

CITY OF CHARLOTTE GENERAL NOTES:

1. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
2. ALL ROAD IMPROVEMENTS AT NOLLEY COURT AND SARDIS ROAD NORTH ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
3. DEVELOPER WILL PROVIDE STREET SIGNS PER CLOSM 50.05 (9" SIGNS ONLY).
4. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
5. N/A
6. IN ROLLING AND HILLY TERRAIN, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.
7. APPROVAL OF THIS PLAN IS NOT AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
8. IN ORDER TO INSURE PROPER DRAINAGE, MAINTAIN A MINIMUM OF 0.5% SLOPE ALONG THE CURB AND GUTTER.
9. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
10. CURB AND GUTTER SHOWN ON PLANS ALONG SARDIS ROAD NORTH MAY BE ADJUSTED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
11. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
12. HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
13. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATION. ON SITE BURIAL PITS ARE NOT ALLOWED.

14. ANY BUILDING WITHIN THE 100+1 STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE MECKLENBURG COUNTY SUBDIVISION ORDINANCE, SECTION 7.200.8.
15. ANY CONSTRUCTION OR USE WITHIN THE FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
16. N/A
17. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
18. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
19. NON-STANDARD ITEMS (i.e. PAVERS, IRRIGATION SYSTEMS, etc.) IN THE RIGHT-OF WAY REQUIRE A RIGHT- OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION AND/OR THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
20. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS." THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
21. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION, GUS JORDI (704) 336-7086 TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
21. PER SECTION 18-175(E) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCCES) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
22. CONTRACTOR SHALL CONTACT BOB STALEY WITH CDOT AT 704-432-1562 A MINIMUM OF 5 WORKING DAYS PRIOR TO ANY CONSTRUCTION ACTIVITY WITHIN THE PUBLIC RIGHT OF WAY TO OBTAIN THE NECESSARY RIGHT OF WAY PERMITS.
23. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION 704-336-4025 OR VISIT WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREET+MAINTENANCE/HOME.HTM

DEVELOPER SHALL NOTIFY SOLID WASTE SERVICE PRIOR TO OPENING TO SETUP GARBAGE, RECYCLING AND BULKY COLLECTION SERVICE. CONTACT MAVIS GANT AT MGANT@CHARLOTTENC.GOV OR 704-432-3537

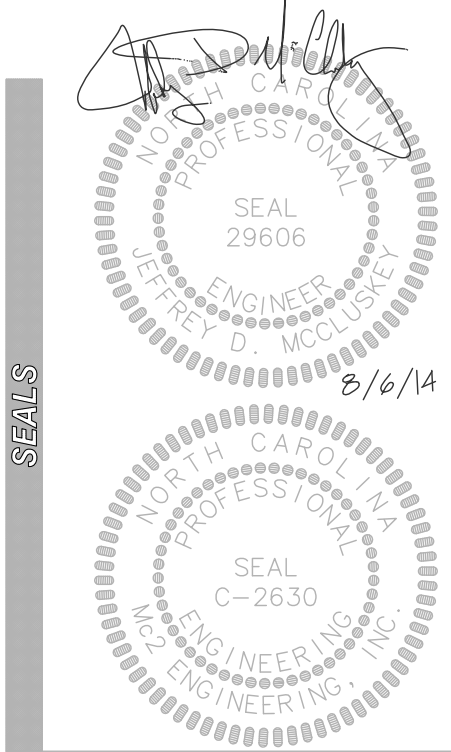
# SARDIS TRACE SENIOR APARTMENTS

## 8848 NOLEY COURT CHARLOTTE, NC

POTENTIAL PROJECT SCHEDULE:  
-DEVELOPER DESIRES TO BEGIN WITH SITE WORK ASSOCIATED WITH APARTMENT BUILDING BEGINNING IN JULY 2014.  
-BUILDING CONSTRUCTION AUGUST 2014.  
-NOLLEY COURT AND SARDIS ROAD N IMPROVEMENTS OCTOBER 2014.  
-COMPLETION OF ROADWAY IMPROVEMENTS AND DEDICATION NOVEMBER 2014.  
-BUILDING CONSTRUCTION COMPLETE AUGUST 2015.

EXISTING CONDITIONS & DEMOLITION PLAN	C1.0
OVERALL SITE PLAN	C2.0
DETAILED SITE PLAN	C2.1
UTILITY PLAN	C2.2
SANITARY SEWER LIFT STATION PLAN	C2.3
PH. 1 EROSION CONTROL PLAN	C3.0
PH. 2 EROSION CONTROL PLAN	C3.1
GRADING PLAN SOUTH SIDE	C4.0
GRADING PLAN NORTH SIDE	C4.1
STORM SEWER DRAINAGE AREA PLAN	C4.2
ROADWAY PLAN AND PROFILE	C5.0
INTERSECTION SIGHT DISTANCE	C5.1-C5.2
PAVEMENT MARKINGS PLAN	C5.3
TRAFFIC CONTROL PLAN	C5.4
SITE/UTILITY DETAILS	C9.0-C9.6
PUBLIC SANITARY SEWER EXTENSION (CMUD DONATED SEWER LINE)	SHEET 1
APPROVED REZONING PLANS	
-CONCEPTUAL SITE PLAN	RZ-0
-TECHNICAL DATA SHEET	RZ-0.1
-EXTERIOR ELEVATIONS	A3.1
-ILLUSTRATIVE MASTER PLAN	RZ-0.2
-RENDERED VIEW	TS1
ISAACS GROUP POSTDEVELOPED AREA (INCLUDED FOR INFORMATIONAL PURPOSES ONLY)	DA2.0
ELECTRICAL SITE LIGHTING PLAN	ES1
ARCHITECTURAL	
-EXTERIOR ELEVATIONS FRONT	A3.1
-EXTERIOR ELEVATIONS REAR	A3.2
-EXTERIOR ELEVATIONS COMMON/SIDE	A3.3

