SHEET INDEX

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GENERAL NOTES

1. THIS PRELIMINARY SUBDIVISION PLAN IS SUBMITTED, AND SHALL BE CONSTRUCTED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CHARLOTTE ZONING AND SUBDIVISION ORDINANCES, AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
2. BOUNDARY SURVEY INFORMATION PER SURVEY PREPARED BY PHOENIX LAND SURVEYING.
3. TOPOGRAPHIC INFORMATION TAKEN FROM PHOTOGRAMMETRIC MAPPING BY CITY OF CHARLOTTE.
4. CHIEF SUBDIVISION INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. LOT DIMENSIONS ARE APPROXIMATE; REFERENCE RECORD PLAT FOR EXACT LOT DIMENSIONS.
6. SIGHT TRIANGLES SHOWN ARE MINIMUM REQUIRED.
7. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY AS DEEMED NECESSARY BY THE INSPECTOR.
8. REFERENCE SHEETS 3 & 4 FOR EROSION CONTROL PLAN AND NOTES. REFERENCE SHEET 6 FOR EROSION CONTROL DETAILS.
9. CONSTRUCTION OF ALL DEVELOPMENT IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL. REFERENCE SHEET 6 FOR SITE DETAILS. THE FOLLOWING ADDITIONAL DETAILS ARE INCLUDED BY REFERENCE:

ITEM	CLDNCDOT STD. NO.
CURB AND GUTTER	10.17
CURB TRANSITION	10.19
(CI) BRICK CATCH BASIN	840.01 & 840.02
CONCRETE MONUMENT	50.03
SIDEWALK	10.22

10. APPROXIMATE COMPLETION TIME IS SUMMER 2014.
11. WATER AND SANITARY SEWER SERVICE SHALL BE PROVIDED BY EXTENSION OF THE EXISTING CHARLOTTE-MECKLENBURG UTILITY SYSTEM.
12. SIDEWALK NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE SUBDIVISION INSPECTOR FOR LATEST REVISION OF HANDICAP RAMP DETAIL(S) PRIOR TO PLACEMENT OF ANY H/C RAMPS AND/OR SIDEWALK.
13. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
14. DRAINAGE EASEMENTS INDICATED AS SDE (STORM DRAINAGE EASEMENT) ARE EASEMENTS WHICH ARE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
15. DEVELOPER WILL PROVIDE STREET SIGNS PER CLDS# 50.05 (# SIGNS ONLY).
16. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH THE CITY INSPECTOR.
17. NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/ NORTH CAROLINA DEPARTMENT OF TRANSPORTAION) BEFORE INSTALLATION.
18. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/ COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/ COUNTY SUBDIVISION ORDINANCE.
19. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
20. IN ROLLING AND HILLY TERRAINS, SHEEPING OF THE STONE BASE AND/OR APPLICATION OF TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
21. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
22. SITE BENCHMARK FOR PROJECT IS THE RIM OF AN EXISTING SAN. SNR. MH IN WOODVIEW CIR , ELEV.= 666.84 (NAVD 1988)
23. CURB AND GUTTER SHOWN ON PLANS ALONG WOODVIEW CIRCLE MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
24. PE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
25. ALL ROAD IMPROVEMENTS AT WOODVIEW CIRCLE ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
26. TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORD. GUIDELINES STD.
27. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY STAFF.
28. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCT. MAT'LS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREA.
29. VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
30. NO DEMOLITION LANDFILLS WILL BE LOCATED ON THIS SITE.
31. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-CORD), 336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COSTS AND/OR ANY REPAIR COSTS CAUSED BY THE CONTRACTOR/DEVELOPER.
32. COMMON OPEN SPACE/ TREESAVE AREA TO REMAIN IN A NATURAL STATE. AREAS TO BE CLEANED OF TRASH AND DEBRIS.
33. THE PURPOSE OF THE STORM DRAINAGE ESMT. (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
34. THE CITY OF CHARLOTTE WILL NEITHER BE RESPONSIBLE FOR THE GROUNDS WITHIN THE PERMANENT STORM DRAINAGE EASEMENT NOR REMOVAL OF ANY OBSTRUCTIONS IN THAT AREA.
35. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
36. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMITS. FOR INFORMATION CONTACT CDOT (704-336-4025) OR VISIT http://www.charmeck.org/departments/transportation/street-maintenance/home.htm
37. PER SECTION 18-175 (E) OF THE CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQ'D NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCCE'S) MUST BE RECORDED PRIOR TO PROJECT CLOSE OUT AND FINAL BOND RELEASE.

