

NOTES:

- DIMENSIONS AND COORDINATE POINTS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
- ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
- ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL REGULATORY AUTHORITIES.
- THE CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
- DO NOT SCALE DRAWING FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- ALL SIGNS, PAYMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES(MUTCD), 2003 EDITION AS AMENDED.
- ALL PAVEMENT MARKINGS SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO TIE IN SMOOTHLY TO PROPOSED PAVEMENT AT DRIVEWAY ENTRANCES.

- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
- LAND DEVELOPMENT INSPECTOR TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) ENGINEERING DEPARTMENT HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR THEM.
- TRASH WILL BE DISPOSED OF IN PRIVATE RECEPTACLES ON SITE. THE OWNER WILL COLLECT THE TRASH FROM THE RECEPTACLES AND TAKE THEM TO A LEGALLY APPROVED LANDFILL.
- SITE INSPECTOR MAY REQUIRE ADDITIONAL VEGETATION TO SCREEN PARKING UPON SITE VISIT IF IT IS DETERMINED THAT EXISTING VEGETATION AND TOPOGRAPHY DO NOT ADEQUATELY SCREEN PARKING.
- ALL NON-STANDARD ITEMS IN THE PUBLIC RIGHT OF WAY WILL NEED AN ENCROACHMENT AGREEMENT W/ CDOT OR NCDOT BEFORE THEY CAN BE APPROVED OR INSTALLED. APPROVAL OF THIS PLAN SET DOES NOT APPROVE ANY NON-STANDARD ITEMS IN THE RIGHT-OF-WAY. PLEASE CONTACT LINDA POISSANT, 704 336-2562, AT CDOT FOR FURTHER INFORMATION.
- IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED OR BLOCK-OFF FOR ANY STAGING, CONSTRUCTION, OR DEMOLITION FOR A PERIOD OF GREATER THAN THIRTY (30) DAYS THEN A RIGHT-OF-WAY LEASE AGREEMENT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCKED-OFF. PLEASE CONTACT LINDA POISSANT, 704 336-2562, FOR FURTHER INFORMATION.
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT TO BE RELOCATED AT THE EXPENSE OF THE APPLICANT AND/OR UTILITY PROVIDER.
- ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
- TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY OF CHARLOTTE LANDSCAPE MANAGEMENT AT 704-336-4262. ALL TREES OVER 8" IN DIAMETER (4.5" ABOVE GROUND) IN SETBACK AREA ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY ENGINEERING AT 704-336-6692." NOTE: THIS NOTE WILL BE ALSO REQUIRED ON LANDSCAPE PLAN SUBMITTALS.
- SEE ARCHITECTURAL PLANS BY OTHERS FOR BUILDING SPECIFIC INFORMATION
- ALL RETAINING WALLS SHALL HAVE FENCE LOCATED ALONG THE TOP OF WALL. - SEE WALL DESIGN DRAWINGS BY OTHERS FOR DETAILED INFORMATION.
- ALL ONSITE UTILITIES SHALL BE LOCATED BELOW GROUND LEVEL.
- ALL ROAD IMPROVEMENTS ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

SITE PLAN NOTES CONTINUED ON SHEET C-2.2



Know what's below.
Call before you dig.

