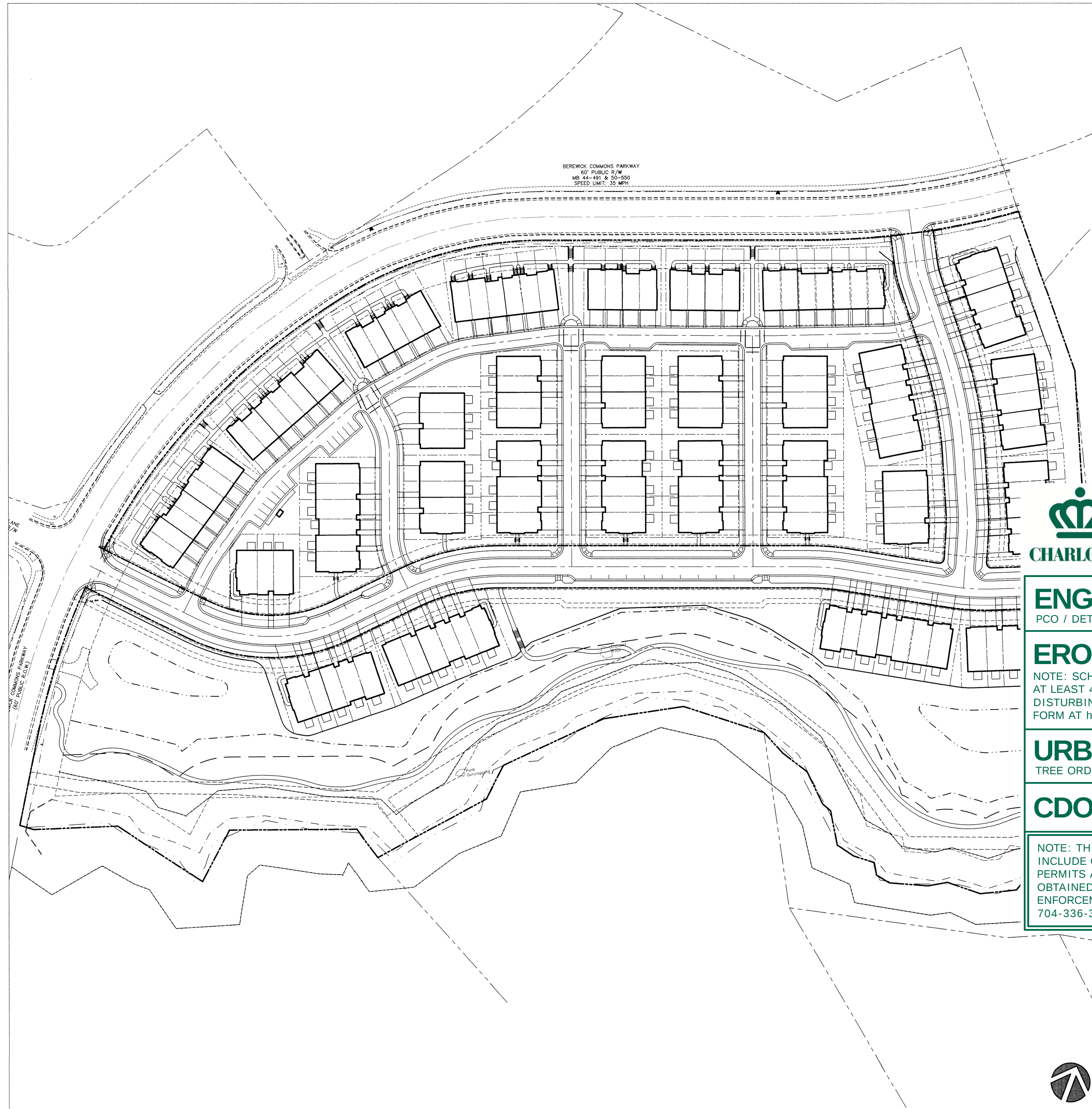