TREE PROTECTION NOTES

ALL TREES ON PUBLIC PROPERTY ARE PROTECTED BY ORDINANCE AND REMOVAL MUST BE APPROVED BY THE CITY ARBORIST (704) 336-4262

NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE SAVE AREAS.

TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDINANCE STANDARDS IN DEVELOPMENT STDS. MANUAL 40.02.

BEFORE GRADING/CLEARING/CONSTRUCTION BEGINS, CALL 704 336-6764 FOR INSPECTION OF TREE PROTECTION BARRICADES BY URBAN FORESTRY STAFF.

NO GRUBBING WITHIN TREE SAVE AREAS. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH.

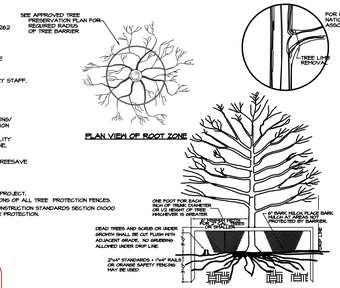
EXPOSED TREE ROOTS MUST BE CLEANLY CUT WITH A SHARP PRUNING TOOL; BACKFILL ASAP TO MINIMIZE EXPOSURE TO THE AIR.

TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/CONSTRUCTION BEGINS AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY.

PLEASE SUBMIT UTILITY PLANS SO THAT THEY CAN BE REVIEWED FOR UTILITY CONFLICTS WITH EXISTING AND PROPOSED TREES: ELECTRICAL, TELEPHONE, GAS, SEWER, WATER AND SITE LIGHTING.

