

AUSTIN'S CREEK PHASE 2 PALISADES COMMONS DRIVE

CITY OF CHARLOTTE, NORTH CAROLINA

APPROVED FOR
CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
BY: Joshua Weaver 12-1-2014



<http://development.charmeck.org>

ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM AT <http://development.charmeck.org>

URBAN FORESTRY
TREE ORDINANCE

CDOT

NOTE: THIS PLAN APPROVAL DOES NOT
INCLUDE COMMERCIAL ZONING. ALL BUILDING
PERMITS AND ZONING APPROVALS CAN BE
OBTAINED AT MECKLENBURG COUNTY CODE
ENFORCEMENT. PLEASE CALL CTAC AT
704-336-3829 FOR MORE INFORMATION.

APPROVED
By Emily Chien at 12:38 pm, Dec 01, 2014

APPROVED Kelly Robertson

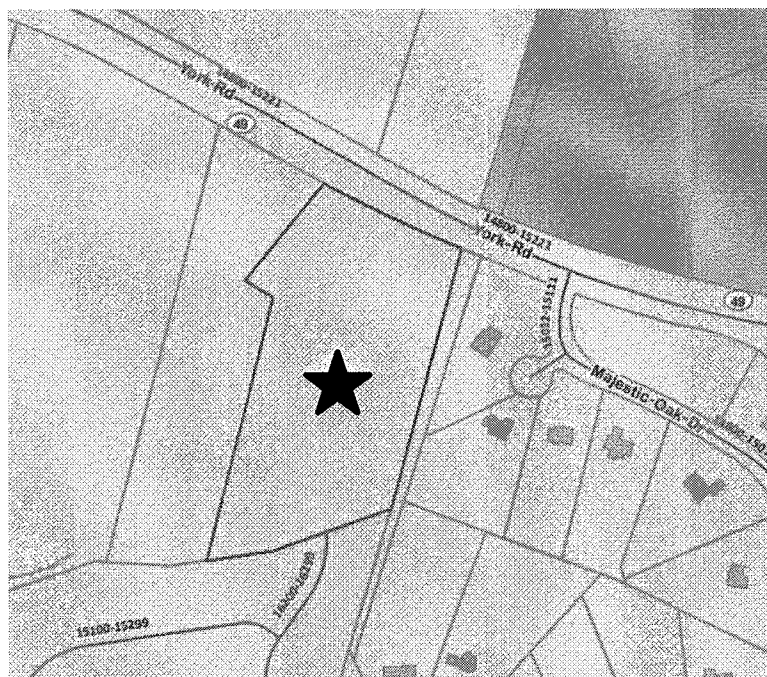
APPROVED Keith Bryant

PREPARED FOR :
STANDARD PACIFIC HOMES CAROLINAS DIVISION
11525 Carmel Commons Boulevard, Suite 301
Charlotte, North Carolina 28226
Phone: (704) 759-6000

November 5, 2014

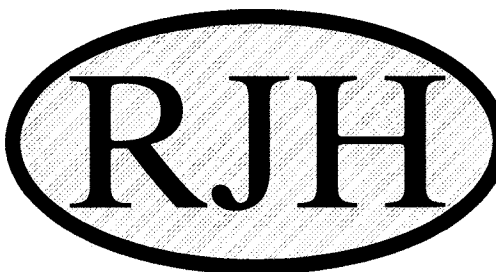
PLAN SHEET INDEX:

COVER	COVER SHEET
SP-1	OVERALL SITE PLAN
SP-2	SITE PLAN
SP-3	SIGHT DISTANCE PLAN
SP-4	SITE PLAN DETAILS
EC-1	EROSION CONTROL PLAN - PHASE 1
EC-2	EROSION CONTROL PLAN - PHASE 2
EC-3 - EC-4	EROSION CONTROL DETAILS
GP-1	GRADING AND STORM DRAINAGE PLAN
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GP-3	CREEK CROSS SECTIONS, YORK ROAD GRADING AND STORM DRAINAGE
DA-1	DRAINAGE AREA PLAN
SD-1	STORM DRAINAGE PROFILES
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CP-1	CULVERT PLAN AND PROFILE
TC-1	TRAFFIC CONTROL PLAN
LP-1	LANDSCAPING PLAN



VICINITY MAP - N.T.S.

