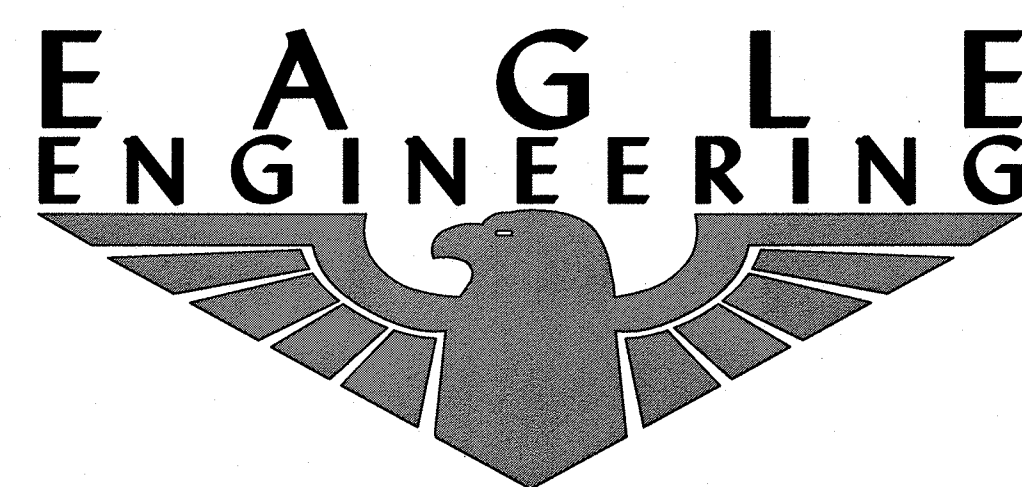
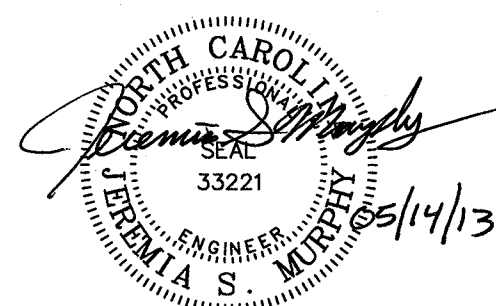


LOCATION MAP
NOT TO SCALE



2013 Van Buren Avenue
Indian Trail, NC 28079
Phone: (704) 882-4222
FAX: (704) 882-4232
www.eagleonline.net

Project Engineer: Jeremia S. Murphy



Prepared for:
Pulte Group
1121 Carmel Commons Blvd., Suite 450
Charlotte, NC 28226
Phone: (704) 414-7007

Gardens at Wendover

REVISIONS PER REZONING PETITION 2013-016 ROADWAY, GRADING, DRAINAGE & EROSION CONTROL PLANS

CITY OF CHARLOTTE, NORTH CAROLINA



SDRMFR-2013-00015

SWM / DETENTION
CITY ENGINEERING

N/A

DRAINAGE PLAN
CITY ENGINEERING

APPROVED

By Jordan Miller at 7:35 am, Jun 25, 2013

EROSION CONTROL
FOR A PRE-CONSTRUCTION MEETING
48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY, CONTACT:

APPROVED

Jay Wilson at 704-517-1152

TREE ORDINANCE
URBAN FORESTRY

APPROVED

for Tom Johnson

CDOT
CHARLOTTE DEPT. OF TRANSPORTATION

APPROVED

for Felix Obregon



VICINITY MAP
NOT TO SCALE

NOTE:
THE APPROVED SITE IMPROVEMENTS HAVE BEEN COMPLETED. THE
STREETS AND DRIVEWAY ENTRANCE HAVE BEEN CONSTRUCTED IN
GENERAL ACCORDANCE WITH THE APPROVED DRAWINGS. THE
REVISIONS PER REZONING PETITION 2013-016 ARE TO THE
UN-BUILT BUILDING PADS & DIXTER LANE / BOURTON HOUSE DRIVE.