### SHEET INDEX



**Mc<sup>2</sup> ENGINEERING**  
Mc<sup>2</sup> ENGINEERING, INC.  
2110 BEN CRAIG DR., STE. 400  
CHARLOTTE, NC 28262  
PHONE 704.510.9797

Sardis Trace, LLC

Sardis Trace Senior Apartments

Charlotte, North Carolina

13-40100

2 8/6/14 CHARLOTTE/CMUD & MECKLENBURG CO. COMMENTS  
1 6/4/14 CITY OF CHARLOTTE COMMENTS & OWNER REVISED GRADES

January 25, 2013-1ST SUBMISSION  
May 15, 2013-2ND SUBMISSION  
NOHA APPLICATION  
DATE: February 25, 2014  
ISSUED FOR: CMPC/E&PM REVIEW

COVER SHEET

SHEET OF  
TOTAL SHEETS IN SET  
DRAWN BY: JDM  
CHECKED BY: JDM

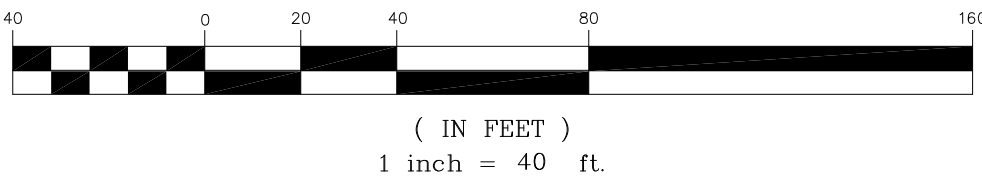
ARCHITECTURE  
PLANNING  
INTERIORS

Ross / Deckard Architects, PA



Know what's below.  
Call before you dig.

GRAPHIC SCALE



<http://development.charmeck.org>

## ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

## EROSION CONTROL

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

## URBAN FORESTRY

TREE ORDINANCE

## CDOT

### APPROVED

By Brendan Smith (bmsmith@charlottenc.gov) at 5:27 pm, Sep 12, 2014

### APPROVED

By Brendan Smith (bmsmith@charlottenc.gov) at 5:26 pm, Sep 12, 2014

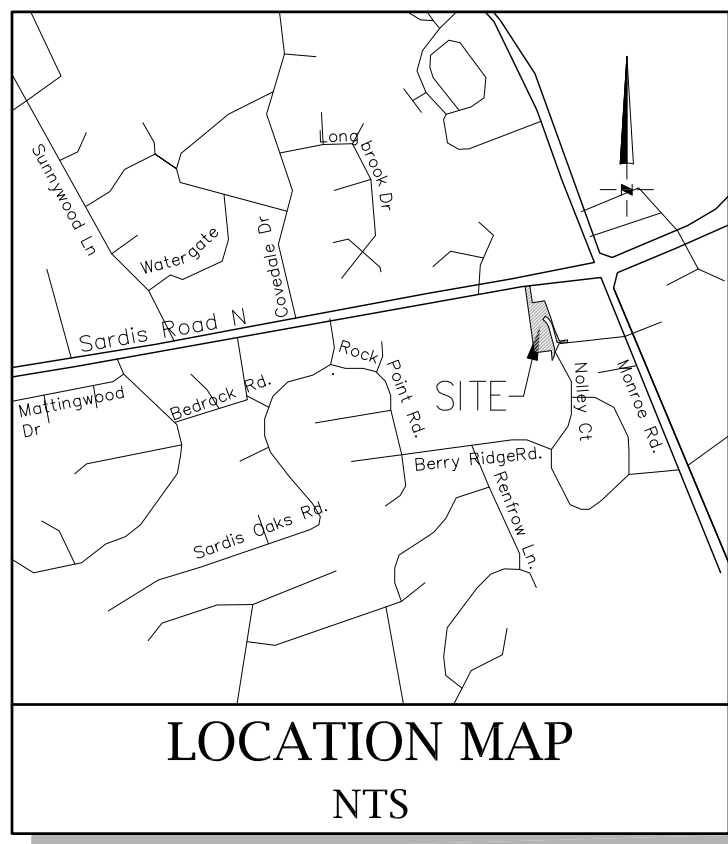
### APPROVED

### APPROVED

PRELIMINARY PLANNED  
MULTI-FAMILY SUBDIVISION  
APPROVAL

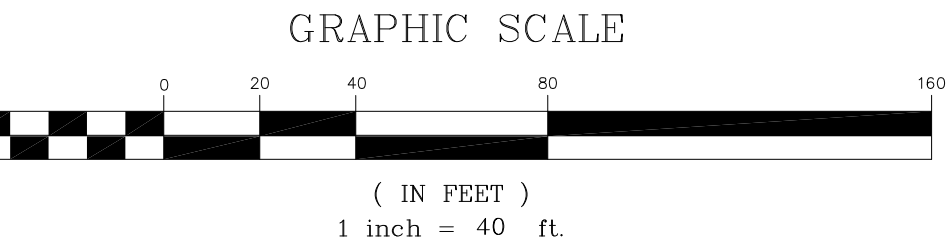
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
By: Brent Wilkinson 9-15-2014 1 of 2