PREPARED BY



R. Joe Harris & Associates, P.L.L.C.
Engineering • Land Surveying • Planning
Management
1698 W. Hwy 160, Suite 130, Fort Mill, SC 29708 (803) 802-1799 Fax: (803) 802-0886

DATE	ISSUED FOR	REV
05/15/2014	Revisions per comments from Charlotte and DOT	1
08/04/2014	Revisions per comments from Charlotte and DOT	2
09/18/2014	Revisions per comments from NCDOT and CDOT	3
11/05/2014	Revisions per comments from NCDOT and CDOT	4

Know what's below. Call before you dig.

Engineer:

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www.rjoe-harris.com

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Corporate Seal Engineer's Seal

Project Manager	Drawn
P. Murphy	J. Woodruff Jr.
Department Manager	Checked
B. Pridemore	P. Murphy
Print/Plot Date	
November 5, 2014	
Client	
Standard Pacific Homes Carolinas Division 11525 Carmel Commons Boulevard, Suite 301 Charlotte, North Carolina 28226 P: 704-759-6000	
Project:	
Austin's Creek Phase 2 Palisades Commons Drive	
Drawing Title:	
Cover	
Project No.	Drawing No.
1934_Construction	
DWG File Name:	
1934_Site Plan	Cover

GENERAL NOTES - SITE DEVELOPMENT:

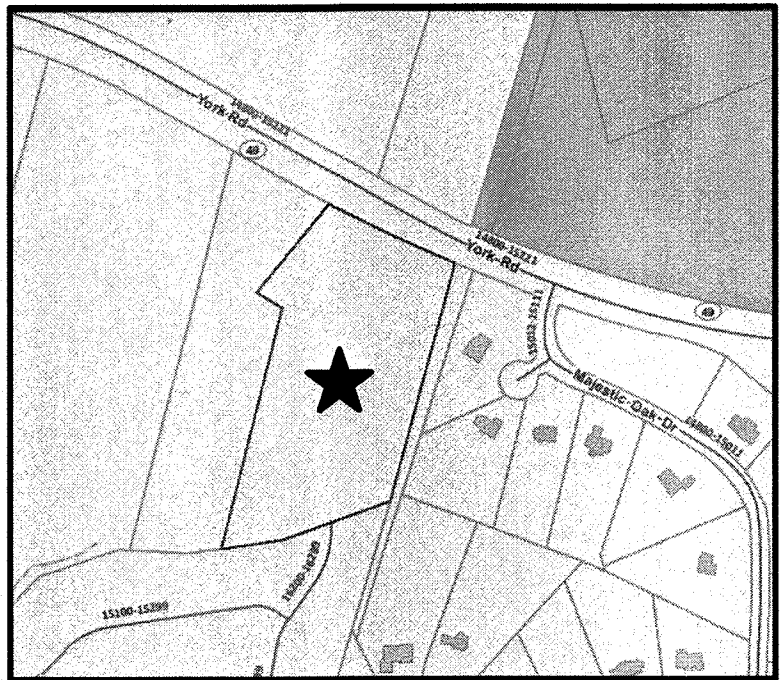
- 1) A PRELIMINARY PLAN APPROVED UNDER THE PROVISIONS OF THE SUBDIVISION ORDINANCE WILL BE VALID FOR A PERIOD OF THREE YEARS. FOR SUCH APPROVAL TO REMAIN VALID BEYOND THREE, WORK ON THE SITE IN FURTHERANCE OF THE PLAN IS REQUIRED AS EXPLAINED MORE FULLY IN SECTION 6530 OF THE CHARLOTTE SUBDIVISION ORDINANCE.
- 2) NO ON-SITE DEMOLITIONS OR STUMP BURIAL WILL BE ALLOWED. ALL MATERIALS WILL BE DISPOSED OF IN AN APPROVED OFF-SITE LANDFILL.
- 3) THE DEVELOPMENT WILL ADHERE TO ALL DIMENSION REQUIREMENTS SET FORTH, FOR THEIR RESPECTIVE DISTRICTS IN THE CITY OF CHARLOTTE ORDINANCE.
- 4) ALL PUBLIC STREETS WITHIN THE DEVELOPMENT WILL BE CONSTRUCTED TO THE CITY OF CHARLOTTE ETJ STANDARDS.
- 5) CURB - MIN. 25' RADIUS, R/W MIN. 25' RADIUS FOR LOCAL ROADS
CURB - MIN. 30' RADIUS, R/W MIN. 30' FOR COLLECTOR ROADS
UNLESS OTHERWISE NOTED.
- 6) ALL ROAD IMPROVEMENTS AT YORK AND PALISADES COMMONS DR. ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- 7) THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- 8) ALL CONSTRUCTION SHALL CONFORM TO CITY OF CHARLOTTE STANDARDS.
- 9) THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK OR BACKWASH CHANNEL IN AN UN OBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK, AND OTHER ACCUMULATIONS.
- 10) SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- 11) APPROVAL OF THIS PLAN IS NOT AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- 12) CURB AND GUTTER SHOWN ON PLANS ALONG YORK AND PALISADES COMMONS DR. MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- 13) COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- 14) DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM *50.05 (9' SIGNS ONLY).
- 15) SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- 16) IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- 17) IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- 18) HIGH-DENSITY POLETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. THE BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO THE PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- 19) ANY BUILDING WITHIN THE 100+1 STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/ MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8.
- 20) "AS-BUILT'S" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- 21) NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/ NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- 22) PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- 23) CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-338-4028) OR VISIT HTTP://WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREET-MAINTENANCE/HOME.HTM
- 24) THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-338-7088) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE TO ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.