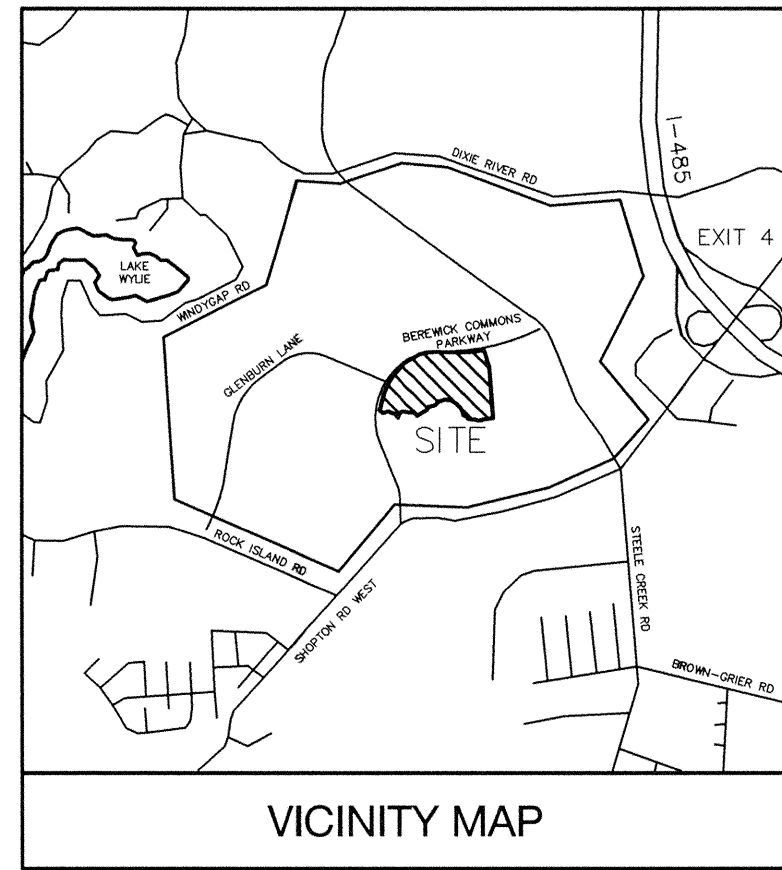