TOTAL SITE AREA TRACT "C":	5.097 AC (222,048 SF)
-LOT 1 (APARTMENT BUILDING)	3.189 AC (138,927 SF)
-LOT 2 (DETENTION POND)	0.993 AC (43,258 SF)
-LOT 3/DEDICATED NOLLEY COURT R/W 0.915 AC (39,858 SF)	
PARCEL IDS:	213-221-71
JURISDICTION:	CITY OF CHARLOTTE
CURRENT ZONING:	NS(SPA)
REZONING PETITION:	2012-88
PROPOSED USE:	SENIOR APARTMENTS
NUMBER OF UNITS:	78
DENSITY:	15.3 UNITS/ACRE
MINIMUM SETBACK:	5'
MINIMUM SIDE YARD:	10'
MINIMUM REAR YARD:	20'
MAXIMUM BUILDING HEIGHT:	45'
PROPOSED BUILDING HEIGHT:	42'-4"
MAXIMUM BUILDING HEIGHT AT 40' FROM REAR PROPERTY LINE:	30'
PROPOSED BUILDING HEIGHT AT 40' FROM REAR PROPERTY LINE:	29'-5"
MINIMUM OPEN SPACE REQUIRED:	45%
PROVIDED OPEN SPACE:	49.2%
(BASED ON PROPERTY WEST OF NOLLEY COURT ONLY)	
PARKING CALCULATIONS	
REQUIRED OFF-STREET PARKING:	78
-1 SPACE PER UNIT	
TOTAL PROPOSED OFF-STREET PARKING:	82
REQUIRED H.C. ACCESSIBLE SPACES:	4
PROVIDED HANDICAP ACCESSIBLE SPACES:	8
H.C. VAN ACCESSIBLE SPACES:	1
IMPERVIOUS CALCULATIONS	
EXISTING BUILDINGS:	0 SF
EXISTING ASPHALT/CONCRETE TO REMAIN:	1,261 SF
EXISTING GRAVEL TO BE REMOVED:	1,208 SF
PROPOSED BUILDING:	27,997 SF
PROPOSED ON-SITE ASPHALT/CONCRETE:	42,535 SF
PROPOSED NOLLEY CT ROAD IMPROVEMENTS:	27,755 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE:	98,287 SF
PERCENT IMPERVIOUS (NEW):	44.5%
-98,287 / (222,048-1,261)	
REQUIRED SOLID WASTE FOR 78 UNITS:	24 CY WASTE
-8 CY DUMPSTER PER 30 UNITS	
PROVIDED SOLID WASTE DUMPSTER:	2-12 CY WASTE
REQUIRED RECYCLING AREA FOR 78 UNITS:	144 SF
-144 SF PER 80 UNITS	
PROVIDED RECYCLING AREA:	168 SF

## DEVELOPMENT SUMMARY



### TREE PLANTING NOTES:

- MINIMUM TREE SIZE AT PLANTING IS 2-INCH CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM. 1.3 MINIMUM TREE SIZE AT PLANTING IS 2-INCH CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
- ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVED, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS. REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL, OR TILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER TREE).
- LARGE MATURING TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- A MINIMUM OF FIFTY (50) PERCENT OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN TWENTY (20) TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
- SITE LIGHTING MUST BE A MINIMUM THIRTY (30) FEET AWAY FROM A TREE. IF PEDESTRIAN SCALE LIGHTING IS BEING USED, THEN LIGHTING MUST BE A MINIMUM OF FIFTEEN (15) FEET AWAY FROM A TREE, UNLESS APPROVED OTHERWISE BY THE CITY. SHOW SITE LIGHTING PLAN.
- ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (GAS, WATER, PHONE, AND ELECTRICAL LINES).
- ATTENTION LANDSCAPER: NOTIFY URBAN FORESTER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES. LARGE MATURING TREES MUST BE A MINIMUM 25 TO 30 FEET FROM THE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- PLEASE CALL (704) 336-4330 FOR AN INSPECTION OF TREE PROTECTION AND/OR TREE PLANTING AREAS, 1 TO 2 DAYS BEFORE THE CERTIFICATE OF OCCUPANCY IS NEEDED.
- NO UTILITY OR LIGHT POLES TO BE INSTALLED IN TREE ISLANDS.
- ALL TREES ON PUBLIC PROPERTY ARE PROTECTED BY ORDINANCE AND REMOVAL MUST BE APPROVED BY THE CITY ARBORIST (704)336-5752 OR (704)336-5753.
- COMMERCIAL TREE SAVE AREAS MUST BE RECORDED IN ACCORDANCE WITH THE APPROVED PLAN ON A FINAL PLAT AT THE REGISTER OF DEEDS OFFICE BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED.
- THE AREA OF ANY EASEMENTS (WATER, SEWER, UTILITY, ETC.) THAT PASS THROUGH TREE SAVE AREAS CANNOT BE COUNTED TOWARD THE REQUIRED TREE SAVE REQUIREMENT.

