

**APPROVED FOR CONSTRUCTION**  
 CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
 BY: Joshua Weaver 11-18-2013

**S.W.I.M. BUFFER NOTES**

1. THE MECKLENBURG COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION WILL BE NOTIFIED OF ANY CHANGES TO THIS APPROVED BUFFER PLAN.
2. ANY ACTIVITY IN THE BUFFER WILL COMPLY WITH THE SWIM STREAM BUFFER SECTION OF THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
3. THE SWIM BUFFER IS MEASURED HORIZONTALLY ON A LINE PERPENDICULAR TO THE SURFACE WATER. LANDWARD FROM THE TOP OF BANK ON EACH SIDE OF THE STREAM.
4. THE STREAM SIDE ZONE OF THE BUFFER IS TO BE LEFT COMPLETELY "UNDISTURBED". NO FILL OR GRADING IS ALLOWED IN THE STREAM SIDE BUFFER ZONE.
5. WITHIN THE UPLAND ZONE, GRADING AND OTHER LAND DISTURBING ACTIVITIES ARE ALLOWED PROVIDED NO FILL IS BROUGHT INTO THE ZONE. THESE ACTIVITIES MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF THE EXISTING TREES, GRASS OR OTHER SUITABLE COVER CAN BE APPLIED TO THE UPLAND ZONE. TEMPORARY SEDIMENT BASIN MAY EXTEND INTO THE UPLAND ZONE PROVIDED THAT NO EXISTING TREES ARE DAMAGED AND THAT THE EXCESS SOIL IS REMOVED BEFORE PROJECT COMPLETION.
6. NO OCCUPIED STRUCTURES CAN BE PLACED IN ANY OF THE THREE BUFFER ZONES. NON-COMMERCIAL BUILDINGS FOR STORAGE CAN BE PLACED IN THE UPLAND ZONE PROVIDED THEY DO NOT EXCEED 150 SQUARE FEET.
7. ENGINEERED OR IMPROVED CHANNELS AND PIPE STORM WATER ARE NOT ALLOWED IN OR THROUGH THE BUFFER. TEMPORARY SEDIMENT BASINS CAN NOT BE PLACED IN THE STREAM SIDE OR MANAGED USE ZONES. DRAINAGE AREAS WILL BE DESIGNED TO ALLOW WATER TO SHEET FLOW ACROSS THE BUFFER TO FILTER OUT POLLUTANTS. PLUNGE POOLS, ENERGY DISSIPATORS, DIVERSION DEVICES OR WETLAND FLOW WILL BE USED. DESIGN DETAILS FOR THESE DEVICES CAN BE OBTAINED FROM THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
8. THE OUTSIDE BUFFER BOUNDARY WILL BE CLEARLY MARKED BY ORANGE FABRIC FENCING PRIOR TO ANY LAND DISTURBING ACTIVITIES AT THE SITE. THIS FENCING WILL BE CALLED OUT ON PLANS. FOR THIS DEVELOPMENT, ORANGE TREE PROTECTION FENCING, SHOWN AT THE EDGE OF DISTURBED LIMITS ABOVE THE SWIM BUFFER LOCATION, WILL SUFFICE FOR THE SWIM BUFFER FENCING.
9. THE OUTSIDE BOUNDARY OF THE STREAM BUFFER MUST BE PERMANENTLY MARKED WITH IRONS OR OTHER ACCEPTABLE PROPERTY CORNER MARKERS AT LOT LINES AND STREET CROSSINGS. THESE MARKERS MUST BE CALLED OUT ON PLANS.
10. STREAM AND BUFFER BOUNDARIES, INCLUDING THE DELINEATION OF EACH ZONE AND A DIMENSION FROM A SPECIFIC LOCATION, ARE SHOWN ON ALL SURVEYS AND RECORD PLATS, INCLUDING INDIVIDUAL DEEDS FOR LOTS AFFECTED.
11. BUFFER RESTRICTIONS WILL BE PLACED ON EACH INDIVIDUAL DEED. BUFFER REQUIREMENTS MUST BE REFERENCED IN HOMEOWNERS ASSOCIATION DOCUMENTS.
12. ALL SUB-CONTRACTORS OF THE LAND DEVELOPER AND HOME BUILDER WILL BE NOTIFIED OF THE BUFFER REGULATIONS PRIOR TO DEVELOPMENT.

**P.C.C.O. NOTES:**

1. THIS SITE IS EXEMPT FROM P.C.C.O. DUE TO FIRST SUBMITTAL DATE OCCURRING IN 2006 (PRIOR TO P.C.C.O. ADOPTION), AND ACTIVE STATUS CONTINUED SINCE INITIAL SUBMITTAL.