CONTACT INFORMATION

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CONTACT: BOB KARDOS
ADDRESS: 12401 WHITEHALL PARK DR., SUITE 700
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PHONE: 704.926.3212

ARCHITECT:
Q4 ARCHITECTS INC.
CONTACT: SYLVAIN LAFOND
ADDRESS: 2171 AVENUE RD., SUITE 302
TORONTO, ON. M5M4B4
PHONE: 416.322.6394 FAX: 416.322.7294

CIVIL ENGINEER & LANDSCAPE ARCHITECT:
URBAN DESIGN PARTNERS
CONTACT: PAUL PENNELL, RLA
ADDRESS: 1319-ES CENTRAL AVENUE
CHARLOTTE, NC 28205
PHONE: 704.334.3303 FAX: 704.334.3305



SHEET INDEX		CLD SUBMITTAL 1	CLD SUBMITTAL 2	CLD SUBMITTAL 3
C-1.0	COVER SHEET	02/11/14	04/30/14	08/18/14
C-1.1	BEREWICK REZONING NOTES	02/11/14	04/30/14	08/18/14
C-1.2	BEREWICK REZONING NOTES		04/30/14	08/18/14
C-2.0	EXISTING CONDITIONS	02/11/14	04/30/14	08/18/14
C-3.0	SITE PLAN	02/11/14	04/30/14	08/18/14
C-3.1	OPEN SPACE PLAN	02/11/14	04/30/14	08/18/14
C-4.0	GRADING PLAN	02/11/14	04/30/14	08/18/14
C-4.1	ROAD PROFILES	02/11/14	04/30/14	08/18/14
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C-4.3	ROAD PROFILES	02/11/14	04/30/14	08/18/14
C-4.4	STORM WATER MANAGEMENT PLAN	02/11/14	04/30/14	08/18/14
C-4.5	STORM DRAINAGE PLAN	02/11/14	04/30/14	08/18/14
C-4.6	STORM DRAINAGE PLAN	02/11/14	04/30/14	08/18/14
C-4.7	BMP PLAN & DETAILS - WET POND 1	02/11/14	04/30/14	08/18/14
C-4.8	BMP PLAN & DETAILS - WET POND 2	02/11/14	04/30/14	08/18/14
C-4.9	DRAINAGE AREA PLAN	02/11/14	04/30/14	08/18/14
C-4.10	WALL CROSS SECTIONS		04/30/14	08/18/14
C-5.0	UTILITY PLAN	02/11/14	04/30/14	08/18/14
C-5.1	SANITARY SEWER PROFILES	02/11/14	04/30/14	08/18/14
C-5.2	SANITARY SEWER PROFILES	02/11/14	04/30/14	08/18/14
		02/11/14	04/30/14	08/18/14
		02/11/14	04/30/14	08/18/14
		02/11/14	04/30/14	08/18/14
		02/11/14	04/30/14	08/18/14
		02/11/14	04/30/14	08/18/14
	PLAN - PHASE 1	02/11/14	04/30/14	08/18/14
	PLAN - PHASE 2	02/11/14	04/30/14	08/18/14
	TAILS	02/11/14	04/30/14	08/18/14
	TAILS	02/11/14	04/30/14	08/18/14
	DISTANCE - GLENBURN	02/11/14	04/30/14	08/18/14
	DISTANCE - STONEWELLS	02/11/14	04/30/14	08/18/14
	PLAN	02/11/14	04/30/14	08/18/14
	PLAN	02/11/14	04/30/14	08/18/14
		02/11/14	04/30/14	08/18/14
	NOTATIONS		04/30/14	04/30/14
	AND OPEN SPACE MAP			08/13/14
	AREA TRACKING MAP			08/13/14
	3 WALL PLANS (RW 1-12)			06/18/14
		SUBMITTAL 1	SUBMITTAL 2	SUBMITTAL 3
		02/21/14	03/19/14	05/06/14
	GENERAL NOTES	02/21/14	03/19/14	05/06/14
3.0	PLAN & PROFILE - GLENBURN LANE	02/21/14	03/19/14	05/06/14
4.0	PLAN & PROFILE - STONEWELLS DRIVE	02/21/14	03/19/14	05/06/14
5.0	PLAN & PROFILE - GLENBURN LANE	02/21/14	03/19/14	05/06/14
6.0	WATER DISTRIBUTION	02/21/14	03/19/14	05/06/14
				SUBMITTAL 4
				05/28/14
				05/28/14
				05/28/14
				05/28/14

PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By Brent Wilkinson 8/28/14

APPROVED
By Emily Chien at 3:35 pm, Aug 28, 2014

APPROVED

APPROVED
By Kelly Robertson 704-336-4354 at 7:16 pm, Aug 27, 2014

approved with notes on L.S 1.1

APPROVED



URBAN
DESIGN
PARTNERS

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charlotte, nc 28205 • 704.334.3305
urban@designpartners.com