### STREET TREES - NOLLEY COURT

STREET FRONTAGE: 2152 LF  
REQUIRED STREET TREES: 54 EA  
-BASED ON TREES BEING 40' O.C.  
EXISTING STREET TREES: 6 EA  
PROPOSED STREET TREES: 48 EA  
PROVIDED STREET TREES: 54 EA

### STREET TREES - ROAD A

STREET FRONTAGE: 76 LF  
REQUIRED STREET TREES: 2 EA  
-BASED ON TREES BEING 40' O.C.  
PROPOSED STREET TREES: 2 EA

### TREE SAVE

SITE AREA AFTER R/W DEDICATION 4.183 AC (182,190 SF)  
REQUIRED 15% TREE SAVE: 0.63 AC (27,328 SF)  
PROVIDED TREE SAVE AREA: 20,982 SF  
NOT PROVIDED/DISTURBED TREE SAVE: 6,346 SF  
150% REQUIRED TREE SAVE: 9,519 SF  
-(6,346 X 150%) = 9,519  
PROVIDED DISTURBED TREE SAVE: 11,069 SF  
TOTAL PROVIDED TREE SAVE AREA: 32,051 SF  
REQUIRED TREES/DISTURBED TREE SAVE: 10 TREES  
-36 TREES/ACRE  
EXISTING TREES: 63 EA  
PROPOSED TREES: 34 EA  
PROVIDED TREES: 97 EA

NO HERITAGE TREES ARE PRESENT ON SITE  
-(IN AREA OF DEVELOPMENT)

### INTERNAL TREE REQUIREMENTS

TOTAL IMPERVIOUS: (70,532 SF (1.62 AC)  
-1 TREE / 10,000 SF OF IMPERVIOUS AREA  
REQUIRED TREES: 8  
PROPOSED TREES: 12  
-PARKING TREES WITHIN 40' OF PARKING SPACE

### 20' LANDSCAPE AREA

LANDSCAPE AREA LENGTH: 899 LF  
REQUIRED TREES: 36 EA  
-4 TREES PER 100 FEET  
EXISTING TREES: 53 EA  
PROPOSED TREES: 24 EA  
PROVIDED TREES: 77 EA  
REQUIRED EVERGREEN SHRUBS: 183 EA  
PROVIDED EVERGREEN SHRUBS: 183 EA

## LANDSCAPE SUMMARY

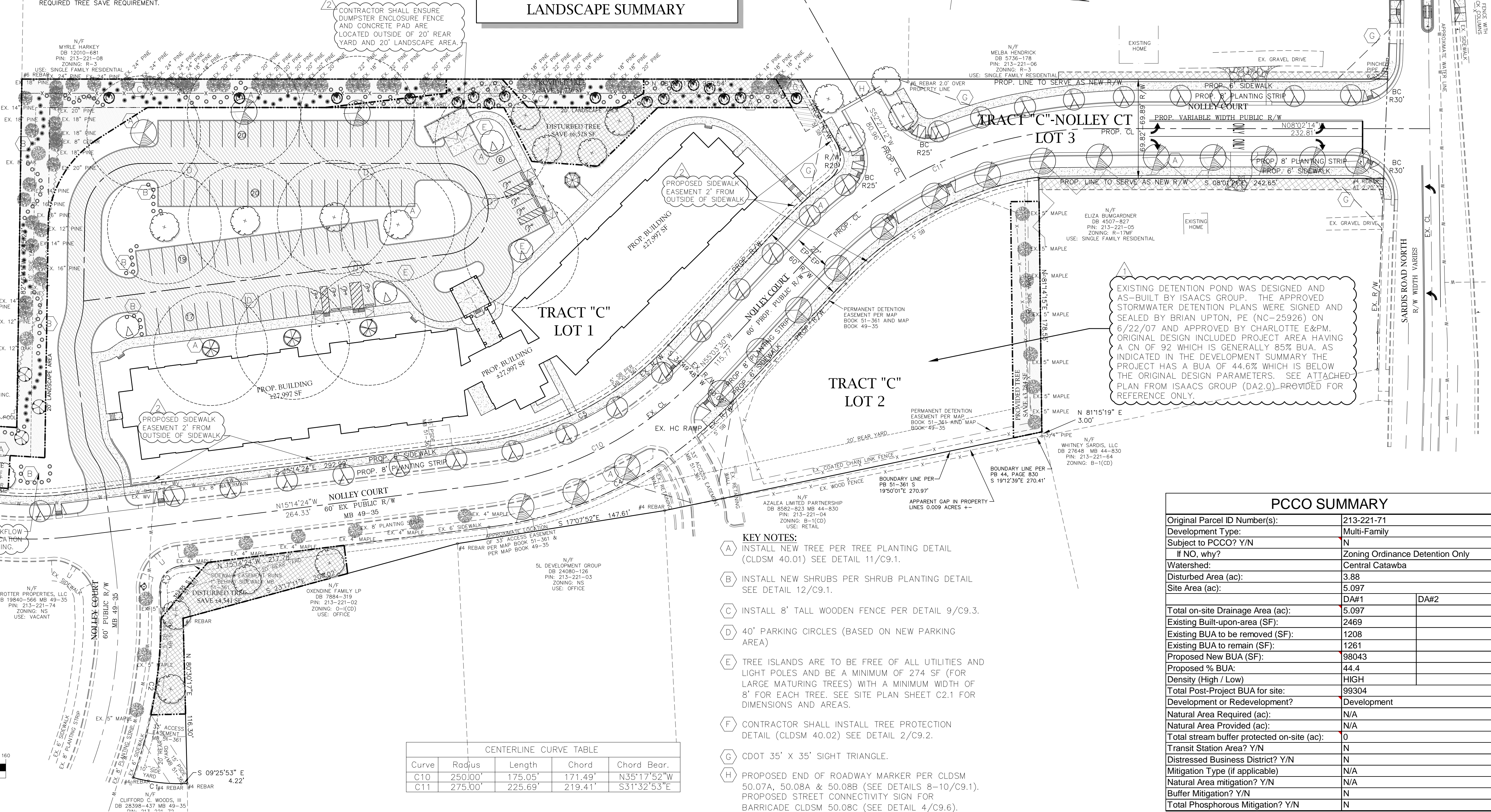
SYMBOL	QTY	COMMON NAME	SCIENTIFIC NAME	CALIPER	MIN. HEIGHT
	29	WILLOW OAK	<i>Quercus phellos</i>	3"	10'
	19	SOUTHERN RED OAK	<i>Quercus falcata</i>	3"	10'
	20	SUGAR MAPLE	<i>Acer saccharum</i>	3"	10'
	4	BLACK GUM	<i>Nyssa sylvatica</i>	3"	10'
	7	TULIP POPLAR	<i>Liriodendron tulipifera</i>	3"	10'
	3	RIVER BIRCH	<i>Betula nigra</i>	3"	10'
	17	JAPANESE CRYPTOMERIA	<i>Cryptomeria japonica</i>	2"	8'
	90	INDIAN AZALEA	<i>Azalea indica</i>	5 GAL	30"
	103	ROUNDLEAF JAPANESE HOLLY	<i>Ilex crenata 'rotundifolia'</i>	5 GAL	30"

