

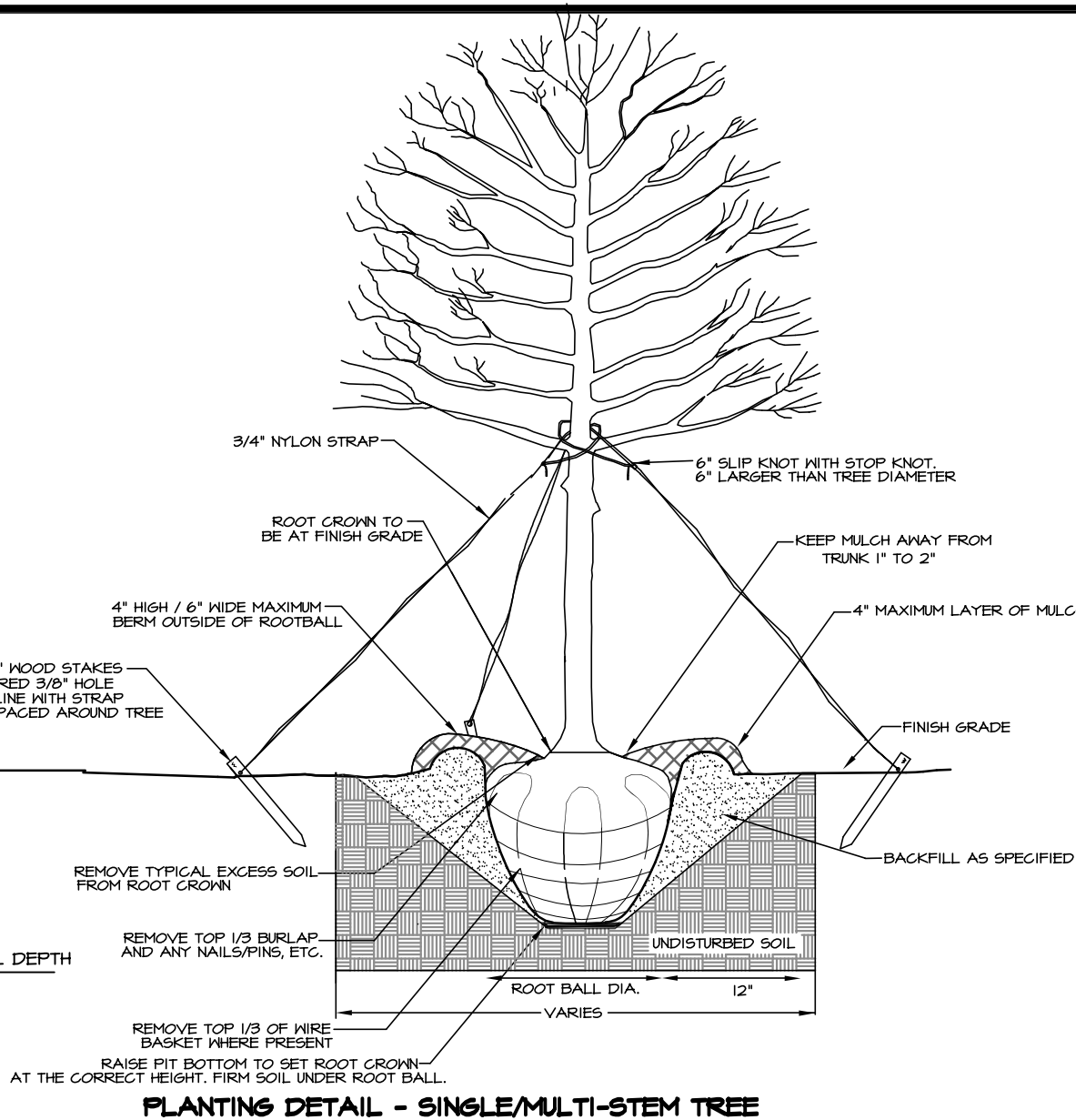
SHEET INDEX

Sheet No.	Sheet Title
1	Preliminary Subdivision Site/Landscape Plan
2	Storm Drainage and Grading Plan
3	Erosion Control Plan (Pre)
4	Erosion Control Plan (Post)
5	Roadway & Storm Drainage Profiles & Site Construction Details
6	BMP Plan and Details
7	100+1 X-Sections
8	Traffic Control Plan
9	Blakeney Heath Rd X-Sections

NOTES:

1. REMOVE WIRE AND NYLON THINE FROM BALL AND CANOPY.
2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
3. STAKING IS REQUIRED FOR ALL TREES IN R.O.W. OR UPON REQUEST OF ARBORIST.
4. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
5. RESEED UNMULCHED, DISTURBED AREAS.

ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) for example CALIPER HEIGHT (RANGED) MAX HEIGHT MIN ROOT BALL DIA MIN ROOT BALL DIA



PLANTING DETAIL - SINGLE/MULTI-STEM TREE

LANDSCAPE PLAN NOTES:

MINIMUM TREE SIZE AT PLANTING IS 2\"/>

FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS, REMOVE COMPACTED SOIL AND ADD 2\"/>

ALL STAKING AND 2\"/>

PLEASE CALL 704-336-4330 FOR FINAL INSPECTION OF TREES, 1 TO 10 DAYS BEFORE THE CERTIFICATE OF OCCUPANCY IS NEEDED.

PREFERRED TREE SPACING IS: 30' FOR SMALL-MATURING TREES (20\"/>

ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLACE 15-20' OFF SEWER AND STORM DRAINAGE LINES, 10' OFF GAS, WATER, PHONE AND UNDERGROUND ELECTRICAL LINES.

EXISTING HEALTHY TREES WITHIN 25 FEET OF THE RIGHT-OF-WAY OR LINE MAY HAVE BEEN CREDITED TOWARD THE PERIMETER REQUIREMENT IF SHOWN LANDSCAPE PLAN MAY BE PRESERVED HEALTHY.

LARGE MATURING TREES MAY NOT BE PLANTED WHERE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES EXIST. IF TREES OVERLAP WITH POWERLINES OR SIGNALS, CALL URBAN FORESTRY TO RESOLVE BEFORE PLANTING.

GENERAL NOTES

1. THIS PRELIMINARY SUBDIVISION PLAN IS SUBMITTED, AND SHALL BE CONSTRUCTED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CHARLOTTE ZONING AND SUBDIVISION ORDINANCES, AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
2. BOUNDARY SURVEY INFORMATION PER SURVEY PREPARED BY PHOENIX LAND SURVEYING.
3. TOPOGRAHIC INFORMATION TAKEN FROM PHOTOGRAMMETRIC MAPPING BY CITY OF CHARLOTTE.
4. CHIEF SUBDIVISION INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. LOT DIMENSIONS ARE APPROXIMATE; REFERENCE RECORD PLAT FOR EXACT LOT DIMENSIONS.
6. ALL STORM DRAINAGE PIPE SHALL BE CLASS 3 REINFORCED CONCRETE PIPE (RCP) (UNLESS OTHERWISE NOTED). PIPE LENGTHS INDICATED ON THE PLANS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE DUE TO FIELD CONDITIONS.
7. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY AS DEEMED NECESSARY BY THE INSPECTOR.
8. REFERENCE SHEETS 3 & 4 FOR EROSION CONTROL PLAN AND NOTES. REFERENCE SHEET 5 FOR EROSION CONTROL DETAILS.
9. CONSTRUCTION OF ALL DEVELOPMENT IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL. REFERENCE SHEET 5 FOR SITE DETAILS. THE FOLLOWING ADDITIONAL DETAILS ARE INCLUDED BY REFERENCE:
  - ITEM CURED AND GUTTER SIDEWALK HEADWALL
10. APPROXIMATE COMPLETION TIME IS FALL 2013.
11. WATER AND SANITARY SEWER SERVICE SHALL BE PROVIDED BY LATERALS TO THE EXISTING CHARLOTTE-MECKLENBURG UTILITY SYSTEM.
12. SIDEWALK NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE SUBDIVISION INSPECTOR FOR LATEST REVISION OF HANDICAP RAMP DETAILS) PRIOR TO PLACEMENT OF ANY HIC RAMPS AND/OR SIDEWALK.
13. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBTURBATED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
14. DRAINAGE EASEMENTS INDICATED AS SDE (STORM DRAINAGE EASEMENT) ARE EASEMENTS WHICH ARE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
15. DEVELOPER WILL PROVIDE STREET SIGNS PER GLDSM 50.05 (4\"/>
16. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH THE CITY INSPECTOR.

17. NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
18. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED SLOPES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
19. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
20. IN ROLLING AND HILLY TERRAINS, SHEEPING OF THE STONE BASE AND/OR APPLICATION OF TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
21. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
22. SITE BENCHMARK FOR PROJECT IS THE RIM OF AN EXISTING SAN. SWR. MH IN BORGHETTA DRIVE, ELEV. = 648.17 (NAV. D. 80). USED FOR 100+1 FLOOD STUDY.
23. CURB AND GUTTER SHOWN ON PLANS ALONG BLAKENEY HEATH ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERS. ASSOCIATED STORM DRAINAGE BASED UPON FIELD CONDITIONS.
24. COMMON OPEN SPACE TO BE CONVEYED TO THE HOMEOWNERS ASSOCIATION IN ACCORDANCE WITH THE CHARLOTTE ZONING ORD. 4.205
25. ALL ROAD IMPROVEMENTS AT BLAKENEY HEATH ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
26. TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORD. GUIDELINES STD.
27. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY STAFF.
28. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION, MAT'L'S, TRAFFIC, BURIAL, PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREA.
29. VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTION.
30. NO DEMOLITION LANDFILLS WILL BE LOCATED ON THIS SITE.
31. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 336-1086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COSTS AND/OR ANY REPAIR COSTS CAUSED BY THE CONTRACTOR/DEVELOPER.
32. COMMON OPEN SPACE/TREESAVE AREA TO REMAIN IN A NATURAL STATE. AREAS TO BE CLEARED OF TRASH AND DEBRIS.
33. THE PURPOSE OF THE STORM DRAINAGE ESMT. (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
34. PE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
35. THE CITY OF CHARLOTTE WILL NEITHER BE RESPONSIBLE FOR THE GROUNDS WITHIN THE PERMANENT STORM DRAINAGE EASEMENT NOR REMOVAL OF ANY OBSTRUCTIONS IN THAT AREA.
36. SIGHT TRIANGLES SHOWN ARE MINIMUM REQUIRED.
37. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
38. RIGHT-OF-WAY FOR BLAKENEY HEATH RD FROM DB 2440 PS 240
39. CERTIFICATION AND STREET CURE PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS, ALLOW 1 DAY'S PROCESSING FOR PERMITS. FOR INFORMATION CONTACT CDOT (704-336-4025) OR VISIT <http://www.charmeck.org/departments/transportation/street-maintenance/home.htm>
40. PER SECTION 18-175 (E) OF THE CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQ'D NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCESES) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
41. TREESAVE AREA MUST HAVE INVASIVE PLANTS INCLUDING ENGLISH IVY REMOVED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY BEING ISSUED. ANY GAPS IN THE EXISTING TREESAVE AREA WILL BE PLANTED WITH 2\"/>
42. CONTACT CDOT, BOB STALEY 704-432-1562 FOR RIGHT-OF-WAY USE PERMIT PRIOR TO STARTING ANY WORK WITHIN EXISTING ROAD RIGHTS-OF-WAY.
43. NO DIRECT ACCESS FROM ANY LOT TO BLAKENEY HEATH ROAD, THE EXISTING DIRT DRIVEWAY WILL BE (REMOVED) SEEDED AS PART OF THE DEVELOPMENT.

LEGEND

- EXISTING PAVEMENT/CURB
- PROPOSED PAVEMENT/CURB
- ADJOINING PROPERTY LINES
- EXISTING BUILDINGS
- PROPOSED 5' SIDEWALK
- TREE PROTECTION FENCE
- PROPOSED TREE SAVE AREA
- PROPOSED NATURAL AREA

BMP INSET TABLE

SAND FILTER	
PROJECT NAME:	BLAKENEY RETREAT
SEQUENCE ID:	1.00
DRAINAGE AREA (ACRES):	2.00
LAND USE/DEVELOPMENT TYPE:	1/4 - 1/2 AC RESIDENTIAL
PERCENT BUILT-UPON AREA:	44.00
SEDIMENT CHAMBER LENGTH (FT.):	41.00
SEDIMENT CHAMBER WIDTH (FT.):	34.00
SEDIMENT CHAMBER HEIGHT (FT.):	3.00
SAND FILTER TYPE:	SURFACE
MEDIA DEPTH (FT.):	2.50
FLOW DIVERTER PRESENT (Y/N):	NO
REGULATED BY:	PCO
TREATMENT EFFECTIVENESS:	OPTIMAL
NC STATE PLANE X (EASTING):	1,456,760.00
NC STATE PLANE Y (NORTHING):	473,443.00