NCLA FIRM C-341 / NCBELS FIRM P-0418





2127 Ayrseyre Town Blvd., Suite 201
Charlotte, NC 28273

Stonehaven Townhomes

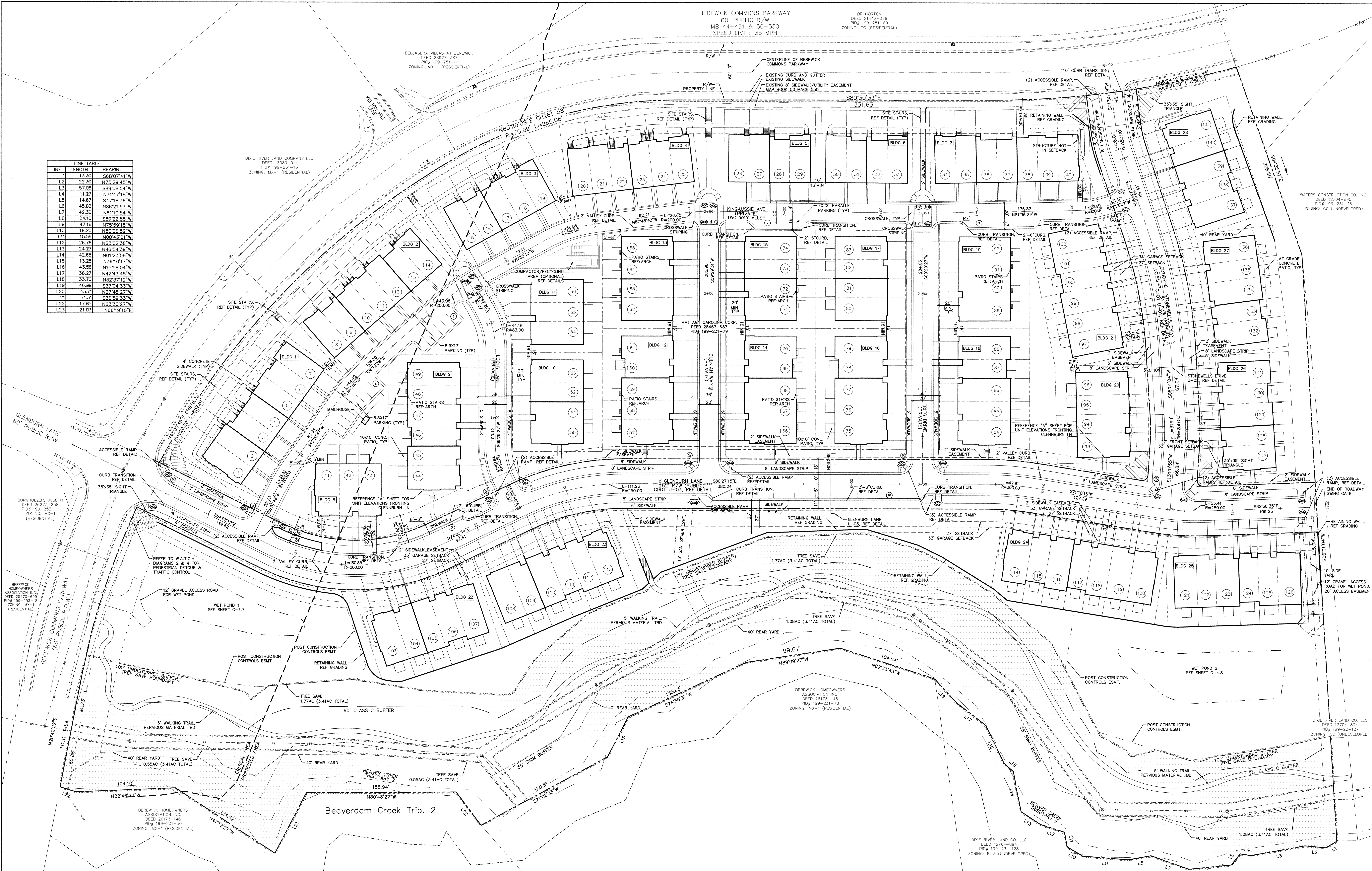
At Berewick

Cover Sheet

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Project No: 13-011
Date: Feb 11, 2014
Designed by: udp
Drawn By: udp
Scale:
Sheet No:

C-1.0



GENERAL NOTES:

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL (CLDSM).
2. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES UNLESS OTHERWISE SPECIFIED IN THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
3. ALL CURBS SHALL HAVE A 4.5" RADIUS AT THE BACK OF CURB UNLESS OTHERWISE NOTED.
4. DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM #50.05A OR #50.05B. SIGNS SHOULD BE LOCATED PER CLDSM#50.06.
5. LAND DEVELOPMENT ENGINEER SHALL BE GIVEN 48 HOURS NOTICE PRIOR TO CONSTRUCTION.
6. RIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. FURTHER REQUIREMENTS MAY BE MADE BY THE CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDOT).
7. NON-STANDARD ITEMS (I.E.: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
8. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3600 P.S.I. AT 28 DAYS AND SHALL COMPLY WITH SECTION 1000 OF THE NCDOT STANDARD SPECIFICATIONS.
9. ALL CONCRETE SHALL BE CURED WITH 100% RESIN BASE, WHITE PIGMENTED CURING COMPOUND WHICH MEETS A.S.T.M. SPECIFICATIONS C-309, TYPE 1, APPLIED AT ONE GALLON TO 400 SF WITHIN 24 HOURS OF PLACEMENT OF CONCRETE.
10. ALL CURB AND GUTTER SHALL BE BACKFILLED WITH SOIL APPROVED BY THE INSPECTOR 48 HOURS AFTER CONSTRUCTION TO PREVENT EROSION.
11. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
12. ALL TRENCHES IN THE STREET RIGHT OF WAY SHALL BE BACKFILLED WITH SUITABLE MATERIAL, IMMEDIATELY AFTER THE PIPE IS LAID.
13. ALL SUBGRADE FOR ROADS SHALL BE COMPACTED TO 100% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST.
14. ALL TESTS SHALL BE PERFORMED BY THE DEVELOPER AT NO COST TO THE CITY.
15. CONTRACTOR SHALL MAINTAIN TWO WAY TRAFFIC AT ALL TIMES WHEN WORKING WITHIN EXISTING STREETS. REFER TO DIAGRAMS 2 & 4 IN THE WORK AREA TRAFFIC CONTROL HANDBOOK (W.A.T.C.H.) FOR PEDESTRIAN DETOUR AND TRAFFIC CONTROL. DIAGRAMS ARE PROVIDED ON SHEET C-3.3 FOR REFERENCE.
16. SIDEWALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3600 PSI CONCRETE AND SHALL BE FOUR (4) INCHES THICK, CONSTRUCTED ON AN ADEQUATELY GRADED BASE, EXCEPT WHERE A SIDEWALK CROSSES A DRIVEWAY IT SHALL BE SIX (6) INCHES THICK.
17. SUBGRADE FOR SIDEWALKS SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE SURFACE OF THE SIDEWALK SHALL BE STEEL TROWEL AND LIGHT BROOM FINISHED AND CURED WITH AN ACCEPTABLE CURING COMPOUND. TOOLED JOINTS SHALL BE PROVIDED AT AN INTERVAL NOT LESS THAN FIVE (5) FEET AND EXPANSION JOINTS AT INTERVALS NOT MORE THAN 45 FEET. THE SIDEWALK SHALL HAVE A LATERAL SLOPE OF 1/4" PER FOOT.
18. THE ELEVATION OF THE SIDEWALK SHALL BE RELATED TO THE ELEVATION OF THE CROWN OF THE ADJACENT ROADWAY. THE SIDEWALK SHALL BE NO LESS THAN SIX (6) INCHES ABOVE THE ROADWAY CROWN, EXCEPT THAT THE CROSSWALK ELEVATIONS SHALL BE PROPERLY RELATED TO THE EXISTING OR PROPOSED CURB ELEVATIONS.
19. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.
20. NO BUILDINGS, PARKING SPACES OR MANEUVERING AREAS MAY BE LOCATED WITHIN ANY BUFFER AREAS.
21. THE DEVELOPER SHALL MAKE A DILIGENT EFFORT TO PRESERVE AREAS OF REQUIRED BUFFERS WHERE SIGNIFICANT VEGETATION EXISTS. THESE AREAS SHALL REMAIN UNDISTURBED EXCEPT TO THE EXTENT NECESSARY TO ACCOMMODATE THE ABOVE ITEMS OF THIS SECTION.
22. UNDER DRAINAGE SHALL BE PROVIDED AS DIRECTED BY GEO-TECHNICAL ENGINEER. DETERMINATION SHALL BE MADE IN THE FIELD. DRAINS TO BE INSTALLED PER CLDSM STD #30.05.
23. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
24. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBMISSION FINAL INSPECTION TO THE CITY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY SUBDIVISION ORDINANCE.
25. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
26. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
27. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
28. ALL DEVELOPMENT CREATING A TOTAL 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
29. TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY OF CHARLOTTE LANDSCAPE MANAGEMENT AT 704-336-4262. ALL TREES OVER 8-INCHES IN DIAMETER (4.5-FT ABOVE GROUND) IN SETBACK AREAS ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY ENGINEERING AT 704-336-6692.
30. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
31. ALL UTILITIES TO BE UNDERGROUND.
32. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW FOR 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025) OR VISIT [HTTP://WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREETS+MAINTENANCE/HOME.HTM](http://www.charmeck.org/departments/transportation/streets+maintenance/home.htm)