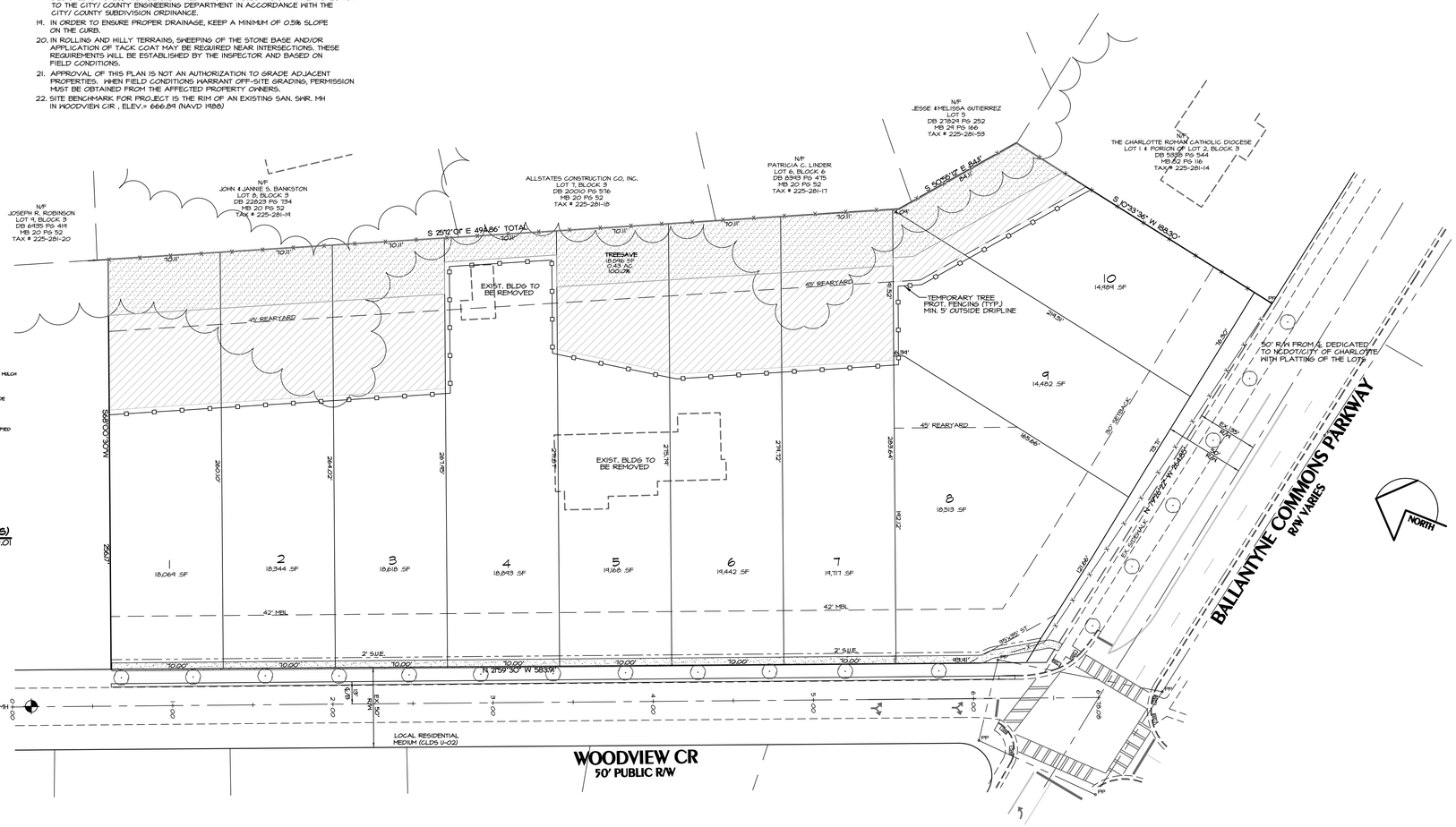
TREE PROTECTION FENCE IS LOCATED 5' BEYOND THE DRIPLINE OF THE TREESAVE AREA. PLEASE SHOW DIMENSIONS ON THE SITE AND GRADING PLANS.

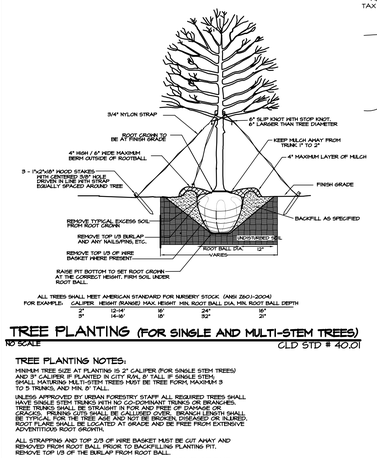
NOTES:
1. REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT.
2. LANDSCAPING PLANS SHALL SHOW THE LOCATIONS OF ALL TREE PROTECTION FENCES.
3. REFER TO CITY OF CHARLOTTE LANDSCAPE CONSTRUCTION STANDARDS SECTION 01000 FOR GENERAL SPECIFICATION REGARDING TREE PROTECTION.



APPROVED FOR CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 10-21-2013

TREE PROTECTION DETAIL
NO SCALE
CLD STD # 40.02





TREE PLANTING (FOR SINGLE AND MULTI-STEM TREES)

NO SCALE — CLD STD # 40.01

TREE PLANTING NOTES:

MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER (FOR SINGLE STEM TREES) AND 3" CALIPER IF PLANTED IN CITY R/W, 8' TALL IF SINGLE STEM. SMALL MATURING MULTI-STEM TREES MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MIN. 8' TALL.