PCCO SUMMARY

ORIGINAL PARCEL #	224-083-34
DEVELOPMENT TYPE	RESIDENTIAL
SUBJECT TO PCGO (Y/N) ?	YES
IF NO, WHY?	
WATERSHED	SIX MILE CREEK
DISTURBED AREA (AC)	3 AC
SITE AREA (AC)	3.70 AC
DA #	
TOTAL ON-SITE DA (AC)	2 AC
EXIST. BUA (SF)	0 SF
EXIST. BUA TO BE REMOVED (SF)	0 SF
EXIST. BUA TO REMAIN (SF)	0 SF
PROP. NEW BUA (SF)	30,332 SF
PROP. % BUA	44.0 %
DENSITY (HIGH/LOW)	HIGH
TOT. POST-PROJ. BUA FOR SITE	30,332 SF
DEVELOPMENT OR REDEVELOPMENT?	DEVELOPMENT
NATURAL AREA REQ (AC)	0.66 AC
NATURAL AREA PROV (AC)	0.66 AC
INDIST. TREED NATURAL AREA PRESERVED	0.59 AC
TOT. STREAM BUFFER PROT (AC)	0
TRANSIT STA AREA (Y/N)	N
DISTRESSED BUS. DIST (Y/N)	N
MITIGATION TYPE (IF APPLICABLE)	
NATURAL AREA MITIGATION (Y/N)	N
BUFFER MITIGATION (Y/N)	N
TOT. PHOSPHORUS MITIGATION (Y/N)	N

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	BEARINGS
C1	268.06	870.00	267.00	S50°30'39"E
C2	54.04	100.00	53.39	S48°31'48"W
C3	11.61	59.00	11.59	S2°06'25"E
C4	14.19	75.00	14.01	S5°01'50"E

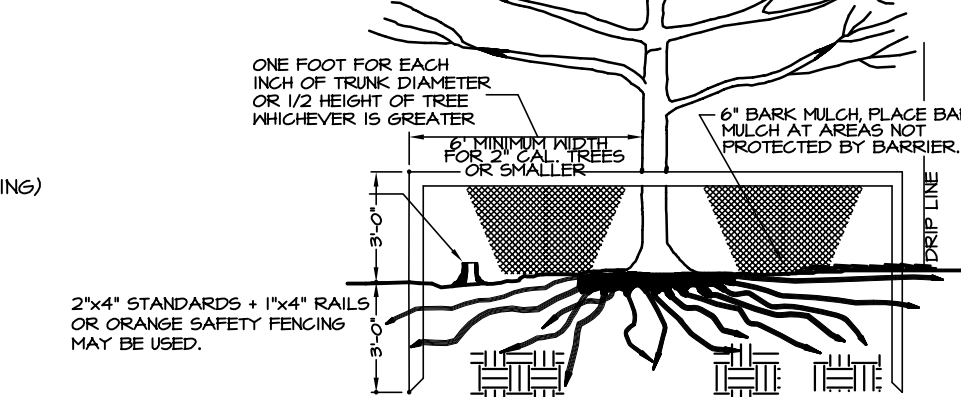
TREE REQUIREMENTS

FRONTAGE	L6	S1	STREET NAME
LF (2 SIDES)	TREES	TREES	
650	15	0*	BLAKENEY HEATH ROAD
650	15	0	TOTAL
SEE DEVELOPMENT DATA FOR BREAKDOWN			
ROAD FRONTAGE: 650 LF			
STREET TREES REQUIRED: 650 / 50 = 13 (LARGE MATURING) STREET TREES PROPOSED: 15 (LARGE), 0 (SMALL)			
* USE EXISTING TREES THAT QUALIFY, WHERE ALLOWED			
(L) LARGE MATURING TREES SHALL BE OVERCUP OAKS, 3\"/>			
NO HERITAGE TREES EXIST ON THIS PROPERTY			

SPECIMEN TREES

TREE DESCRIPTION	TREE CANOPY	TREE CANOPY	TREE CREDIT ALLOWED (SF)
TOTAL (SF)	WTHN 65' (SF)		
A 36\"/>	2821	3709	1053
B 42\"/>	4930	2481	126
C 36\"/>	2123	1618	404
D 30\"/>	2265	1441	721
E 30\"/>	3211	2881	1446
F 24\"/>	2463	2330	165
G 24\"/>	1824	1140	510
TOTAL	19028	15556	7520 (51.0/6)

PLAN VIEW OF ROOT ZONE



TREE PROTECTION NOTES

- NOTE: NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL, PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE.
- TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLINING/GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY.
- TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDINANCE STANDARDS IN CITY OF CHARLOTTE TREE ORDINANCE GUIDELINES APPENDIX.
- BEFORE GRADING/CONSTRUCTION BEGINS, CALL 704-336-4624 FOR INSPECTION OF TREE PROTECTION BARRICADES BY URBAN FORESTRY.
- VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.

