte, nc 28208
p 704.343.0608 f 704.358.3093
www.drgrp.com



CONSTRUCTION DOCUMENTS

GENERAL NOTES:

1. SURVEY INFORMATION OBTAINED BY A.G. ZOUTWELLE SURVEYORS ON MARCH 20, 2013.
2. ARCHITECTURAL DIMENSIONS TO BE VERIFIED BY SURVEYOR. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
3. SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION.
4. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
5. ALL ROAD IMPROVEMENTS AT PARK ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
6. DEVELOPER WILL PROVIDE STREET SIGNS PER CMLDS# 50.05 (9" SIGNS ONLY)
7. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
8. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
9. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
10. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
11. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
12. CURB AND GUTTER SHOWN ON PLANS ALONG PARK ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
13. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
14. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
15. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
16. ANY BUILDING WITHIN THE 100+1 BUILDING RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8.
17. ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS COMMUNITY ENCROACHMENT (0.1') FLOODWAY ENCROACHMENT AREA IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
18. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO MECKLENBURG COUNTY LUESA PRIOR TO CONSTRUCTION. DESIGN BY OTHERS.
19. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
20. PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL.
21. PRIOR TO CO, SURVEYOR SEALED AS-BUILT DRAWINGS OF UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED.
22. NONSTANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
23. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
24. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60- 90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
25. PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
26. ALL CONSTRUCTION TO CONFORM TO CHARLOTTE / MECKLENBURG LAND DEVELOPMENT STANDARDS.
27. FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE COUNTY FIRE MARSHALL DURING THE BUILDING PERMIT PROCESS.
28. ANY NON-STANDARD ITEM WILL NEED AN ENCROACHMENT PERMIT BY LINDA POISSANT (704-336-2562). CONTACT BOB STALEY (704-432-1562) FOR RIGHT-OF-WAY USE PERMIT.

SWIM BUFFER NOTES:

1. THE STREAM SIDE ZONE OF THE BUFFER MUST BE LEFT COMPLETELY UNDISTURBED. IN THE MANAGED USE ZONE, AT A LIMITED NUMBER OF TREES CAN BE REMOVED PROVIDED THAT THE TREE DENSITY REMAINING IS A MINIMUM OF 9 HEALTHY TREES OF A MINIMUM 6-INCH CALIPER PER 1,000 SQUARE FEET. REMOVAL OF EXISTING VEGETATION MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF REMAINING TREES.
2. PLANS CLEARLY INDICATE THAT NO FILL MATERIAL IS TO BE BROUGHT INTO THE BUFFER AND THAT NO STRUCTURES ARE ALLOWED WITHIN ANY OF THE BUFFER AREAS (EXCEPT NON-COMMERCIAL OUT BUILDINGS NOT EXCEEDING 150 SQUARE FEET.)
3. GRADING AND OTHER LAND DISTURBING ACTIVITIES ARE ALLOWED ONLY IN THE UPLAND ZONE, HOWEVER, THESE ACTIVITIES MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF REMAINING TREES. GRASS OR OTHER SUITABLE GROUND COVER CAN BE APPLIED TO THE UPLAND ZONE.
4. THE OUTSIDE BOUNDARY OF THE BUFFER MUST BE CLEARLY MARKED WITH ORANGE FABRIC FENCING PRIOR TO ANY LAND DISTURBING ACTIVITIES (GRADING, TREE CUTTING OR STUMPING, ETC.) AT THE SITE AND THIS FENCING MUST BE CALLED OUT ON PLANS.
5. THE OUTSIDE BOUNDARY OF THE STREAM BUFFER MUST BE PERMANENTLY MARKED WITH AN IRON PIN OR OTHER ACCEPTABLE PROPERTY CORNER MARKER AT STREET CROSSINGS AND THIS MARKER MUST BE CALLED OUT ON THE PLANS.

EROSION CONTROL NOTES:

1. ALL "STD." NUMBERS REFER TO THE CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
2. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
3. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
4. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
5. ALL SLOPES MUST BE SEEDED AND MULCHED WITHIN 15 WORKING DAYS OR 30 CALENDAR DAYS, WHICHEVER IS SHORTER. ALL OTHER AREAS, 15 WORKING DAYS OR 90 CALENDAR DAYS WHICHEVER IS SHORTER. REFER TO EROSION CONTROL ORDINANCE FOR ADDITIONAL REQUIREMENTS.
6. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY ENGINEERING DEPARTMENT.
7. SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. FILL SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING [CMLDS #30.16]
8. A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING EXCEEDING ONE ACRE THAT WAS NOT PREVIOUSLY APPROVED.
9. TEMPORARY DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NCDOT RIGHT OF WAY MUST BE PRESENTED AT PRE-CONSTRUCTION MEETING.