**SITE DEVELOPMENT DATA (PHASE 2)**

TAX PARCEL NO. 027-171-10  
 PROPERTY OWNER: MATTAMY CAROLINA CORPORATION  
 ZONING DISTRICT: R-3  
 MINIMUM LOT WIDTH: 60' (R-3 CLUSTER PROVISIONS)  
 MINIMUM SETBACK (FRONT): 15' (TREE ORDINANCE INCENTIVE, SECTION 21-95, WITH 20' MIN. FROM GARAGE TO R/W)  
 MINIMUM SIDE YARD: 5' (TREE ORDINANCE INCENTIVE)  
 MINIMUM REAR YARD: 45' (ABUTTING EXTERIOR PERIMETER)  
 30' (INTERNAL LOTS NOT ABUTTING PERIMETER)  
 8,000 S.F. (R-3 CLUSTER PROVISIONS)  
 JURISDICTION: CITY OF CHARLOTTE (ETJ)  
 TOTAL SITE AREA (GROSS): 90.73 AC (PHASE 2)  
 TOTAL # LOTS PROPOSED: 236 (PHASE 2)  
 38 LOTS IN PHASE 2A  
 198 LOTS IN PHASE 2B  
 DENSITY ALLOWED: 3 DU/AC (MAXIMUM)  
 DENSITY PROPOSED: 2.60 DU/AC (236 DU / 90.73 AC.)

**TREE SAVE CALCULATIONS**

GROSS SITE ACREAGE: 90.73 AC  
 DEDICATED AREAS:  
 SANITARY SEWER EASEMENT: 1.22 AC  
 TOTAL DEDICATED AREAS: 1.22 AC  
 NET AREA: 90.73 AC - 1.22 AC = 89.51 AC  
 TREE SAVE REQUIRED (10%): 8.95 AC  
 TREE SAVE PROVIDED: 10.50 AC (11.7%)

1. NO HERITAGE TREES HAVE BEEN OBSERVED ON SITE.
2. SEE SHEETS C-7.0 AND C-7.1 FOR ADDITIONAL TREE SAVE CALCULATIONS AND NOTES.

**STREET TREE CALCULATIONS**

SEE SHEETS C-7.0 AND C-7.1 FOR REQUIRED STREET TREE CALCULATIONS.

**GENERAL NOTES:**

1. BOUNDARY, EXISTING UTILITIES, AND OTHER EXISTING FEATURES TAKEN FROM BOUNDARY AND TOPO SURVEY BY EAGLE ENGINEERING, NCRLS # L-3681, DATED 11/16/06.
2. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
3. DEVELOPER WILL PROVIDE STREET SIGNS PER CALSD# 50.05 (9" SIGNS ONLY).
4. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
5. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
6. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
7. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
8. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
9. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
10. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
11. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
12. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
13. ANY BUILDING WITHIN THE 100+1 BUILDING RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8.
14. ANY CONSTRUCTION OR USE WITHIN THE "FUTURE CONDITIONS FLOOD FRINGE LINE" IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
15. ALL OPENINGS (E.G., DOORS, WINDOWS, VENTS) IN STRUCTURES BUILT ON LOT #S 69-79, 88-95 AND 102-112 SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100+1 FLOOD ANALYSIS.)
16. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
17. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
18. NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
19. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
20. LOT DIMENSIONS ARE APPROXIMATE. REFERENCE RECORD PLAT FOR EXACT DIMENSIONS.
21. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
22. APPROXIMATE TIME OF ESTIMATED COMPLETION OF INFRASTRUCTURE: 60 MONTHS

**NOTE:**

THIS SHEET IS FOR OVERALL SITE PLAN REFERENCE. SEE SHEETS C-2.1 THROUGH C-2.5 FOR DETAILED SITE PLANS.

**COMMON OPEN SPACE CALCULATIONS**

GROSS SITE ACREAGE: 90.73 AC  
 COMMON OPEN SPACE REQUIRED (10%): 9.07 AC  
 COMMON OPEN SPACE PROVIDED: 10.70 AC (11.9%)

**COMMON OPEN SPACE AREAS % OF TOTAL AREA**

AREA	AREA	% OF TOTAL AREA
AREA A	411,100 SF (9.44 AC)	10.4%
AREA B	71,940 SF (1.65 AC)	1.8%
AREA C	75,010 SF (1.72 AC)	1.9%
AREA D	314,870 SF (7.23 AC)	8.0%
AREA E	27,930 SF (0.64 AC)	0.7%
AREA F	49,450 SF (1.13 AC)	1.3%
TOTAL	950,300 SF (21.82 AC)	24.1%



**REVISIONS:**

No.	Date	By	Description
1	06/25/13	PGJ	PER CITY OF CHARLOTTE REVIEW
2	09/6/13	TMM	UPDATE TOP OF BANK PER FIELD SURVEY

**RESUBMITTAL SET**  
 11/08/13

**Landworks**  
 Design Group, P.A.  
 7621 Little Avenue, Suite III  
 Charlotte, NC 28226  
 704-841-8084 fax: 704-841-8084



**MERIDALE - PHASE 2**  
 CHARLOTTE, NC  
 MATTAMY CAROLINA CORPORATION  
 2401 WHITEHALL PARK DRIVE, SUITE 700  
 CHARLOTTE, NC 28273