TREE PROTECTION DETAIL



ENGINEERING  
PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL  
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

URBAN FORESTRY  
TREE ORDINANCE

CDOT

APPROVED

By Brendan Smith (bmsmith@charlottenc.gov) at 2:56 pm, Oct 20, 2014

APPROVED

By Brendan Smith (bmsmith@charlottenc.gov) at 2:56 pm, Oct 20, 2014

APPROVED

By Gary Turner (704-336-4330) at 4:18 pm, Oct 15, 2014

APPROVED

By Keith Bryant at 12:00 pm, Oct 17, 2014

DEVELOPMENT DATA

TAX PARCEL NO.: 224-083-34  
ZONING CLASSIFICATION: R-3 (DEVELOPED AS CLUSTER\*)  
ZONING JURISDICTION: CITY OF CHARLOTTE  
SITE ACREAGE: 3.70 AC  
NO. OF UNITS ALLOWED BY ZONING: 3.70 x 3 = 11.3  
AREA IN EASEMENT: 0.27 AC  
NET TOTAL SITE AREA: 3.71 AC  
TREE SAVE REQUIRED: 108 x 3.71 AC = 0.37AC  
TREE SAVE PROVIDED: 0.30 AC + 0.18 AC = 0.48 AC\*  
NO. OF UNITS PROPOSED: 7  
THE MAXIMUM BUA IS 4,000 SF PER LOT

R-3 CLUSTER LOT DATA:  
MIN. LOT SIZE = 8,000 SF  
LOT WIDTH = 60'  
MIN. SETBACK = 32' BOC\*  
MIN. SIDE YARD = 6' EXTERNAL, 5' INTERNAL\*  
MIN. REAR YARD = 45' EXTERNAL, 30' INTERNAL\*  
\* TREESAVE INCENTIVE W/ SPECIMEN TREES  
0.30 AC IN WOODED AREA, 0.18 AC IN SPEC. TREES  
SEE SPECIMEN TREE TABLE (THIS SHEET)

NOTE: PCO IMPERVIOUS AREA WILL GOVERN BLDG COVERAGE.	
SINGLE FAMILY LOT SIZE (SF)	MAX. BLDG COVERAGE
UP TO 4,000	50%
4,001 - 6,500	45%
6,501 - 15,000	40%
15,001 OR GREATER	30%

Preliminary Subdivision Site/Landscape Plan

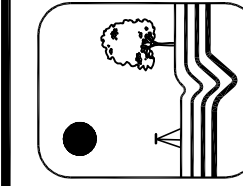
Blakeney Retreat

City of Charlotte, Mecklenburg County, North Carolina  
Classica Homes, 1101 Wood Ridge Center Dr, Suite #155, Charlotte, NC 28217

Sheet No.

