



Revision
APPROVED FOR
CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 6-12-2014

GENERAL SITE NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. SITE BOUNDARY INFORMATION TAKEN FROM SURVEY BY GEOSCIENCE GROUP.
3. O.M.T.
4. CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS, WATER LINES, STORM DRAINAGE, LIGHT POLES, POWER POLES, ETC. WITH APPROPRIATE UTILITY COMPANIES WHO WILL VERIFY LOCATION.
5. CONTRACTOR TO COORDINATE WITH OWNER AND PROJECT ENGINEER FOR EXISTING BUILDING DEMOLITION AND ANY OTHER STRUCTURES WHICH MAY BE ON PROJECT SITE.
6. CONTRACTOR TO COORDINATE ALL CONSTRUCTION IN R/W'S WITH N.C.D.O.T. AND CITY OF CHARLOTTE.
7. ALL CONSTRUCTION TO CONFORM TO THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL DETAILS AND SPECIFICATIONS.
8. ALL DRAINAGE FACILITIES, CURB CUTS AND CURB RAMPS MUST BE CONSTRUCTED IN COMPLIANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL AND COORDINATED WITH ENGINEERING AND PROPERTY MANAGEMENT.
9. O.M.T.
10. O.M.T.
11. A RIGHT OF WAY ENCROACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ALL NON-STANDARD ITEMS (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK PAVEMENT, ETC.) WITHIN A PROPOSED/EXISTING CITY MAINTAINED STREET RIGHT OF WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNERS/BUSINESS ASSOCIATION. AN ENCROACHMENT AGREEMENT MUST BE APPROVED BY CDOT PRIOR TO THE CONSTRUCTION/INSTALLATION OF THE NON-STANDARD ITEMS. CONTACT CDOT FOR ADDITIONAL INFORMATION CONCERNING COST, SUBMITTAL AND LIABILITY INSURANCE COVERAGE REQUIREMENTS.
12. TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDINANCE GUIDELINES STANDARDS.
13. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING/CONSTRUCTION, AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY STAFF.
14. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREAS.
15. VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
16. URBAN FORESTER MUST BE NOTIFIED OF THE PRE-CONSTRUCTION MEETING.
17. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
18. ALL ROAD IMPROVEMENTS ARE TO BE COORDINATED WITH THE NCDOT PRIOR TO CONSTRUCTION.
19. O.M.T.
20. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
21. O.M.T.
22. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
23. APPROVAL OF THIS SITE IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
24. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.2% SLOPE IN THE CURB.
25. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DETERMINED NECESSARY BY THE INSPECTOR.
26. CURB AND GUTTER SHOWN ON PLANS CASCADE POINTE MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATIONS BASED UPON FIELD CONDITIONS.

NOTES:
A. TOPOGRAPHIC & BOUNDARY SURVEY PROVIDED BY: RB PHARR
B. OWNER/DEVELOPER:
CHILDRESS KLEIN PROPERTIES
2800 ONE WACHOVIA CENTER
CHARLOTTE, NC 28202
704-342-9000

ZONING:
ZONING RESTRICTIONS AS PER ZONING ORDINANCE:
SUBJECT PROPERTY ZONED: I-1(CD) PETITION 2002-74

MINIMUM SETBACK: 20'
MINIMUM SIDE YARD: 0 OR 5'
MINIMUM REAR YARD: 10'
MINIMUM BUILDING HEIGHT: 40'
ELEVATIONS BASED ON N.G.S. MONUMENT "JAIL", ELEVATION = 637.12 FEET, NAVD 88.

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PROJECT MANAGER	DRAWING SCALE	REV.	DATE
DESIGN BY	PROJECT DATE		
APPROVED BY	PROJECT NUMBER	2	CDOT COMMENTS, ADD LANE STRIPING
FILE NAME	DATE	1	city comments
			6.10.14
			5.12.13



LAKEPOINTE CORPORATE CENTER
SUBDIVISION PLANS
CHILDRESS KLEIN PROPERTIES

CASCADE POINTE BOULEVARD
PLAN AND PROFILE

C1.1