NOTE:  
1. PLANTS MUST BE ON CITY OF CHARLOTTE APPROVED SPECIES PLANTING LIST

## PLANT MATERIALS LIST

### STREET TREE PLANTING NOTE:

PRIOR TO PURCHASING OR INSTALLING STREET TREES LANDSCAPER SHALL CONTACT LEWIS HATFIELD (704-336-4265) IN LANDSCAPE MANAGEMENT TO GET HIS APPROVAL FOR SPECIES OF STREET TREES SINCE THEY WILL BE PLANTED IN RIGHT OF WAY.



### KEY NOTES:

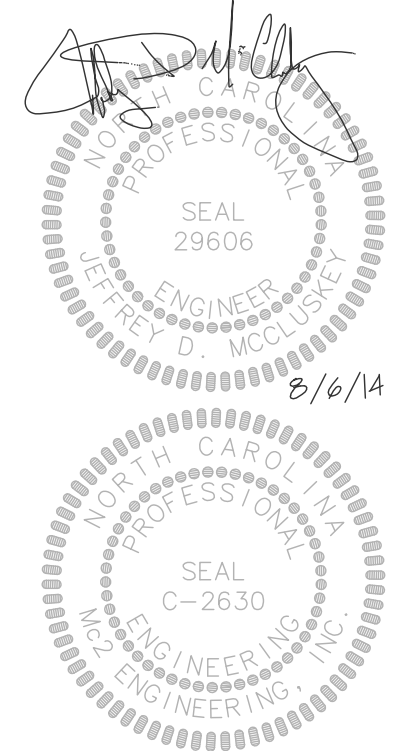
- INSTALL NEW TREE PER TREE PLANTING DETAIL (CLDSM 40.01) SEE DETAIL 11/C9.1.
- INSTALL NEW SHRUBS PER SHRUB PLANTING DETAIL SEE DETAIL 12/C9.1.
- INSTALL 8' TALL WOODEN FENCE PER DETAIL 9/C9.3.
- 40' PARKING CIRCLES (BASED ON NEW PARKING AREA)
- TREE ISLANDS ARE TO BE FREE OF ALL UTILITIES AND LIGHT POLES AND BE A MINIMUM OF 274 SF (FOR LARGE MATURING TREES) WITH A MINIMUM WIDTH OF 8' FOR EACH TREE. SEE SITE PLAN SHEET C2.1 FOR DIMENSIONS AND AREAS.
- CONTRACTOR SHALL INSTALL TREE PROTECTION DETAIL (CLDSM 40.02) SEE DETAIL 2/C9.2.
- CDOT 35' X 35' SIGHT TRIANGLE.
- PROPOSED END OF ROADWAY MARKER PER CLDSM 50.07A, 50.08A & 50.08B (SEE DETAILS 8-10/C9.1). PROPOSED STREET CONNECTIVITY SIGN FOR BARRICADE CLDSM 50.08C (SEE DETAIL 4/C9.6).

### CENTERLINE CURVE TABLE

Curve	Radius	Length	Chord	Chord Bear.
C10	250.00'	175.05'	171.49'	N35°17'52"W
C11	275.00'	225.69'	219.41'	S31°32'53"E

## PCCO SUMMARY

Original Parcel ID Number(s):	213-221-71
Development Type:	Multi-Family
Subject to PCCO? Y/N	N
If NO, why?	Zoning Ordinance Detention Only
Watershed:	Central Catawba
Disturbed Area (ac):	3.88
Site Area (ac):	5.097
DA#1	DA#2
Total on-site Drainage Area (ac):	5.097
Existing Built-upon-area (SF):	2469
Existing BUA to be removed (SF):	1208
Existing BUA to remain (SF):	1261
Proposed New BUA (SF):	98043
Proposed % BUA:	44.4
Density (High / Low)	HIGH
Total Post-Project BUA for site:	99304
Development or Redevelopment?	Development
Natural Area Required (ac):	N/A
Natural Area Provided (ac):	N/A
Total stream buffer protected on-site (ac):	0
Transit Station Area? Y/N	N
Distressed Business District? Y/N	N
Mitigation Type (if applicable)	N/A
Natural Area mitigation? Y/N	N/A
Buffer Mitigation? Y/N	N
Total Phosphorous Mitigation? Y/N	N