UNLESS APPROVED BY URBAN FORESTRY STAFF ALL REQUIRED TREES SHALL HAVE SINGLE STEM TRUNKS WITH NO CO-DOMINANT TRUNKS OR BRANCHES. TREE TRUNKS SHALL BE STRAIGHT IN FOR AND FREE OF DAMAGE OR DISEASE. TREE FORM SHALL BE TYPICAL FOR THE SPECIES. TREE FORM SHALL BE TYPICAL FOR THE TREE AGE AND NOT BE BROKEN, DISEASED OR INJURED. ROOT FLARE SHALL BE LOCATED AT GRADE AND BE FREE FROM EXTENSIVE ADVENTITIOUS ROOT GROWTH.

ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.

FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL-OR-TILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER TREE).

LARGE MATURING TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWERLINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.

A MIN. OF 50% OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN 10 TREES MUST DIVERSIFY WITH AT LEAST 3 INDIVIDUAL MULTIPLE SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.

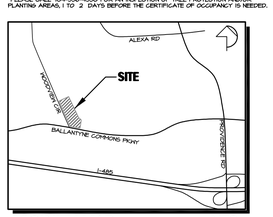
SITE LIGHTING MUST BE A MIN. OF 30' AWAY FROM A TREE. IF PEDESTRIAN SCALE LIGHTING IS BEING USED, THEN LIGHTING MUST BE A MIN. OF 15' AWAY FROM A TREE. UNLESS APPROVED OTHERWISE BY THE CITY. SHOW SITE LIGHTING PLAN.

ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (GAS, WATER, PHONE AND ELECTRICAL LINES).

ATTENTION LANDSCAPER: NOTIFY URBAN FORESTER OF ANY SIGN, POWERLINE OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.

COMMERCIAL TREE SAVE AREAS MUST BE RECORDED IN ACCORDANCE WITH THE APPROVED PLAN ON A FINAL PLAT AT THE REGISTER OF DEEDS OFFICE BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED.

PLEASE CALL 704-336-4330 FOR AN INSPECTION OF TREE PROTECTION AND/OR PLANTING AREAS 1 TO 2 DAYS BEFORE THE CERTIFICATE OF OCCUPANCY IS NEEDED.



VICINITY MAP — NTS

TREE REQUIREMENTS

FRONTAGE LF (2 SIDES)	LG TREES	SM TREES	STREET NAME
583	12*	0	WOODVIEW CIR
263	6*	0	BALLANTYNE COMMONS PKWY
846	18	0	TOTAL

SEE DEVELOPMENT DATA FOR BREAKDOWN

ROAD FRONTAGE: 0 LF
STREET TREES REQUIRED: 846 / 50 = 18 (LARGE MATURING)
STREET TREES PROPOSED: 18 LARGE; 0 SMALL
* USE EXISTING TREES THAT QUALIFY, WHERE ALLOWED
(1) LARGE MATURING TREES SHALL BE FROM APPROVED URBAN FORESTRY SPECIES LIST.
DIFFERENT SPECIES OF TREES SHALL BE USED ON DIFFERENT STREET

LEGEND

- EXISTING PAVEMENT/CURB
- PROPOSED PAVEMENT/CURB
- ADJOINING PROPERTY LINES
- EXISTING BUILDINGS
- PROPOSED 5' SIDEWALK
- TREE PROTECTION FENCE
- PROPOSED TREE SAVE AREA
- UNDISTURBED NATURAL AREA PER PCCO

DEVELOPMENT DATA

TAX PARCEL NO.: 225-281-13
ZONING CLASSIFICATION: R-3
ZONING JURISDICTION: CITY OF CHARLOTTE
SITE ACREAGE: 4.21 AC
NO. OF UNITS ALLOWED BY ZONING: 4.21 x 3 = 12
TREE SAVE REQUIRED: 10% x 4.21 AC= 0.42 AC.
TREE SAVE PROPOSED: 0.42 AC.
NO. OF UNITS PROPOSED: 10

R-3 LOT DATA:
MIN. LOT SIZE = 12,000 SF
MIN. LOT WIDTH = 70'
MIN. SETBACK = 42' (FROM BOC)
MIN. SIDE YARD = 6'
MIN. REAR YARD = 45'