EXISTING SITE TOPOGRAPHY REFLECTS COMBINATION OF FIELD RUN TOPOGRAPHY AND MECKLENBURG COUNTY AERIAL TOPOGRAPHY (OFF-SITE).

THIS SITE IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE AS DEFINED ON COMMUNITY PANEL 3710349900J OF THE FLOOD INSURANCE RATE MAPS FOR THE UNINCORPORATED AREAS OF MECKLENBURG COUNTY DATED MARCH 2, 2009.

BOUNDARY INFORMATION AS PROVIDED BY INSITE ENGINEERING & SURVEYING, VIA ELECTRONIC CAD FILES USED IN THEIR DESIGN OF THE SUBDIVISION. R. JOE HARRIS & ASSOCIATES, PLLC HAS NOT PERFORMED ANY SPECIFIC BOUNDARY WORK OR OTHER SURVEYS.

HORIZONTAL DATUM TIED TO NAD 83 AND VERTICAL DATUM BASED ON NAVD 88. CONTACT R. JOE HARRIS & ASSOCIATES, PLLC FOR BENCHMARKS AND CONTROL INFORMATION.



VICINITY MAP - N.T.S.

CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C4	382.89	4241.13	382.78	S 65°03'27" E

Development Information:

Project Name: AUSTIN'S CREEK PHASE 2
PALISADES COMMON DRIVE
City of Charlotte, NC (ETJ)

Owner: The Charlotte-Mecklenburg Board of Education
701 E. Martin Luther King Boulevard
Charlotte, North Carolina 28202
Phone: 980-343-3000

Developer: Standard Pacific Homes Carolinas Division
11525 Carmel Commons Boulevard, Suite 301
Charlotte, North Carolina 28226
Phone: 704-759-6000