**SITE PLAN COMPOSITE & SITE DATA**

seals

Project Manager: TMM

Drawn By: SJH

Checked By: TMM

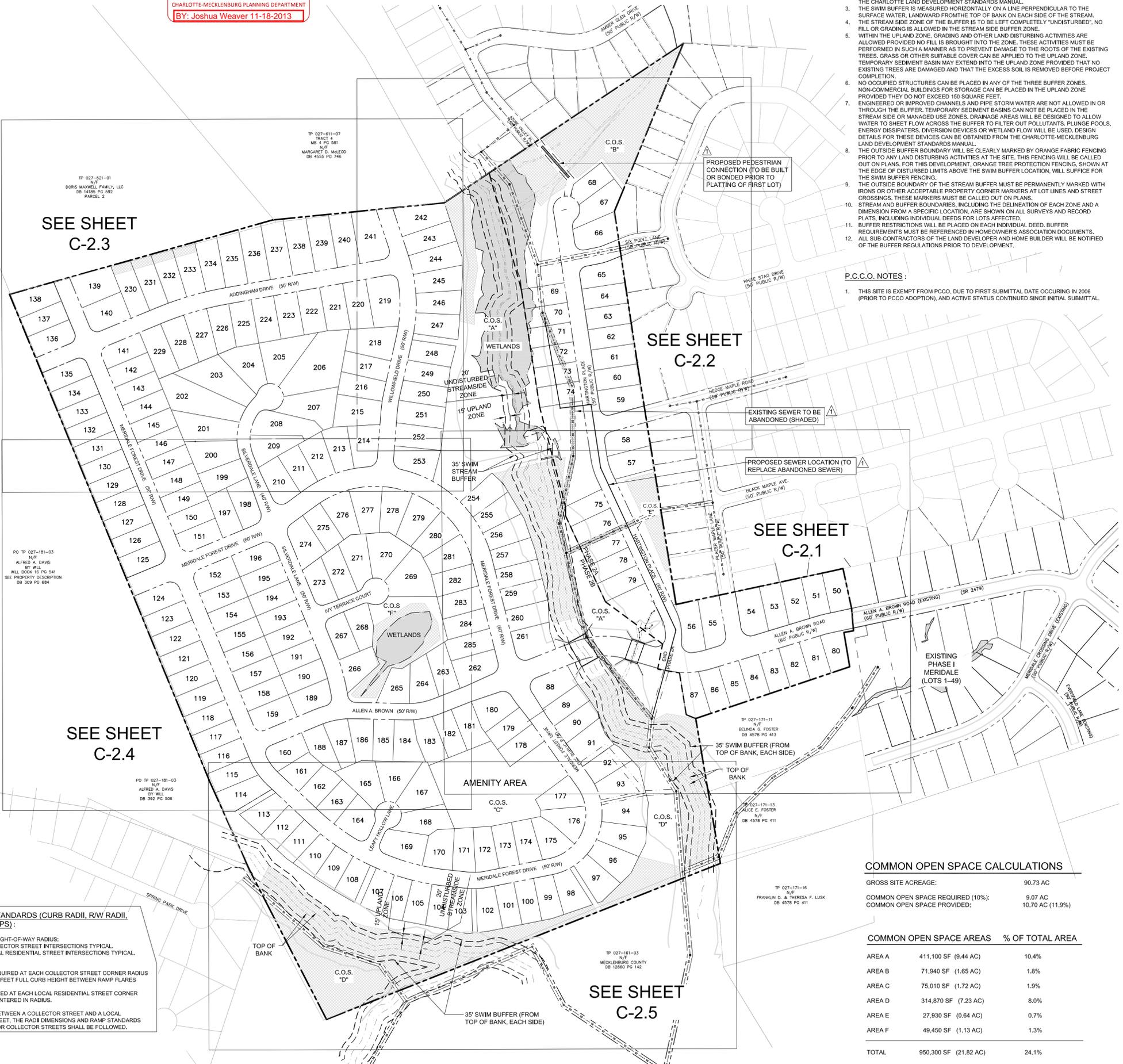
Date: 03/19/13

Project Number: 12023

Sheet Number:

**C-2.0**

SHEET #04OF64



**INTERSECTION STANDARDS (CURB RADII, R/W RADII, ACCESSIBLE RAMPS):**

1. BACK OF CURB AND RIGHT-OF-WAY RADII:  
 30' RADII AT COLLECTOR STREET INTERSECTIONS TYPICAL.  
 25' RADII AT LOCAL RESIDENTIAL STREET INTERSECTIONS TYPICAL.
2. ACCESSIBLE RAMPS:  
 2 RAMPS ARE REQUIRED AT EACH COLLECTOR STREET CORNER RADII CURB; PROVIDE 4 FEET FULL CURB HEIGHT BETWEEN RAMP FLARES TYPICAL.  
 1 RAMP IS REQUIRED AT EACH LOCAL RESIDENTIAL STREET CORNER RADII CURB, CENTERED IN RADII.
3. AT INTERSECTIONS BETWEEN A COLLECTOR STREET AND A LOCAL RESIDENTIAL STREET, THE RADII DIMENSIONS AND RAMP STANDARDS LISTED ABOVE FOR COLLECTOR STREETS SHALL BE FOLLOWED.