**APPROVED FOR
CONSTRUCTION**
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By Brent Wilkinson June 24, 2013

INDEX OF SHEET :

- C-0.0 COVER SHEET
- C-1.0 EXISTING CONDITIONS
- C-1.1 DEMOLITION PLAN
- C-2.0 SITE PLAN
- C-3.0 GRADING & DRAINAGE
- C-3.1 EROSION CONTROL PHASE 2
- C-3.2 DETENTION PONDS AS-BUILT
- C-3.3 CONSTRUCTION NOTES & SCHEDULES
- C-3.4 ONSITE DRAINAGE MAP
- C-3.5 POST DEVELOPED DRAINAGE MAP
- C-4.0 & 4.1 ROADWAY PLAN & PROFILES
- C-5.0 MASTER UTILITY AS-BUILT
- C-6.0 LANDSCAPING PLAN
- C-7.0 - 7.2 DETAILS & GENERAL NOTES

*C-2.0 REZONING SITE PLAN

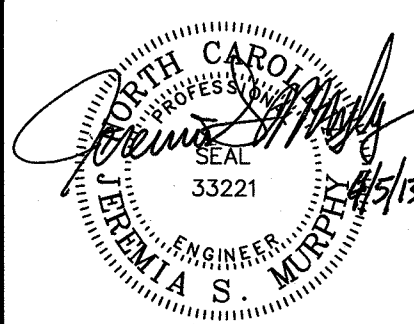
COMPLETION TIMEFRAME:
THE PROPOSED SITE IMPROVEMENTS PER REZONING PETITION
2013-016 TO THE UN-BUILT BUILDING PADS & DIXTER LANE /
BOURTON HOUSE DRIVE ARE ANTICIPATED TO BE COMPLETED
WITHIN 90 DAYS OF THE AUTHORIZATION TO CONSTRUCT.

NO.	DATE	BY	ISSUE
1	04/03/13	JLR	UPDATED PER REZONING PETITION 2013-016

GARDENS AT WENDOVER
REVISIONS PER REZONING PETITION 2013-016

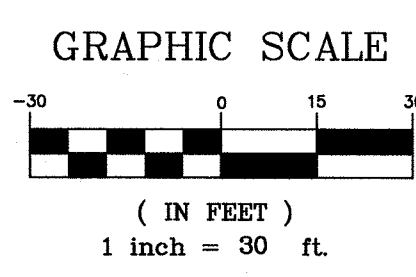
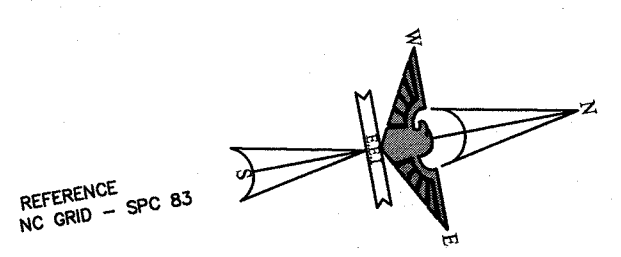
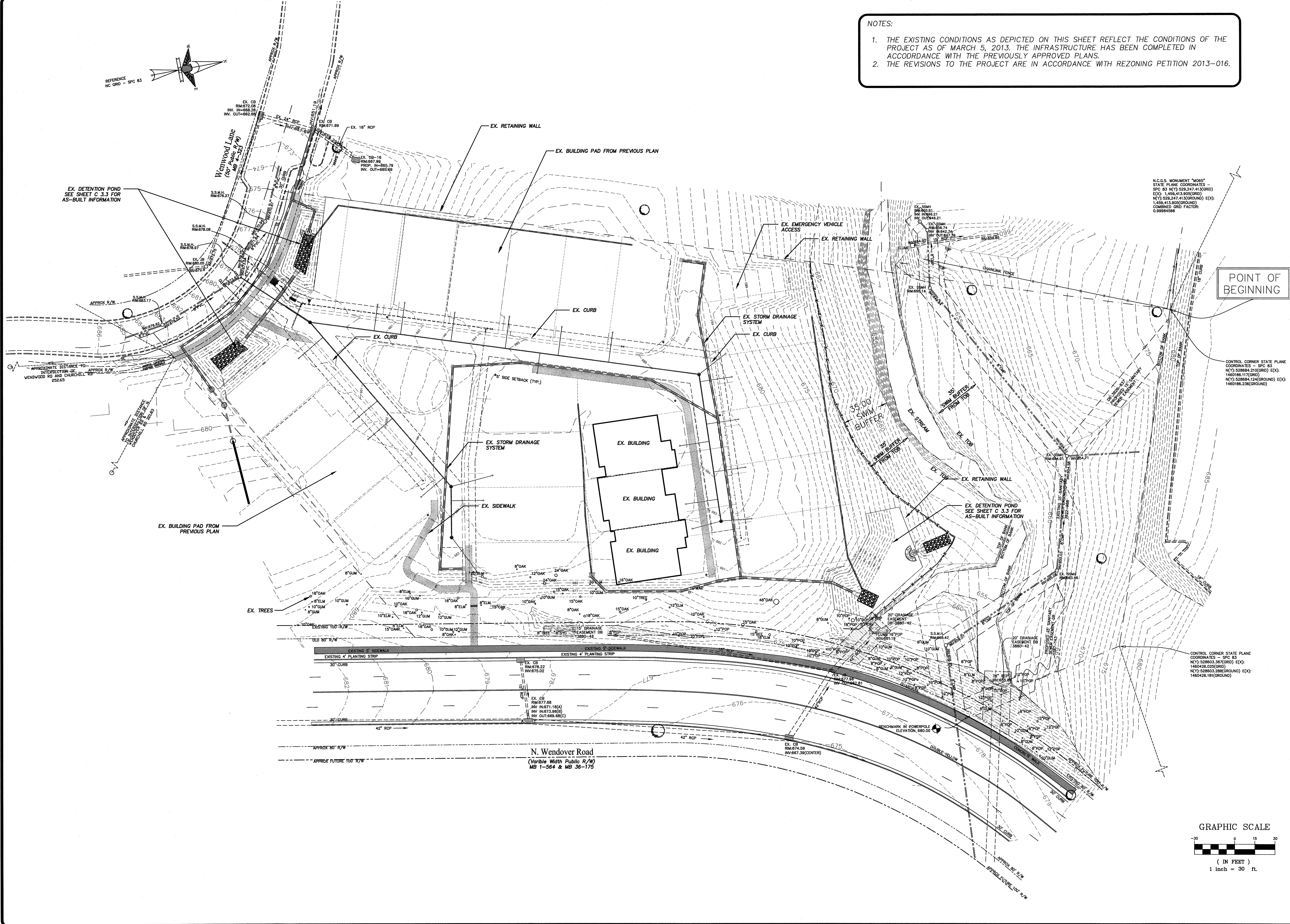
PULTE GROUP
1121 CARMEL COMMONS BLVD., SUITE 450
CHARLOTTE, NC 28226