CONSTRUCTION SEQUENCE:

1. NO DEMOLITION SHALL BE PERFORMED PRIOR TO ON-SITE PRE CONSTRUCTION MEETING. THIS MEETING WILL DETERMINE IF GRADING PERMIT IS NECESSARY PRIOR TO DEMOLITION.
2. OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT.
3. SET UP A ON-SITE PRE-CONSTRUCTION CONFERENCE WITH EROSION CONTROL INSPECTOR OF THE CITY ENGINEERING DEPARTMENT TO DISCUSS EROSION CONTROL MEASURES. FAILURE TO SCHEDULE SUCH CONFERENCE 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY IS A VIOLATION OF CHAPTER 18 OF THE CITY CODE AND IS SUBJECT TO FINE.
4. INSTALL SILT FENCE, INLET PROTECTION, SEDIMENT TRAPS, DIVERSION DITCHES, TREE PROTECTION, AND OTHER MEASURES AS SHOWN ON PLANS, CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
5. CALL FOR ON-SITE INSPECTION BY INSPECTOR. WHEN APPROVED, INSPECTOR ISSUES THE GRADING PERMIT AND CLEARING AND GRUBBING MAY BEGIN.
6. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
7. FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE OF EROSION CONTROL MEASURES.
8. STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE.
9. COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURE.
10. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N. C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U. S. DEPT. OF AGRICULTURE, CITY OF CHARLOTTE EROSION CONTROL ORDINANCE, AND THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS.

ENGINEER'S NOTES:

1. CONTRACTOR SHALL NOTIFY THE ENGINEER OF WORK 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INTERPRETATIONS FOR ANY QUESTIONS REGARDING THESE DRAWINGS PRIOR TO COMMENCEMENT OF WORK OR ORDERING OF MATERIALS AND SHALL BEAR THE COST OF ALL REWORK IF NOT PROPERLY COORDINATED.
3. CONTRACTOR SHALL PROVIDE ENGINEER RECORD DRAWING INFORMATION FROM A REGISTERED LAND SURVEYOR UPON COMPLETION OF CONSTRUCTION.
4. CONTRACTOR SHALL OBTAIN A PERMIT FOR ANY EXCAVATION PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY.
5. THE ENGINEER OF WORK SHALL NOT BE RESPONSIBLE FOR THE ENFORCEMENT OF SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY STANDARDS, LAWS AND REGULATIONS.
6. CONTRACTOR SHALL ADJUST ALL PROPOSED AND EXISTING FACILITIES TO FINAL GRADE.
7. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE FIELD DATA AND THE INFORMATION SHOWN HEREON. ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY WORK DONE WITHOUT PROPER NOTIFICATION AND COORDINATION.
8. THE ENGINEER PREPARING THESE PLANS SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE DESIGN ENGINEER PRIOR TO IMPLEMENTATION.
9. PRIVATE WATER AND SANITARY SEWER SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH N.C.D.E.N.R. REGULATIONS IN THE PRESENCE OF THE ENGINEER PRIOR TO ACTIVATION OF FACILITIES.
10. EXISTING SANITARY SEWER AND WATER SYSTEM SHOWN PER PROVIDED SURVEY AND CMUD REFERENCE DRAWINGS. EXISTING PUBLIC UTILITY INFORMATION IS SHOWN FOR REFERENCE ONLY AND EXISTING SIZES, INVERTS AND LOCATIONS SHALL BE FIELD VERIFIED.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL SUBSTRUCTURES, WHETHER SHOWN HEREON OR NOT, AND PROTECT FROM DAMAGE DURING INSTALLATION. THE EXPENSE OF REPAIR OR REPLACEMENT OF SAID STRUCTURES SHALL BE BORNE BY THE CONTRACTOR.
12. A LICENSED UTILITY CONTRACTOR WILL INSTALL THE TAPS AND METERS. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE TAPS AND METERS TO CMUD STANDARDS AND REGULATIONS.
13. SANITARY YARD HYDRANTS SHALL NOT BE 'STOP AND DRAIN', 'STOP AND WASTE', OR 'WEEP HOLE' TYPE HYDRANTS.
14. IF CONTRACTOR OPTS TO INSTALL PRECAST STRUCTURES, CONTRACTOR SHALL BE REQUIRED TO VERIFY RIM ELEVATIONS AND LAYOUT OF ALL PIPES, INCLUDING SIZE AND INVERTS OF EXISTING FACILITIES, PRIOR TO THE ORDERING OF MATERIALS.
15. IT SHALL BE THE RESPONSIBILITY OF THE INSTALLER TO ADJUST ALL PRECAST STRUCTURES TO FINISHED GRADE IN ACCORDANCE WITH AGENCY SPECIFICATIONS AND MANUFACTURER RECOMMENDATIONS. NO ADDITIONAL PAYMENT WILL BE MADE FOR ADJUSTING FACILITIES TO FINISHED GRADE.
16. FIRE HYDRANTS ARE TO BE 10' CLEAR OF ANY OBSTRUCTIONS.
17. FDC LOCATIONS SHALL BE IN ACCORDANCE W/ OFD REQUIREMENTS.
18. FIRE SPRINKLER SIZING AND FDC CONNECTIONS TO BE SIZED AND LOCATED PER THE RECOMMENDATIONS OF THE FIRE SPRINKLER CONSULTANT. ALL REFERENCES SHOWN HEREON ARE FOR SCHEMATIC PURPOSES ONLY.