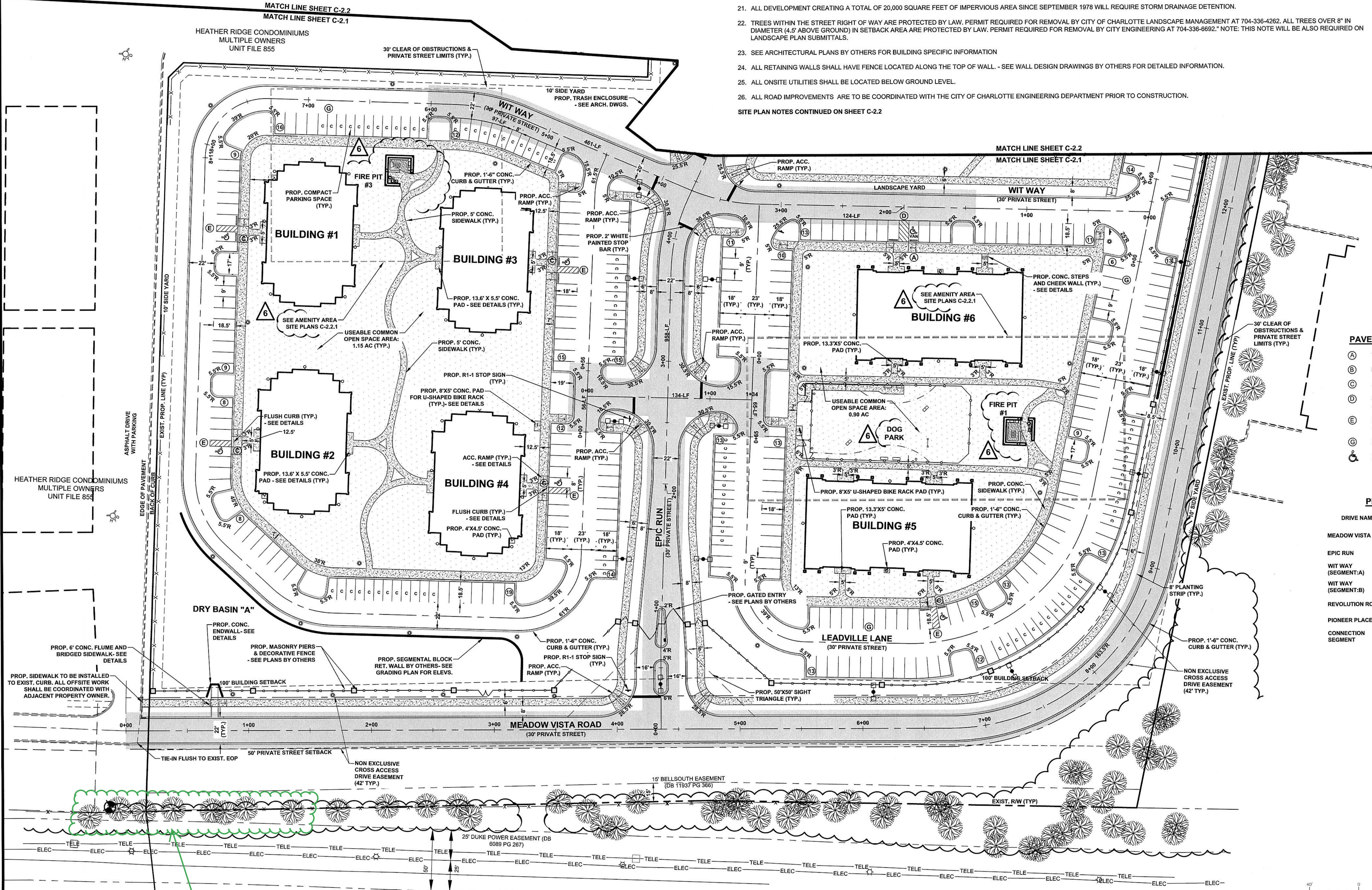
ESP Associates, P.A.
P.O. Box 7030
Charlotte, NC 28241
3475 Lakemont Blvd.
Fort Mill, SC 29708
704-883-4949 (NC)
803-562-2400 (SC)
www.esp-associates.com



BY	DATE	REVISION
TMM	08/02/2013	REV. PER CITY & CLIENT COMMENTS
TMM	09/13/2013	REV. PER CITY COMMENTS
MTK	05/22/2014	REV. PER CABANA AND AMENITY AREAS