EXISTING CONDITIONS			
DESIGNED BY	DRAWN BY	CHECKED BY	JOB NUMBER
JSM	JLR	JSM	4851-C
SCALE	DATE		
AS SHOWN	04-03-13		

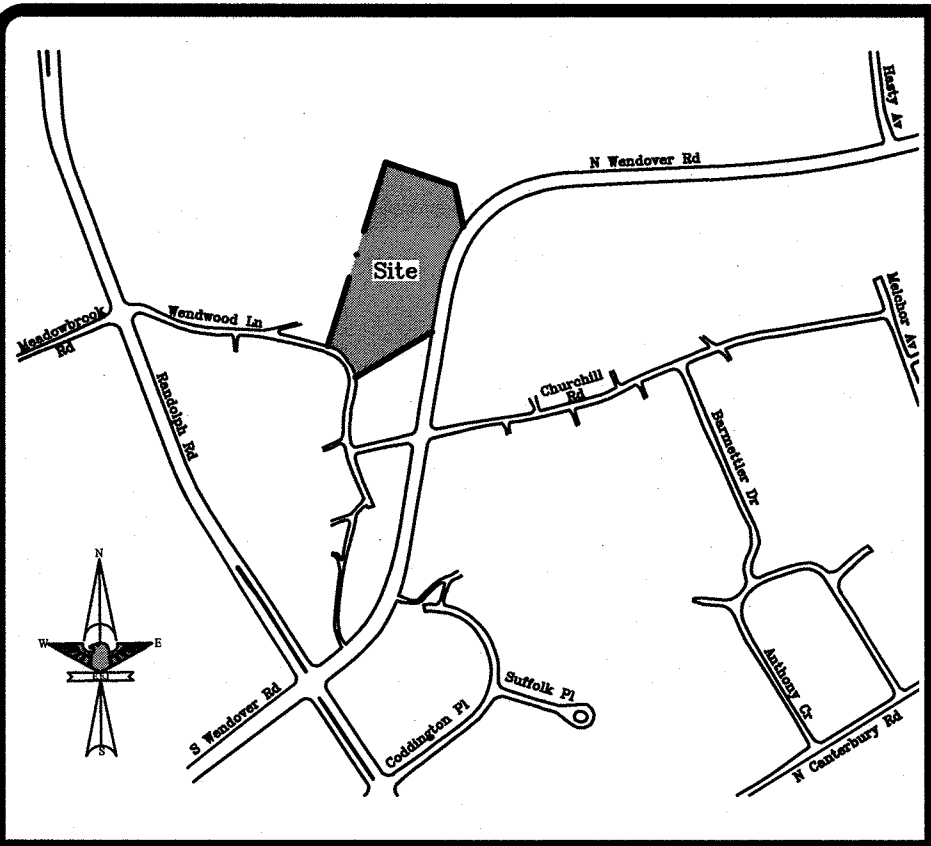


SHEET
C-1.0

- NOTES:
1. THE EXISTING CONDITIONS AS DEPICTED ON THIS SHEET REFLECT THE CONDITIONS OF THE PROJECT AS OF MARCH 5, 2013. THE INFRASTRUCTURE HAS BEEN COMPLETED IN ACCORDANCE WITH THE PREVIOUSLY APPROVED PLANS.