SITE DATA

TAX MAP NO: R-43MF
ZONING: 6.75 AC
SITE AREA: 6.35 AC (276,500 SF)
PROPOSED USE: MULTI-FAMILY APARTMENTS
MAXIMUM UNITS ALLOWED: 43 PER ACRE (6.35 x 43 = 273)
PROPOSED UNITS: 272 UNITS PROPOSED
DENSITY: 43 DUA MAXIMUM

PARKING REQUIRED: 408 (1.5/UNIT)
PARKING PROVIDED: 414 REGULAR GARAGE SPACES
7 ACCESSIBLE GARAGE SPACES
2 VAN ACCESSIBLE GARAGE SPACES
6 REGULAR SURFACE SPACES
1 VAN ACCESSIBLE SURFACE SPACES
430 TOTAL SPACES

LENGTH OF PRIVATE STREET: 617 LF.
PARKING ALONG PRIVATE STREET: 6 STANDARD SPACES
VAN ACCESSIBLE SPACE

BICYCLE PARKING REQUIRED: 14 SHORT TERM SPACES (1/20 UNITS)
BICYCLE PARKING PROVIDED: 15 SPACES, (2) 7 SPACE BICYCLE RACKS

OPEN SPACE REQUIRED: 82,950 SF (30%)
OPEN SPACE PROVIDED: 82,950 SF

SWIM BUFFER:

100' FROM TOP OF BANK
NO NET AREA INCREASE OF IMPERVIOUS ALLOWED

FEMA/COMMUNITY ENCROACHMENT: NO FILL BEYOND THE EXISTING COMMUNITY ENCROACHMENT ZONE

IMPERVIOUS CALCULATIONS:
SITE AREA WITHIN SWIM: 163,310 SF
SITE AREA OUTSIDE SWIM:
TOTAL AREA:

PRE-CONST. IMP. AREA W1
PRE-CONST. IMP. AREA OU

POST CONST. IMP. AREA W1
POST CONST. IMP. AREA OU

SETBACK:
SIDE YARD:
REAR YARD:
BUILDING HEIGHT:

TRASH PICK UP REQUIRED:

TRASH PICK UP PROVIDED:

RECYCLE PICK UP REQUIRED:
RECYCLE PICK UP PROVIDED:

ESTIMATED TIME OF COMPLETION

NOTE: ALL UTILITIES TO BE UN

CONSULTANTS:

DEVELOPER: POLLACK PARTNERS
5605 GLENRIDGE DRIVE, SUITE 775
ATLANTA, GA 30342
404.835.4662

ARCHITECT: CLINE DESIGN
1800 CAMDEN ROAD
CHARLOTTE, NC 28203
704.333.7272

LANDSCAPE ARCH.: DESIGN RESOURCE GROUP, PA
2459 WILKINSON BOULEVARD
SUITE 200
CHARLOTTE, NC 28208
704.343.0608

CIVIL ENGINEER: DESIGN RESOURCE GROUP, PA
2459 WILKINSON BOULEVARD
SUITE 200
CHARLOTTE, NC 28208
704.343.0608

SURVEYOR: A.G. ZOUTWELLE SURVEYORS
1418 EAST FIFTH STREET
CHARLOTTE, NC 28204
704.372.9555



<http://development.charmeck.org>

ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

URBAN FORESTRY
TREE ORDINANCE

CDOT

SHEET SCHEDULE	
C0.0	COVER SHEET
C1.0A	SURVEY
C1.0B	SURVEY
C1.1	DEMOLITION PLAN
C2.0	SITE PLAN
C2.1	GREENWAY DEDICATION PLAN
C2.2	ACCESSIBLE ROUTE/TRASH TRUCK MANEUVERING PLAN
C2.3	OPEN SPACE PLAN
C3.0	PHASE I EROSION CONTROL PLAN
C3.1	PHASE II EROSION CONTROL PLAN
C4.0	GRADING PLAN
C4.1	GRADING PLAN PART A
C4.2	GRADING PLAN PART B
C4.3	GRADING PLAN PART C
C4.4	STORM DRAINAGE PLAN
C4.5	DRAINAGE AREA PLAN
C4.6	SWIM BUFFER AND STORMWATER MANAGEMENT PLAN
C5.0	UTILITY PLAN
C7.0	INTERSECTION SIGHT DISTANCE PLAN
C7.1	TRAFFIC CONTROL PLAN
C8.0	SITE DETAILS
C8.1	SITE DETAILS
C8.2	SITE DETAILS
C8.3	SITE DETAILS
C9.0	CIVIL DETAILS
C9.1	CIVIL DETAILS
C9.2	CIVIL DETAILS
LP1.00	OVERALL LANDSCAPING PLAN
LP2.00	LANDSCAPE DETAILS AND PLANTING SCHEDULE
A8.30	PARKING DECK SECTION/COUNTS & TRASH/RECYCLE LAYOUT
A8.31	PARKING DECK PLAN
A8.32	PARKING DECK PLAN - SUB-LEVEL 02
A8.33	PARKING DECK PLAN - LEVEL 1
A8.34	PARKING DECK PLAN - LEVEL 2
A8.35	PARKING DECK PLAN - LEVEL 3
A8.36	PARKING DECK PLAN - LEVEL 4