SITE PLAN (1 OF 2)
ASPEN HEIGHTS CHARLOTTE
BRECKENRIDGE LAND ACQUISITION, LP
CHARLOTTE, NC

PROJECT INFORMATION	
PROJECT MANAGER:	DES
DESIGNED BY:	TMM
DRAWN BY:	TMM
PROJECT NUMBER:	AM33.400
ORIGINAL DATE:	06/03/2013
SHEET:	C-2.1



PROPOSED SITE LIGHTING LEGEND

- PROP. SINGLE LUMINAIRE FIXTURE
- PROP. DOUBLE LUMINAIRE FIXTURE
- PROP. BUILDING MOUNTED LIGHT FIXTURE

FIXTURES ARE SHOWN FOR REFERENCE ONLY. REFER TO LIGHTING PLANS BY OTHERS, SHEETS E2.06, E2.08, E2.09, & E2.0E FOR MORE INFORMATION.

PAVEMENT MARKING SCHEDULE

- (A) VAN ACCESSIBLE HANDICAPPED PARKING SIGN
- (B) NO PARKING SIGN
- (C) ADA HANDICAPPED PARKING SIGN
- (D) 8' WIDE HANDICAP PARKING LINES, 4" SOLID WHITE LINES AT 45 ANGLE WITH 24" O.C. SEPARATION
- (E) 5' WIDE HANDICAP PARKING LINES, 4" SOLID WHITE LINES AT 45 ANGLE WITH 24" O.C. SEPARATION
- (G) PARKING SPACE LINES, 4" SOLID WHITE
- (H) BLUE ADA PARKING SYMBOL

PRIVATE DRIVE SUMMARY TABLE

DRIVE NAME	LF. OF DRIVE	LF. OF PARKING	% OF PARKING
MEADOW VISTA ROAD	2,028 LF	0 LF	0%
EPIC RUN	1,103 LF	265 LF	24%
WIT WAY (SEGMENT-A)	461 LF	221 LF	48%
WIT WAY (SEGMENT-B)	56 LF	18 LF	32%
REVOLUTION ROAD	329 LF	135 LF	41%
PIONEER PLACE	65 LF	18 LF	28%
CONNECTION SEGMENT	134 LF	0 LF	0%

GRAPHIC SCALE



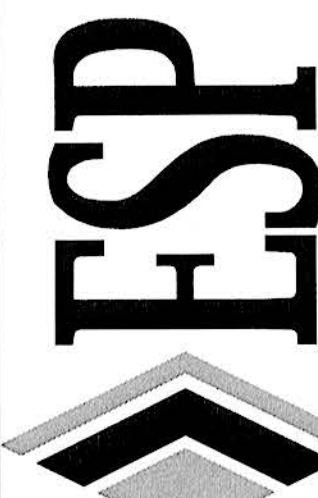
(IN FEET)
1 inch = 40 ft.

These trees were removed due to powerline relocation. Mitigation for replacement will be decided by Urban Forestry Inspector in the field.



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P.O. Box 7039
Charlotte, NC 28241
3413 Lakewood Blvd.
Fort Mill, SC 29505
803-392-2448 (SC)
www.espassociates.com



BY	DATE	REVISION	NO.	DATE	REVISION	NO.
TMM	08/02/2013	REV. PER CITY & CLIENT COMMENTS	1	08/02/2013	REV. PER CITY COMMENTS	1
MTK	08/13/2013	REV. PER CITY COMMENTS	2	08/13/2013	REV. PER CITY COMMENTS	2
TMM	05/28/2014	REV. PER CABA AND AMENITY AREAS	6	05/28/2014	REV. PER CABA AND AMENITY AREAS	6
TMM	07/07/2014	REV. PER COUNTY COMMENTS	8	07/07/2014	REV. PER COUNTY COMMENTS	8

CHARLOTTE, NC

ASPEN HEIGHTS CHARLOTTE

BRECKENRIDGE LAND ACQUISITION, LP

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