 2. THE REVISIONS TO THE PROJECT ARE IN ACCORDANCE WITH REZONING PETITION 2013-016.







LOCATION MAP
NOT TO SCALE

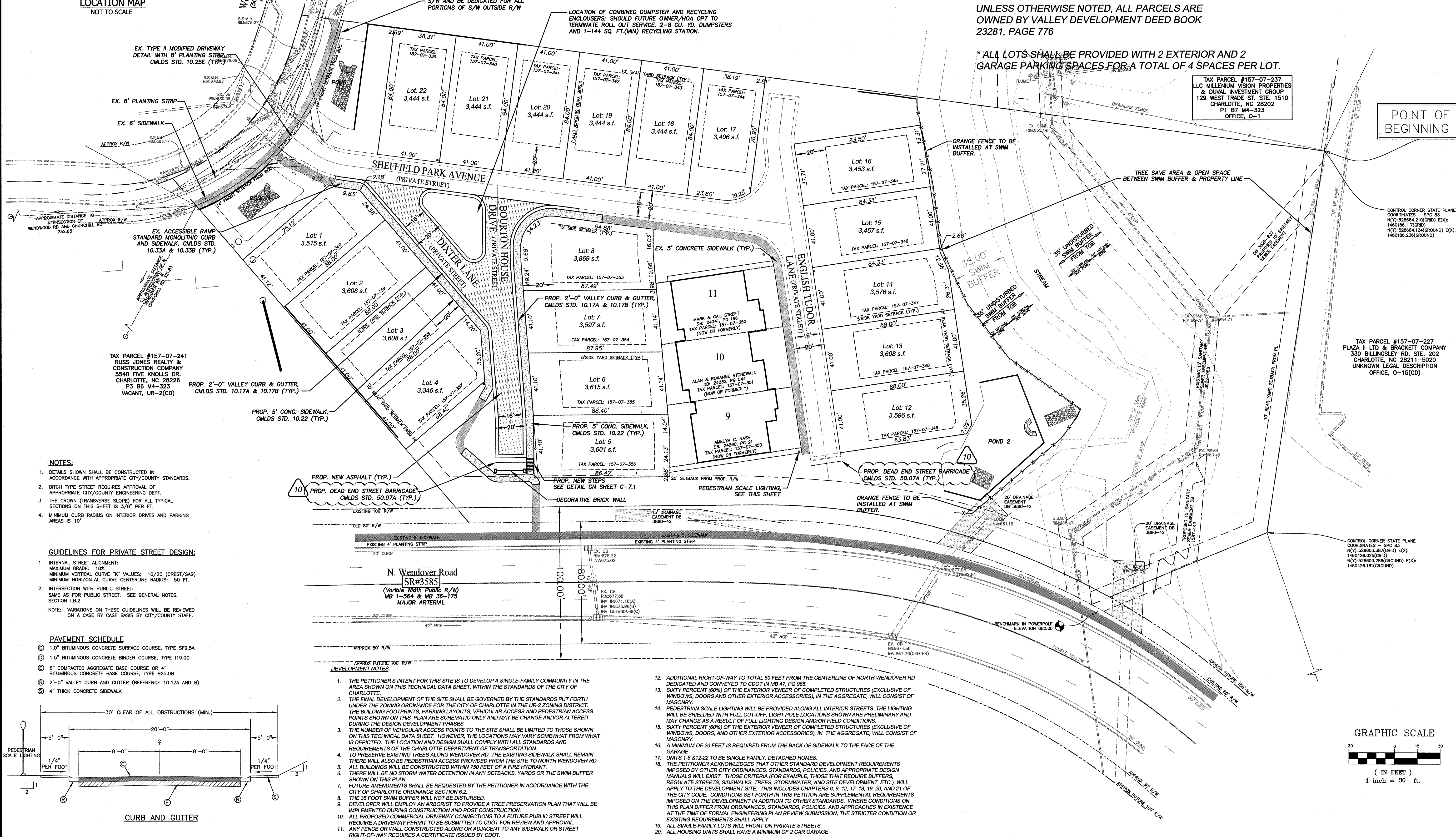
NOTE:
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SITE DATA:
TAX PARCELS: 157-07-339 through 157-07-349 & 157-07-352 through 157-07-361