**Mc<sup>2</sup> ENGINEERING**  
Mc<sup>2</sup> ENGINEERING, INC.  
2110 BEN CRAIG DR., STE. 400  
CHARLOTTE, NC 28262  
PHONE 704.510.9797

Sardis Trace, LLC

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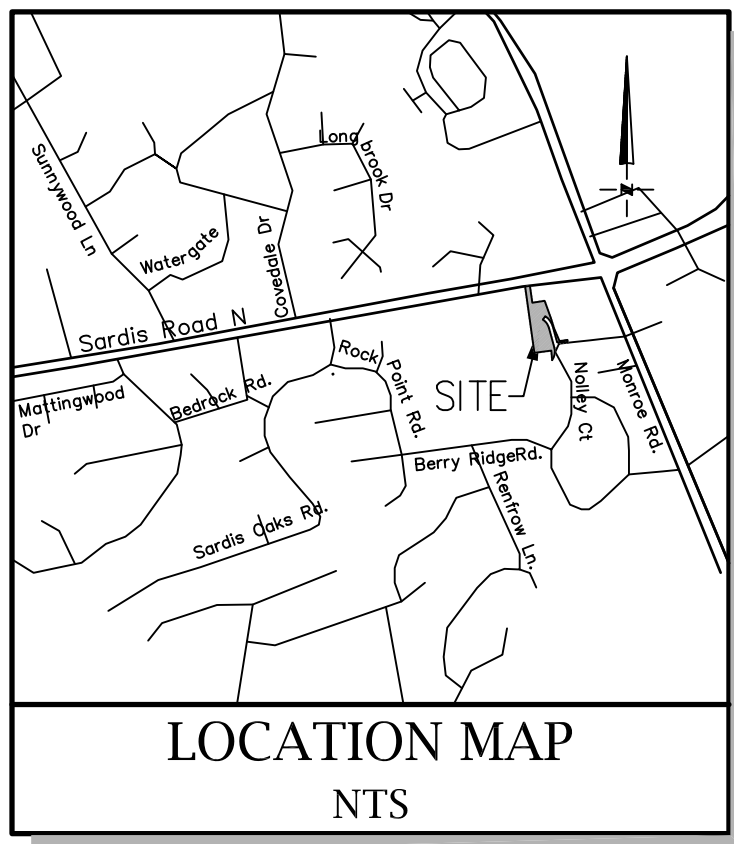
OVERALL SITE PLAN

C2.0

ARCHITECTURE  
PLANNING  
INTERIORS

Ross / Decard Architects, PA



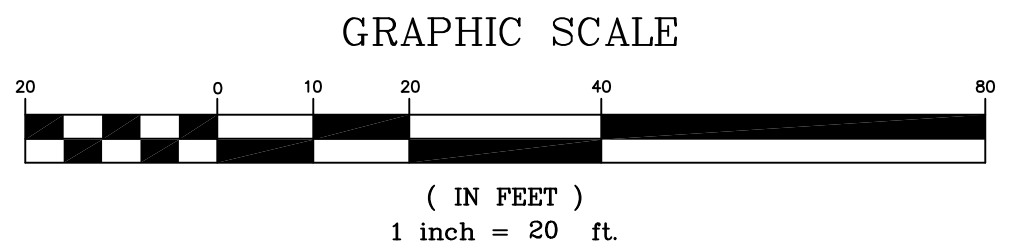
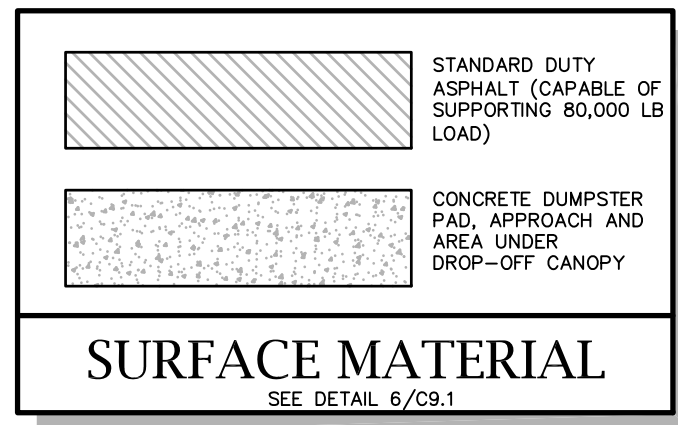


- KEY NOTES:**
- A CONSTRUCT NOLLEY COURT EXTENSION AND ROAD A PER TYPICAL SECTION SEE DETAIL 1/C9.0.
  - B INSTALL 6" EXTRUDED ASPHALT CURB SEE DETAIL 11/C9.3.
  - C CONTRACTOR SHALL INSTALL SIDEWALK PER CLDSM 10.22 (WIDTH SHOWN ON PLANS) SEE DETAIL 5/C9.0.
  - D CONTRACTOR SHALL INSTALL MONOLITHIC CONCRETE CURB AND SIDEWALK PER CLDSM 10.23 (WIDTH SHOWN ON PLANS) SEE DETAIL 6/C9.0.
  - E INSTALL HANDICAP ACCESSIBLE RAMP (WIDTH SHOWN ON PLANS) PER DETAILS 12/C9.0.
  - F INSTALL HANDICAP ACCESSIBLE RAMP PER CLDSM 10.31A-B SEE DETAIL 10-11/C9.0.
  - G INSTALL 26" MODIFIED TYPE II DRIVEWAY PER CLDSM 10.25E SEE DETAIL 8/C9.0.
  - H INSTALL DUMPSTER/RECYCLING ENCLOSURE SEE DETAIL 8/C9.3.
  - I INSTALL HANDICAP PARKING SIGNAGE AND PAVEMENT MARKINGS SEE DETAILS 2-4/C9.1.
  - J INSTALL CONCRETE WHEEL STOP PER DETAIL 10/C9.3.