1

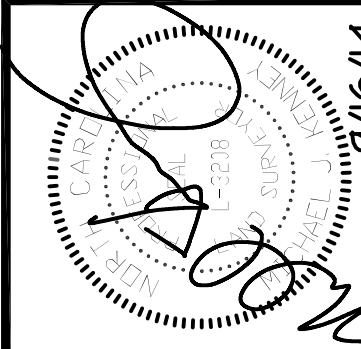
9 of



KENNEY DESIGN  
GROUP, PA

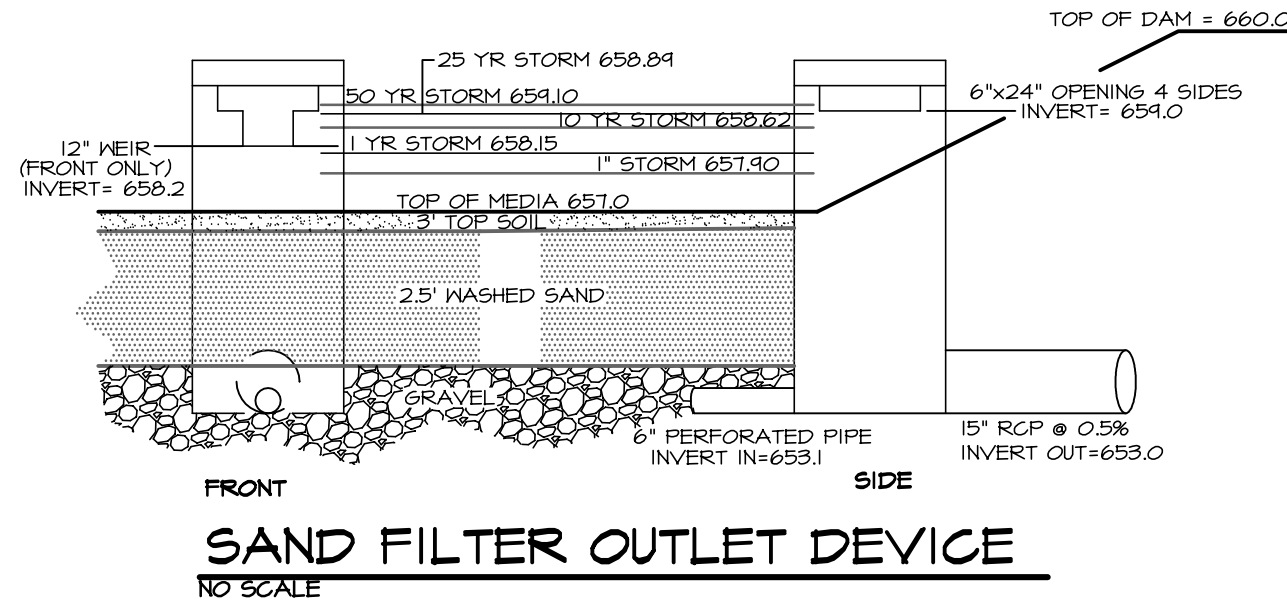
1316 GREENWOOD CLIFF  
CHARLOTTE, NORTH CAROLINA 28204  
PH: 704/377-6099 FAX: 704/377-6097  
EMAIL: KENNEY@KENNEYDESIGN.COM

Revisions:  
1. 01/15/13 REVISED PER CDOT, CEB & CDOT REVIEW COMMENTS.  
2. 01/15/13 REVISED PER CDOT & CEB & CDOT REVIEW COMMENTS.  
3. 01/15/13 REVISED PER CDOT & CEB & CDOT REVIEW COMMENTS.  
4. 01/15/13 REVISED PER CDOT & CEB & CDOT REVIEW COMMENTS.