TOTAL SITE AREA: 4.17 AC.
COMMON OPEN SPACE: 2.55 AC.
EXISTING ZONING: UR-2(CD) (REZONING 2013-016)
MINIMUM LOT SIZE: 3,000 S.F.
MINIMUM LOT WIDTH: 20 FT.
FRONT SETBACK: 14 FT. (from BACK OF CURB)
GARAGE SETBACK: 20 FT. (from BACK OF CURB/SIDEWALK)
SIDE YARD: 5 FT.
REAR YARD: 10 FT.
MAXIMUM HEIGHT: 40 FT.
EXTERIOR PARKING (PER UNIT): 1 MIN - 2 MAX PROPOSED: 2
(TOTAL UNITS: 19 (PROP. SINGLE-FAMILY DETACHED))
F.A.R.: 0.34 (1.0 MAX.)
PROPOSED DENSITY: 5.152

UNLESS OTHERWISE NOTED, ALL PARCELS ARE OWNED BY VALLEY DEVELOPMENT DEED BOOK 23281, PAGE 776

* ALL LOTS SHALL BE PROVIDED WITH 2 EXTERIOR AND 2 GARAGE PARKING SPACES FOR A TOTAL OF 4 SPACES PER LOT.



NOTES:

- DETAILS SHOWN SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPROPRIATE CITY/COUNTY STANDARDS.
- DITCH TYPE STREET REQUIRES APPROVAL OF APPROPRIATE CITY/COUNTY ENGINEERING DEPT.
- THE CROWN (TRANSVERSE SLOPE) FOR ALL TYPICAL SECTIONS ON THIS SHEET IS 3/8" PER FT.
- MINIMUM CURB RADIUS ON INTERIOR DRIVES AND PARKING AREAS IS 10'

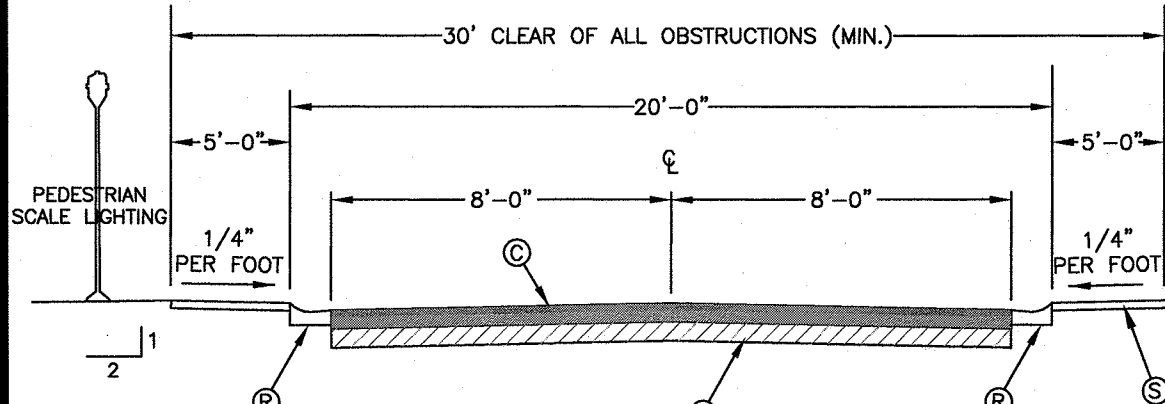
GUIDELINES FOR PRIVATE STREET DESIGN:

- INTERNAL STREET ALIGNMENT:
MAXIMUM GRADE: 10%
MINIMUM VERTICAL CURVE "K" VALUES: 10/20 (CREST/SAG)
MINIMUM HORIZONTAL CURVE CENTERLINE RADIUS: 50 FT.
- INTERSECTION WITH PUBLIC STREET:
SAME AS FOR PUBLIC STREET. SEE GENERAL NOTES, SECTION 1.B.2.

NOTE: VARIATIONS ON THESE GUIDELINES WILL BE REVIEWED ON A CASE BY CASE BASIS BY CITY/COUNTY STAFF.

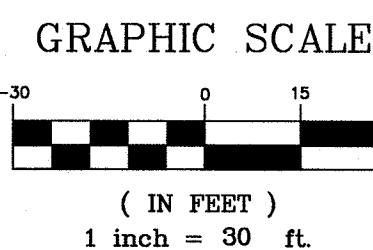
PAVEMENT SCHEDULE

- 1.0" BITUMINOUS CONCRETE SURFACE COURSE, TYPE SF9.5A
- 1.5" BITUMINOUS CONCRETE BINDER COURSE, TYPE 119.0C
- 6" COMPACTED AGGREGATE BASE COURSE OR 4" BITUMINOUS CONCRETE BASE COURSE, TYPE B25.0B
- 2'-0" VALLEY CURB AND GUTTER (REFERENCE 10.17A AND B)
- 4" THICK CONCRETE SIDEWALK