Tax I.D.: 21701334

Site Acreage: 8.55 Ac.±

Zoning: R-3

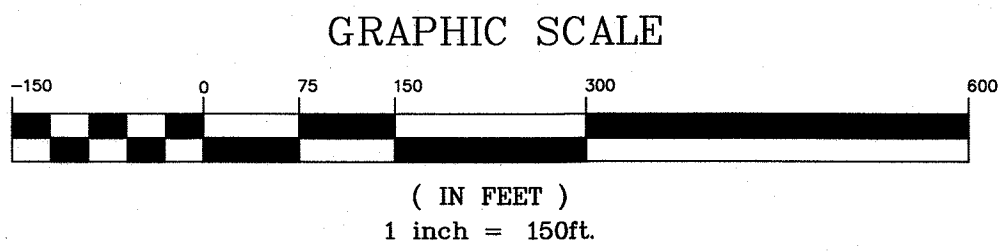
EXISTING DATA

Soil Types: CeB2 - Cecil sandy clay loam, 2 to 8 percent slopes, eroded
CeD2 - Cecil sandy clay loam, 8 to 15 percent slopes, eroded
PaF - Pacolet sandy loam, 25 to 45 percent slopes

Soil Hydrologic Groups: (% of site area)
Group A 0%
Group B 100%
Group C 0%
Group D 0%

FEMA Panel: 3710455900J

Watershed: Lake Wylie



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Engineer:

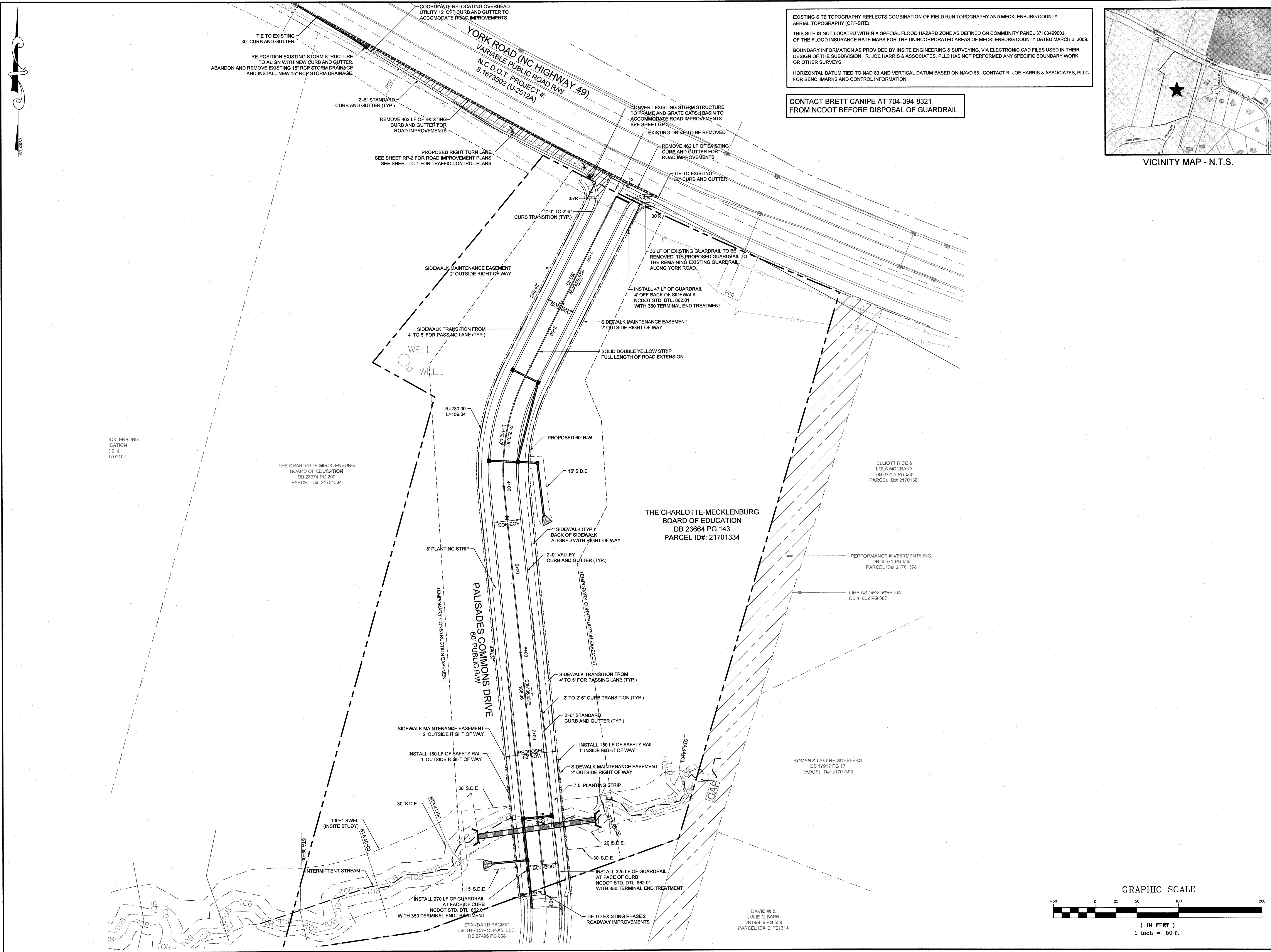
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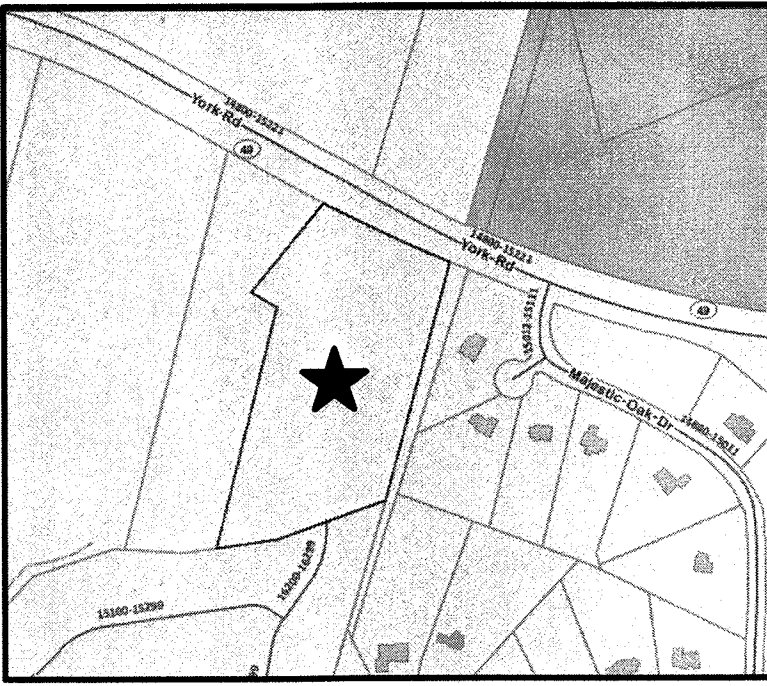
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Project Manager P. Murphy	Drawn J. Woodruff Jr.
Department Manager B. Pridemore	Checked P. Murphy
Print/Plot Date November 5, 2014	
Client Standard Pacific Homes Carolinas Division 11525 Carmel Commons Boulevard, Suite 301 Charlotte, North Carolina 28226 P: 704-759-6000	
Project: Austin's Creek Phase 2 Palisades Commons Drive	
Drawing Title: Overall Site Plan	
Project No. 1934_Construction DWG File Name: 1934_Site Plan	Drawing No. SP-1



EXISTING SITE TOPOGRAPHY REFLECTS COMBINATION OF FIELD RUN TOPOGRAPHY AND MECKLENBURG COUNTY AERIAL TOPOGRAPHY (OFF-SITE).
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CONTACT BRETT CANIPE AT 704-394-8321 FROM NCDOT BEFORE DISPOSAL OF GUARDRAIL



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Engineer:

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Corporate Seal

Engineer's Seal

Project Manager P. Murphy	Drawn J. Woodruff Jr.
Department Manager B. Pridemore	Checked P. Murphy
Print/Plot Date November 23, 2014	
Client Standard Pacific Homes Carolinas Division 11525 Carmel Commons Boulevard, Suite 301 Charlotte, North Carolina 28226 P: 704-759-6000	
Project: Austin's Creek Phase 2 Palisades Commons Drive	
Drawing Title: Site Plan	
Project No. 1934_Construction DWG File Name: 1934_Site Plan	Drawing No. SP-2