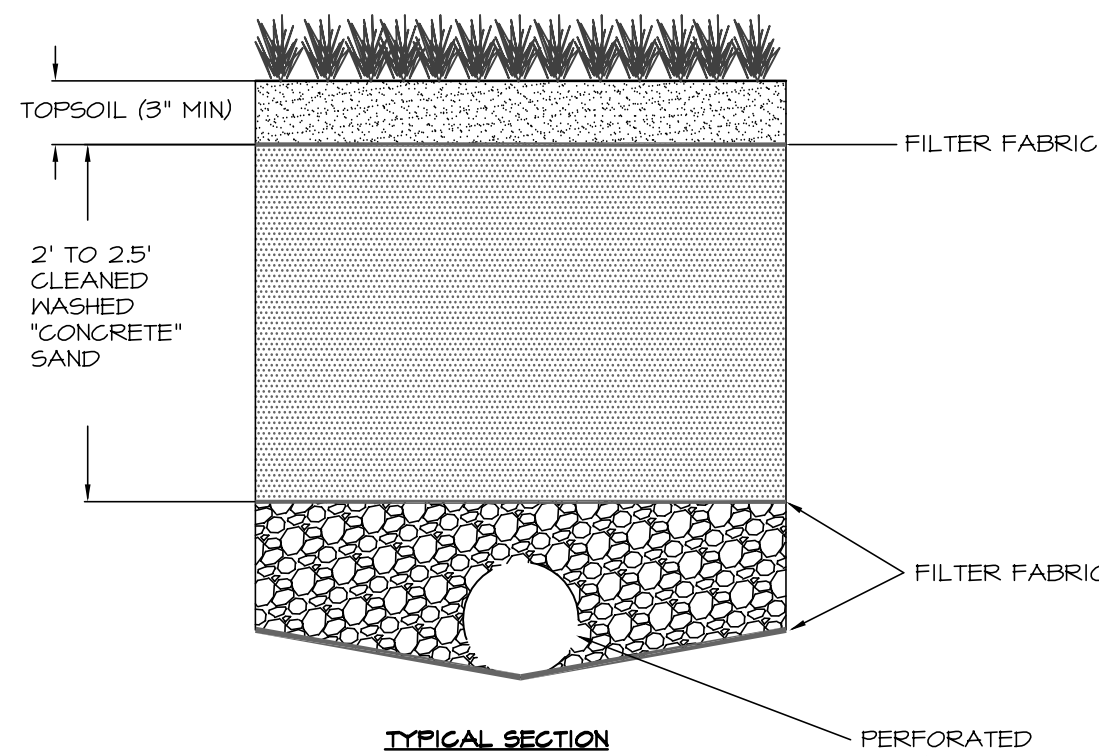


Scale:	1"=40'
Date:	6/28/13
Drawn By:	MJK
Designed By:	MJK
Job No.:	0712



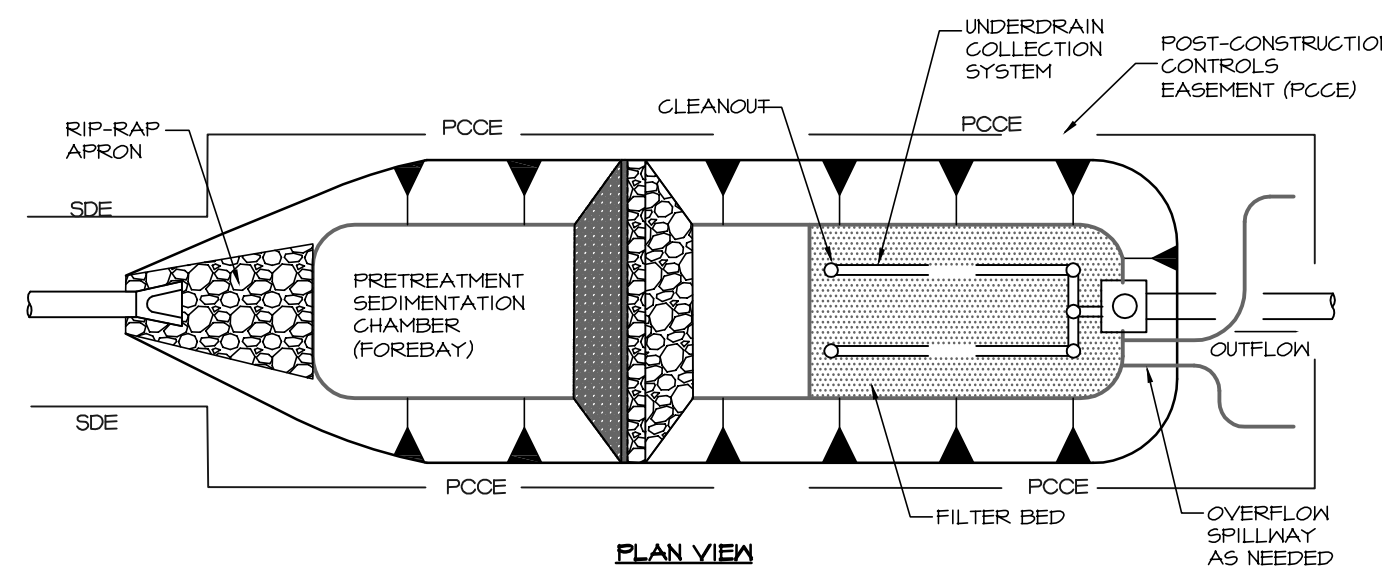


COMMON DRIVE

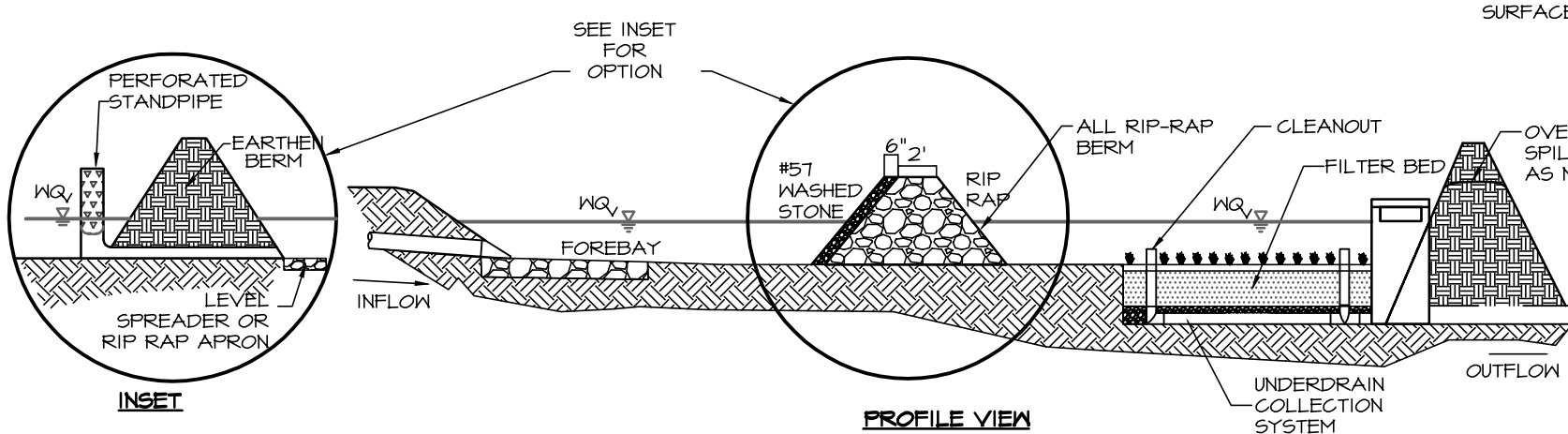


- NOTES:**
1. "CONCRETE" SAND REFERS TO SAND THAT IS COMMONLY USED IN CONCRETE MIXES.
  2. ALL DRAINAGE AREAS TO A SAND FILTER FACILITY ARE TO BE STABILIZED PRIOR TO INSTALLATION OF SAND.
  3. UNDERDRAIN PIPES SHOULD BE MIN. 6" PERFORATED SCHEDULE 40 PVC (PER AASHTO M218) OR DOUBLE WALL HDPE (PER AASHTO M252). PERFORATIONS SHOULD BE 3/4" SPACED 3' ON CENTER ALONG 4 LONGITUDINAL ROWS SPACED 40' APART.

**SURFACE SAND FILTER SECTION**  
NO SCALE CLDS 21.25

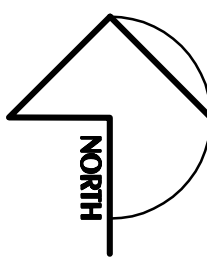


- NOTES:**
1. ALL SAND FILTERS SHALL HAVE A MINIMUM 20 FOOT ACCESS EASEMENT CONNECTING TO A DEDICATED PUBLIC RIGHT OF WAY. ACCESS ROAD SHALL HAVE MIN. 12' STABILIZED WIDTH, MAX. LONG. GRADE OF 15% MAX. GROSS-SLOPE 5%. IN ADDITION, A 10-FOOT WIDE PERMANENT MAINTENANCE ACCESS EASEMENT MUST BE PROVIDED AROUND THE PERIMETER OF ALL BMPs TO ALLOW FOR ADEQUATE MAINTENANCE AND REPAIR.