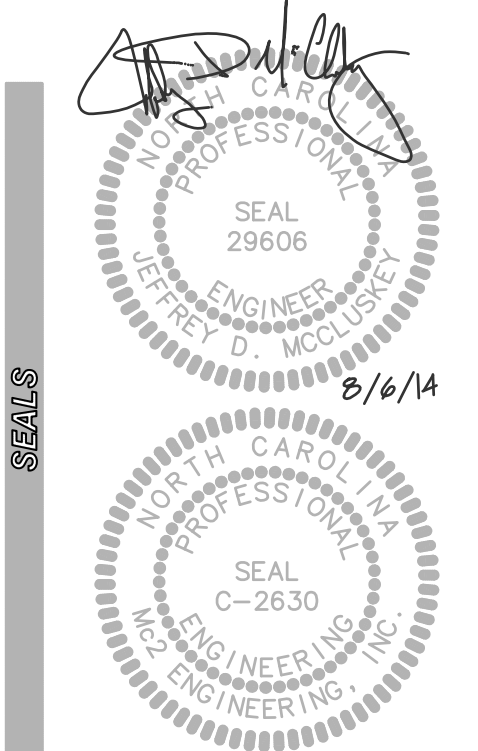
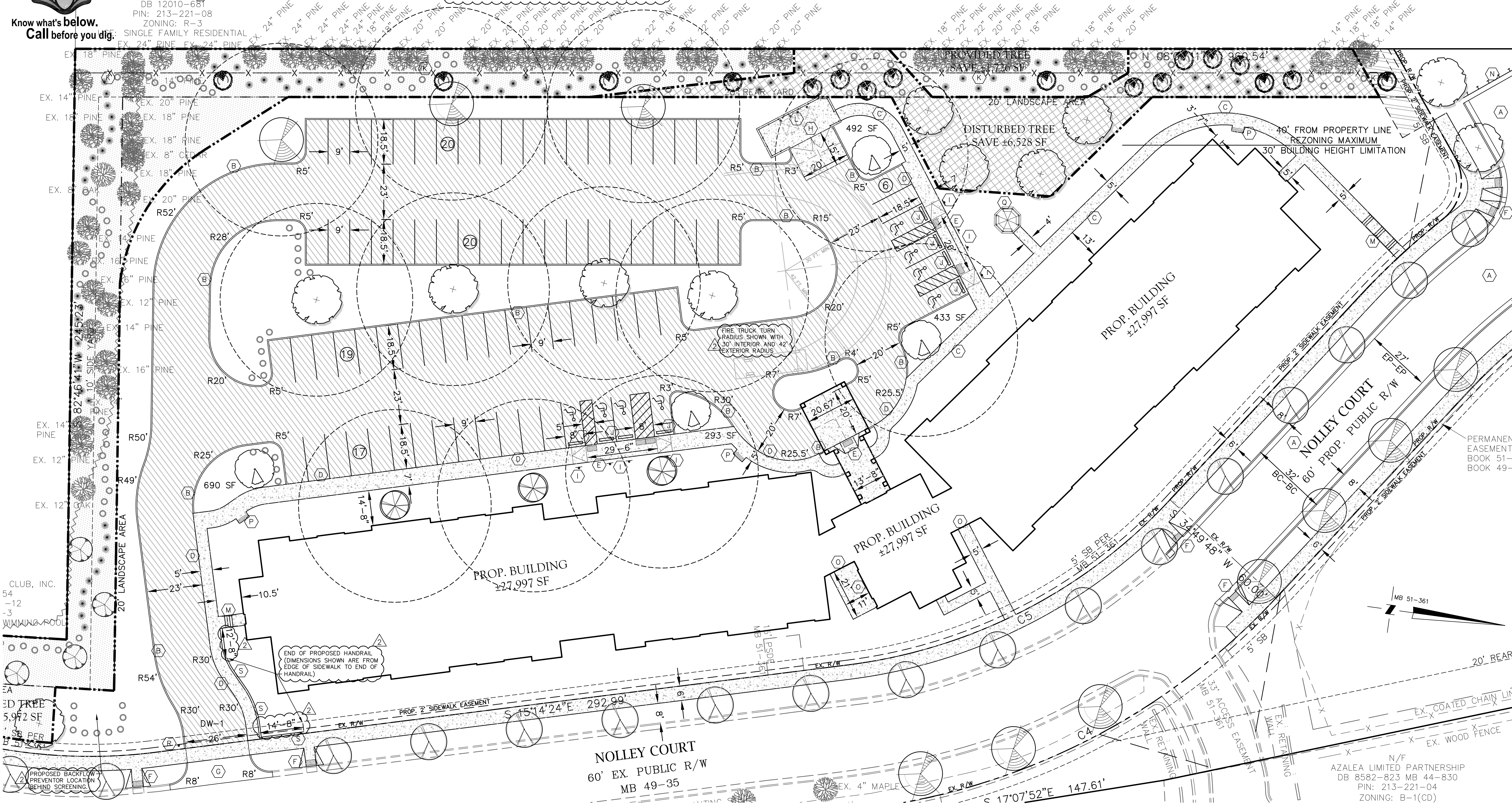
- K CONTRACTOR SHALL INSTALL 8' TALL WOOD PRIVACY FENCE SEE DETAIL 9/C9.3.
  - L INSTALL 4 CONCRETE BOLLARDS AT REAR OF PROPOSED DUMPSTER PAD. SEE DETAIL 5/C9.1.
- CONTRACTOR SHALL CONSTRUCT STAIRS WITH THE NUMBER OF STAIRS INDICATED ON THE GRADING PLAN (SHEET C4.0) SEE DETAIL 1/C9.2.
- N PROPOSED END OF ROADWAY MARKER PER CLDSM 50.07A, 50.08A & 50.08B (SEE DETAILS 8-10/C9.1). PROPOSED STREET CONNECTIVITY SIGN FOR BARRICADE CLDSM 50.08C (SEE DETAIL 4/C9.6).
  - O COVERED OUTDOOR SEATING AND OUTDOOR PATIO PROVIDED IN LIEU OF PICNIC AREA WITH GRILL.
  - P PROPOSED SEATING AREA WITH PARK BENCH. SEE ARCHITECTURAL PLANS FOR DETAILS.
  - Q PROPOSED GAZEBO SEE ARCHITECTURAL PLANS SD1.2 FOR DETAILS.
  - R CONTRACTOR SHALL INSTALL "STOP" (R1-1) SIGN AS INDICATED ON THE PLANS. SIGN SHALL CONFORM TO MUTCD SPECIFICATIONS.
  - S INSTALL 55 LF OF TYPICAL HANDRAIL (CLDSM 50.04A) ALONG PROPOSED SIDEWALK WITH A 2:1 SLOPE ON THE BACKSIDE OF THE SIDEWALK. SEE DETAIL 7/C9.6.