DEVELOPMENT SUMMARY

TAX PARCEL ID #:	199-231-79
TOTAL SITE AREA:	18.71 AC
EXISTING ZONING:	CC-SPA LLW CA & PA (PER PET. #2006-078)
WATERSHED CALCULATIONS: (HIGH DENSITY OPTION)	CRITICAL AREA: 48,312 SF (1.11 AC) IMPERVIOUS PROTECTED AREA: 325,851 SF (7.48 AC) IMPERVIOUS
SETBACKS:	
BEREWICK COMMONS PARKWAY	FRONT: 35' FROM EXTERNAL R.O.W. SIDE: 10' REAR: 10'
GLENBURN LANE & STONEWELLS DRIVE	FRONT: 27' (REDUCED FROM 42' PER (9.303/19) FROM BOC SIDE: 10' REAR: 10'
PROPOSED USE:	SINGLE FAMILY ATTACHED FOR SALE (141 UNITS) 7.54 DUA
MAX. BUILDING HEIGHT:	40'-6"
GARAGE SETBACK:	33' (MIN OF 20' FROM BACK OF SIDEWALK TO GARAGE SHALL BE PROVIDED)
VEHICULAR PARKING:	REQUIRED: 212 (1.5/UNIT) PROPOSED: 1 GARAGE 1 TANDEM UNIT (27) - 54 SPACES 2 GARAGE 2 TANDEM UNIT (114) - 456 SPACES ON TOTAL PARKING SPACES - 510 SPACES TOTAL PROPOSED PARKING SPACES - 542 SPACES
BICYCLE PARKING:	REQUIRED: NONE LONG-TERM: NONE SHORT-TERM: NONE
BUILDING SEPARATION:	16' MIN
OPEN SPACE:	40% MIN (334,392SF/7.67AC = 41% PROVIDED) 408SF PER LOT MIN (REFER TO SHEET C-3.1)
SOLID WASTE:	ALL SOLID WASTE TO BE PROVIDED BY PRIVATE SERVICE. ALL UNITS SHALL BE SERVED BY ROLL-OUT WASTER AND RECYCLING CONTAINERS.
OPTIONAL SOLID WASTE AREA:	WASTE: 12.5 CU/YD COMPACTOR REQUIRED (14CU/YD PROVIDED) RECYCLING: (141 UNITS) 2 X 144-288SF 288SF PROVIDED (10 BINS PROVIDED)
TREE SAVE:	15% (2,80AC REQUIRED) 3.41AC PROVIDED
TREE SAVE:	1017 TOTAL DRIVE LF / 2 = 508 S.F. (14) 8.5X17 (5) 7X22 SPACES PROVIDED KINGAUSSE AVE PARKED AT 229LF

REFER TO CITY OF CHARLOTTE REZONING PETITION # 2006-78 FOR MORE INFORMATION

PROJECT START: SUMMER 2014
PROJECT COMPLETION: SUMMER 2016

BEFORE YOU DIG! CALL 1-800-832-4949 N.C. ONE-CALL CENTER IT'S THE LAW!

NO. DATE: BY: REVISIONS:
1 04.09.14 UDP PER CITY COMMENTS
2 07.09.14 UDP PER CITY COMMENTS
3 08.18.14 UDP PER CITY COMMENTS

Project No: 19-011
Date: Feb 11, 2014
Designed by: udp
Drawn by: udp
Scale:
Sheet No:

GRAPHIC SCALE
1 INCH = 40 FEET

URBAN DESIGN PARTNERS
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urbanpartners.com

NCLA FIRM C-341 / NCBELS FIRM P-0418

JOSEPH B. HORTON
No. 49878
STATE OF NORTH CAROLINA
Professional Engineer
8/8/14

mattamyHOMES

2127 Aysley Town Blvd., Suite 201
Charlotte, NC 28273

Stonehaven Townhomes At Berewick

Site Plan

City of Charlotte, North Carolina

C-3.0