  2. ALL DRAINAGE AREAS TO A SAND FILTER FACILITY ARE TO BE STABILIZED PRIOR TO INSTALLATION OF SAND.
  3. CLEAN OUTS IN THE UNDERDRAIN SYSTEM ARE TO BE PROVIDED EVERY 50' MINIMUM. CLEAN OUTS SHALL HAVE WATER TIGHT, VANDAL PROOF CAPS AND EXTEND 6" ABOVE THE SURFACE.

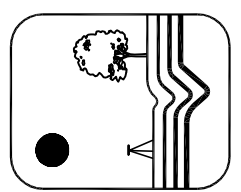


**SURFACE SAND FILTER**  
NO SCALE CLDS 21.24

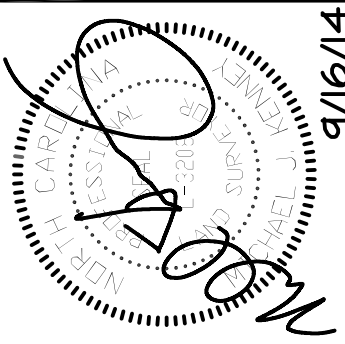
NOTE: THE DRAINAGE AREA MUST BE STABILIZED BEFORE FILTERATION CONTROLS AND FILTER MEDIA ARE INSTALLED



**KENNEY DESIGN GROUP, PA**  
C-1986  
1316 GREENWOOD CLIFF  
CHARLOTTE, NORTH CAROLINA 28204  
PH: 704/377-6099 FAX: 704/377-6097  
EMAIL: KENNEY@KENNEYDESIGN.COM



Revisions:  
1. 10/15/13 REVISED PER CHANGLED & CDDT REVIEW COMMENTS.  
2. 4/16/14 REVISED SAND FILTER OUTLET DEVICE



Scale:	1"=10'
Date:	6/28/13
Drawn By:	MIK
Designed By:	MIK
Job No.:	0712

**BMP PLAN AND DETAILS**  
**Blakeney Retreat**  
City of Charlotte, Mecklenburg County, North Carolina  
Classica Homes, 1101 Wood Ridge Center Dr, Suite #1157, Charlotte, NC 28217