APPROVED

By Brendan Smith (bmsmith@charlottenc.gov) at 5:06 pm, Apr 03, 2014

APPROVED

By Brendan Smith (bmsmith@charlottenc.gov) at 5:06 pm, Apr 03, 2014

APPROVED

By Gary Turner (704-336-4330) at 8:44 am, Apr 04, 2014

APPROVED

STRATFORD APARTMENTS

CHARLOTTE, NORTH CAROLINA

POLLACK PARTNERS

5605 GLENRIDGE DRIVE, SUITE 775

ATLANTA, GA 30342

404.835.4662

COSTRUCTION
DOCUMENTS

PROJECT #: 419-001
DRAWN BY: BWG
CHECKED BY: DBS

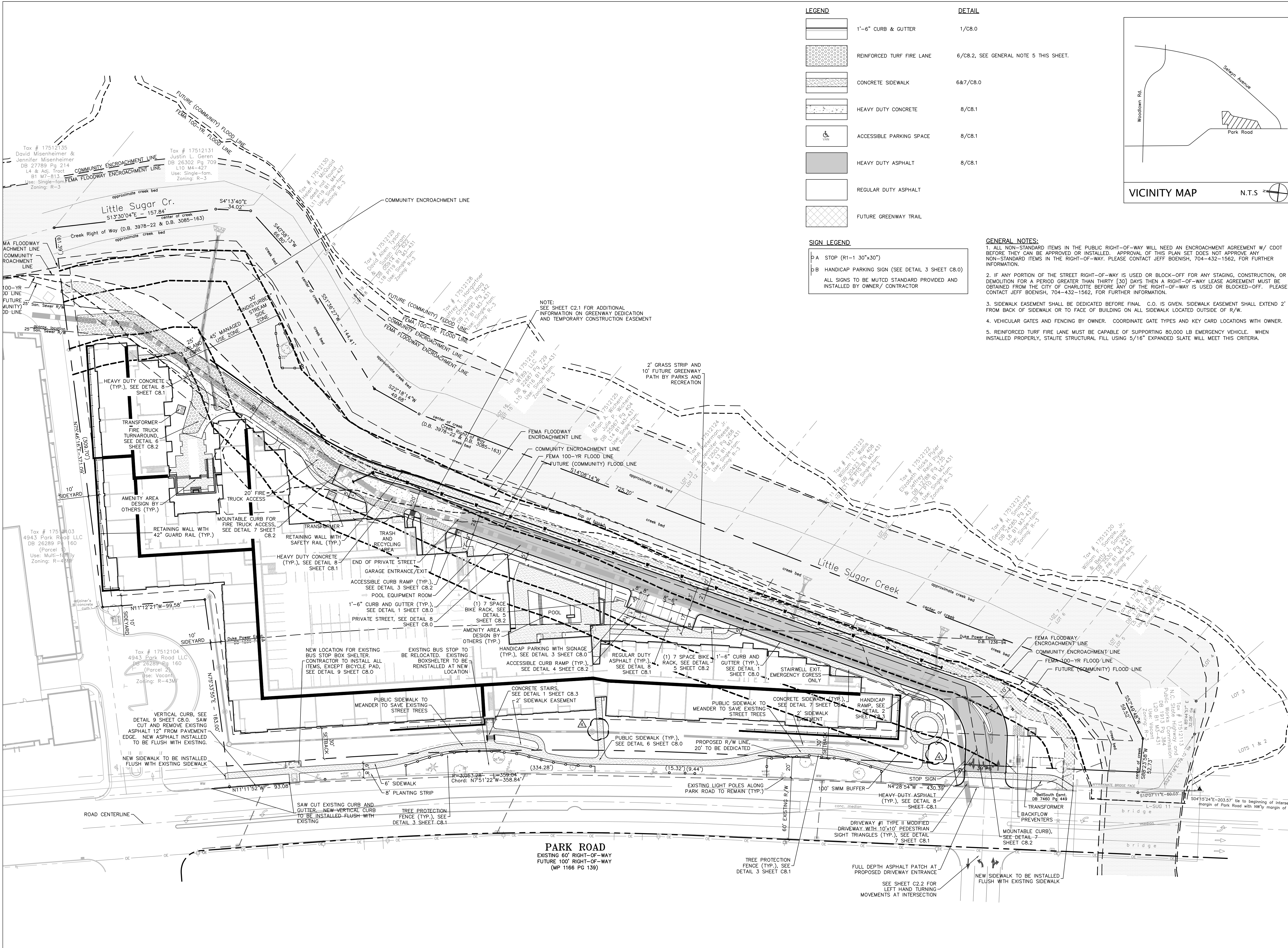
COVER
SHEET

JULY 1, 2013

REVISIONS:

1. 08/28/13 PER CLDS REVIEW
2. 10/25/13 PER CLDS REVIEW
3. 01/24/14 RTAP
4. 03/11/14 PER RTAP REVIEW

C0.0



LEGEND		DETAIL
	1'-6" CURB & GUTTER	1/C8.0
	REINFORCED TURF FIRE LANE	6/C8.2, SEE GENERAL NOTE 5 THIS SHEET.
	CONCRETE SIDEWALK	6&7/C8.0
	HEAVY DUTY CONCRETE	8/C8.1
	ACCESSIBLE PARKING SPACE	8/C8.1
	HEAVY DUTY ASPHALT	8/C8.1
	REGULAR DUTY ASPHALT	
	FUTURE GREENWAY TRAIL	