PCCO SUMMARY	
Original Parcel ID Number(s):	213-221-71
Development Type:	Multi-Family
Subject to PCCO? Y/N	N
If NO, why?	Zoning Ordinance Detention Only
Watershed:	Central Catawba
Disturbed Area (ac):	3.88
Site Area (ac):	5.097
	DA#1 DAW#2
Total on-site Drainage Area (ac):	5.097
Existing Built-upon-area (SF):	2469
Existing BUA to be removed (SF):	1208
Existing BUA to remain (SF):	1261
Proposed New BUA (SF):	98043
Proposed % BUA:	44.4
Density (High / Low)	HIGH
Total Post-Project BUA for site:	99304
Development or Redevelopment?	Development
Natural Area Required (ac):	N/A
Natural Area Provided (ac):	N/A
Total stream buffer protected on-site (ac):	0
Transit Station Area? Y/N	N
Distressed Business District? Y/N	N
Mitigation Type (if applicable)	N/A
Natural Area mitigation? Y/N	N/A
Buffer Mitigation? Y/N	N
Total Phosphorous Mitigation? Y/N	N

SEE OVERALL SITE PLAN FOR  
LANDSCAPING SUMMARY AND PLANT  
MATERIALS LIST.



- SITE NOTES:**
- DIMENSIONS AND COORDINATE POINTS ARE TO BACK OF CURB OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
  - ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH NORTH CAROLINA AND CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS.
  - ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
  - PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS NOT ALREADY OBTAINED BY THE DESIGN TEAM FROM ALL REGULATORY AUTHORITIES AND SHALL KEEP COPIES OF ALL APPLICABLE PERMITS ON SITE.
  - THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
  - GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM HAZARD.
  - DO NOT SCALE DRAWING FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
  - ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 1989 EDITION AS AMENDED.
  - ALL PAVEMENT MARKINGS SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
  - CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO TIE IN SMOOTHLY TO PROPOSED PAVEMENT AT CONNECTION TO NEW ASPHALT PARKING AREA.
  - REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
  - CONTRACTOR SHALL COORDINATE WITH OWNER, SUB CONTRACTORS AND UTILITIES TO INSURE ALL THAT CONDUITS ARE INSTALLED UNDER THE CURB AND GUTTER, SIDEWALKS AND PAVEMENT ARE INSTALLED BEFORE THE FINISHED SURFACE IS LAID.
  - ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.



**Mc<sup>2</sup> ENGINEERING**

MG<sup>2</sup> ENGINEERING, INC.  
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PHONE 704.510.9797

Sardis Trace, LLC

**Sardis Trace Senior  
Apartments**

Charlotte,  
North Carolina

# 13-40100

2 8/6/14 CHARLOTTE/CMUD &  
MECKLENBURG CO. COMMENTS  
1 6/4/14 CITY OF CHARLOTTE COMMENTS  
& OWNER REVISED GRADES

January 25, 2013-1ST SUBMISSION  
May 15, 2013-2ND SUBMISSION  
NOHFA APPLICATION

DATE: February 25, 2014  
ISSUED FOR: CMPC/E&PM REVIEW

**DETAILED  
SITE PLAN**

**C2.1**

SHEET OF TOTAL SHEETS IN SET DRAWN BY: JDM CHECKED BY: JDM

ARCHITECTURE  
PLANNING  
INTERIORS

**Ross / Deckard Architects, PA**