PCCO SUMMARY

ORIGINAL PARCEL #	225-281-13
DEVELOPMENT TYPE	RESIDENTIAL
SUBJECT TO PCCO (Y/N) ?	YES
IF NO, WHY?	
WATERSHED	FOUR MILE CREEK
DISTURBED AREA (AC)	3.3 AC
SITE AREA (AC)	4.21 AC
	DA #1
TOTAL ON-SITE DA (AC)	4.21 AC
EXIST. BUA (SF)	2500 SF
EXIST. BUA TO BE REMOVED (SF)	2500 SF
EXIST. BUA TO REMAIN (SF)	0 SF
PROP. NEW BUA (SF)	44,013 SF
PROP. % BUA	24.0 %
DENSITY (HIGH/LOW)	LOW
TOT. POST-PROJ BUA FOR SITE	44,013 SF
DEVELOPMENT OR REDEVELOPMENT?	DEVELOPMENT
NATURAL AREA REQ (AC)	1.05 AC
NATURAL AREA PROV (AC)	1.05 AC
INDIST. TREED NATURAL AREA PRESERVED	0.42 AC
TOT STREAM BUFFER PROT (AC)	0
TRANSIT STA AREA (Y/N)	N
DISTRESSED BUS. DIST (Y/N)	N
MITIGATION TYPE (IF APPLICABLE)	
NATURAL AREA MITIGATION (Y/N)	N
BUFFER MITIGATION (Y/N)	N
TOT PHOSPHOROUS MITIGATION (Y/N)	N

THIS PROJECT IS USING THE CONTROLLED IMPERVIOUS AREA OPTION OF THE FOUR MILE CREEK DRAINAGE BASIN LOW DENSITY REQUIREMENTS OF THE CHARLOTTE PCCO.

IMPERVIOUS AREA DATA:
24% BUA ALLOWED: .24 x 4.21 AC=44,013 SF
BUA USED ON SIDEWALK = 2464 SF
BUA AVAILABLE TO LOTS = 41,044 AC
10 LOTS/ 41,044 SF= 4,104 SF/LOT (MAXIMUM)

SINGLE FAMILY LOT SIZE (SF)	MAX. BLDG COVERAGE
UP TO 4,000	50%
4,001 - 6,500	45%
6,501 - 8,500	40%
8,501 - 15,000	35%
15,001 OR GREATER	30%

BUILT-UPON AREA (BUA) MEANS THAT PORTION OF A PROPERTY THAT IS COVERED BY IMPERVIOUS OR PARTIALLY IMPERVIOUS SURFACE INCLUDING, BUT NOT LIMITED TO, BUILDINGS, PAVEMENT AND GRAVEL AREAS SUCH AS ROADS, PARKING LOTS, AND PATHS; AND RECREATION FACILITIES SUCH AS TENNIS COURTS (ACTIVITY FIELDS THAT HAVE BEEN DESIGNED TO ENHANCE DISPLACEMENT OF RUNOFF, SUCH AS COMPACTION AND GRADING OR INSTALLATION OF SODDED TURF, AND UNDERGROUND. CONSIDERED BUILT-UPON AREA.) "BUILT-UPON AREA" DOES NOT INCLUDE A WOODEN SLATTED DECK OR THE WATER AREA OF A SWIMMING POOL.

KENNEY DESIGN GROUP, PA
C-1986
1316 GREENWOOD CLIFF
CHARLOTTE, NORTH CAROLINA 28204
PH: 704/377-6099 FAX: 704/377-5097
EMAIL: KENNEY@KENNEYDESIGN.COM
Engineering
Land Planning
Land Surveying

Revisions:
1. 9/13/13 REVISED PER CMPC, CDD & CDOT REVIEW COMMENTS

NORTH CAROLINA PROFESSIONAL SEAL 030812 ENGINEER MICHAEL KENNEY
9/13/13

Scale:	1"=40'
Date:	7/16/13
Drawn By:	MJK
Designed By:	MJK
Job No.:	1213

Preliminary Subdivision Site/Landscape Plan
Woodview

City of Charlotte, Mecklenburg County, North Carolina
LiveWell Homes, 310 Springfield Drive, Fort Mill, SC 29715