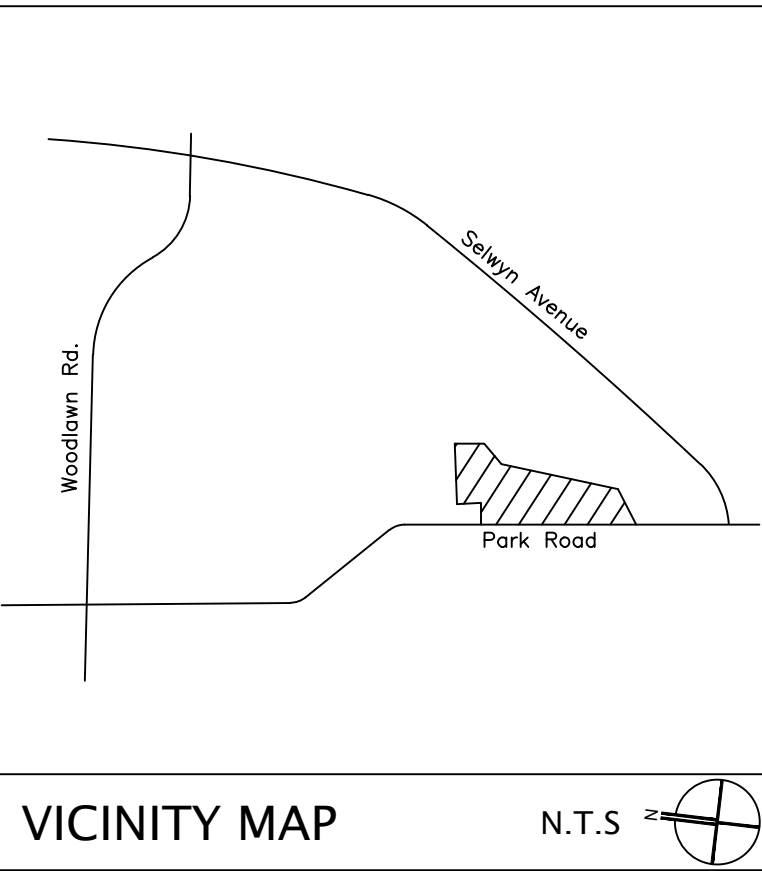
SIGN LEGEND

PA STOP (R1-1 30"x30")

PB HANDICAP PARKING SIGN (SEE DETAIL 3 SHEET C8.0)

ALL SIGNS TO BE MUTCD STANDARD PROVIDED AND INSTALLED BY OWNER/ CONTRACTOR

- GENERAL NOTES:**
1. ALL NON-STANDARD ITEMS IN THE PUBLIC RIGHT-OF-WAY WILL NEED AN ENCROACHMENT AGREEMENT W/ CDOT BEFORE THEY CAN BE APPROVED OR INSTALLED. APPROVAL OF THIS PLAN SET DOES NOT APPROVE ANY NON-STANDARD ITEMS IN THE RIGHT-OF-WAY. PLEASE CONTACT JEFF BOENISH, 704-432-1562, FOR FURTHER INFORMATION.
 2. IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED OR BLOCK-OFF FOR ANY STAGING, CONSTRUCTION, OR DEMOLITION FOR A PERIOD GREATER THAN THIRTY [30] DAYS THEN A RIGHT-OF-WAY LEASE AGREEMENT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCKED-OFF. PLEASE CONTACT JEFF BOENISH, 704-432-1562, FOR FURTHER INFORMATION.
 3. SIDEWALK EASEMENT SHALL BE DEDICATED BEFORE FINAL C.O. IS GIVEN. SIDEWALK EASEMENT SHALL EXTEND 2' FROM BACK OF SIDEWALK OR TO FACE OF BUILDING ON ALL SIDEWALK LOCATED OUTSIDE OF R/W.
 4. VEHICULAR GATES AND FENCING BY OWNER. COORDINATE GATE TYPES AND KEY CARD LOCATIONS WITH OWNER.
 5. REINFORCED TURF FIRE LANE MUST BE CAPABLE OF SUPPORTING 80,000 LB EMERGENCY VEHICLE. WHEN INSTALLED PROPERLY, STALITE STRUCTURAL FILL USING 5/16" EXPANDED SLATE WILL MEET THIS CRITERIA.

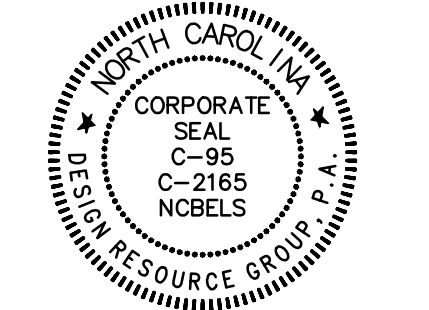




design resource group

- landscape architecture
- civil engineering
- urban design
- land planning
- traffic engineering
- transportation planning

2459 wilkinson boulevard, suite 200
charlotte, nc 28208
p 704.343.0608 f 704.358.3093
www.drgroup.com



STRATFORD APARTMENTS

CHARLOTTE, NORTH CAROLINA

POLLACK PARTNERS

5605 CLENRIDGE DRIVE, SUITE 775
ATLANTA, GA 30342
404.835.4662

CONSTRUCTION DOCUMENTS

SCALE: 1" = 40'

PROJECT #: 419-001
DRAWN BY: DJK
CHECKED BY: DBS

SITE PLAN

JULY 1, 2013

REVISIONS:
1. 08/28/13 PER CLDS REVIEW
2. 10/25/13 PER CLDS REVIEW
3. 01/24/14 RTAP
4. 03/11/14 PER RTAP REVIEW
5. 03/19/14 PER CODE CYCLE 1 REVIEW