CURB AND GUTTER

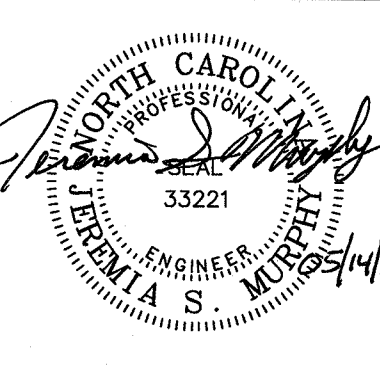
- THE PETITIONER'S INTENT FOR THIS SITE IS TO DEVELOP A SINGLE-FAMILY COMMUNITY IN THE AREA SHOWN ON THIS TECHNICAL DATA SHEET, WITHIN THE STANDARDS OF THE CITY OF CHARLOTTE.
- THE FINAL DEVELOPMENT OF THE SITE SHALL BE GOVERNED BY THE STANDARDS PUT FORTH UNDER THE ZONING ORDINANCE FOR THE CITY OF CHARLOTTE IN THE UR-2 ZONING DISTRICT. THE BUILDING FOOTPRINTS, PARKING LAYOUTS, VEHICULAR ACCESS AND PEDESTRIAN ACCESS POINTS SHOWN ON THIS PLAN ARE SCHEMATIC ONLY AND MAY BE CHANGE AND/OR ALTERED DURING THE DESIGN DEVELOPMENT PHASES.
- THE NUMBER OF VEHICULAR ACCESS POINTS TO THE SITE SHALL BE LIMITED TO THOSE SHOWN ON THIS TECHNICAL DATA SHEET. HOWEVER, THE LOCATIONS MAY VARY SOMEWHAT FROM WHAT IS DEPICTED. THE LOCATION AND DESIGN SHALL COMPLY WITH ALL STANDARDS AND REQUIREMENTS OF THE CHARLOTTE DEPARTMENT OF TRANSPORTATION.
- TO PRESERVE EXISTING TREES ALONG WENDOVER RD, THE EXISTING SIDEWALK SHALL REMAIN. THERE WILL ALSO BE PEDESTRIAN ACCESS PROVIDED FROM THE SITE TO NORTH WENDOVER RD. ALL BUILDINGS WILL BE CONSTRUCTED WITHIN 750 FEET OF A FIRE HYDRANT.
- THERE WILL BE NO STORM WATER DETENTION IN ANY SETBACKS, YARDS OR THE SWIM BUFFER SHOWN ON THIS PLAN.
- FUTURE AMENDMENTS SHALL BE REQUESTED BY THE PETITIONER IN ACCORDANCE WITH THE CITY OF CHARLOTTE ORDINANCE SECTION 8.2.
- THE 35 FOOT SWIM BUFFER WILL NOT BE DISTURBED.
- DEVELOPER WILL EMPLOY AN ARBORIST TO PROVIDE A TREE PRESERVATION PLAN THAT WILL BE IMPLEMENTED DURING CONSTRUCTION AND POST CONSTRUCTION.
- ALL PROPOSED CONSTRUCTION DRIVEWAY CONNECTIONS TO A FUTURE PUBLIC STREET WILL REQUIRE A DRIVEWAY PERMIT TO BE SUBMITTED TO CDOT FOR REVIEW AND APPROVAL.
- ANY FENCE OR WALL CONSTRUCTED ALONG OR ADJACENT TO ANY SIDEWALK OR STREET RIGHT-OF-WAY REQUIRES A CERTIFICATE ISSUED BY CDOT.
- ADDITIONAL RIGHT-OF-WAY TO TOTAL 50 FEET FROM THE CENTERLINE OF NORTH WENDOVER RD DEDICATED AND CONVEYED TO CDOT IN MB 47, PG 985.
- SIXTY PERCENT (60%) OF THE EXTERIOR VENEER OF COMPLETED STRUCTURES (EXCLUSIVE OF WINDOWS, DOORS AND OTHER EXTERIOR ACCESSORIES), IN THE AGGREGATE, WILL CONSIST OF MASONRY.
- PEDESTRIAN-SCALE LIGHTING WILL BE PROVIDED ALONG ALL INTERIOR STREETS. THE LIGHTING WILL BE SHIELDED WITH FULL CUT-OFF. LIGHT POLE LOCATIONS SHOWN ARE PRELIMINARY AND MAY CHANGE AS A RESULT OF FULL LIGHTING DESIGN AND/OR FIELD CONDITIONS.
- SIXTY PERCENT (60%) OF THE EXTERIOR VENEER OF COMPLETED STRUCTURES (EXCLUSIVE OF WINDOWS, DOORS, AND OTHER EXTERIOR ACCESSORIES), IN THE AGGREGATE, WILL CONSIST OF MASONRY.
- A MINIMUM OF 20 FEET IS REQUIRED FROM THE BACK OF SIDEWALK TO THE FACE OF THE GARAGE.
- UNITS 1-8 & 12-22 TO BE SINGLE FAMILY, DETACHED HOMES.
- THE PETITIONER ACKNOWLEDGES THAT OTHER STANDARD DEVELOPMENT REQUIREMENTS IMPOSED BY OTHER CITY ORDINANCES, STANDARDS, POLICIES, AND APPROPRIATE DESIGN MANUALS WILL EXIST. THOSE CRITERIA (FOR EXAMPLE, THOSE THAT REQUIRE BUFFERS, REGULATE STREETS, SIDEWALKS, TREES, STORMWATER, AND SITE DEVELOPMENT, ETC.) WILL APPLY TO THE DEVELOPMENT SITE. THIS INCLUDES CHAPTERS 8, 9, 12, 17, 18, 19, 20, AND 21 OF THE CITY CODE. CONDITIONS SET FORTH IN THIS PETITION ARE SUPPLEMENTAL REQUIREMENTS IMPOSED ON THE DEVELOPMENT IN ADDITION TO OTHER STANDARDS. WHERE CONDITIONS ON THIS PLAN DIFFER FROM ORDINANCES, STANDARDS, POLICIES, AND APPROACHES IN EXISTENCE AT THE TIME OF FORMAL ENGINEERING PLAN REVIEW SUBMISSION, THE STRICTER CONDITION OR EXISTING REQUIREMENTS SHALL APPLY.
- ALL SINGLE-FAMILY LOTS WILL FRONT ON PRIVATE STREETS.
- ALL HOUSING UNITS SHALL HAVE A MINIMUM OF 2 CAR GARAGE.



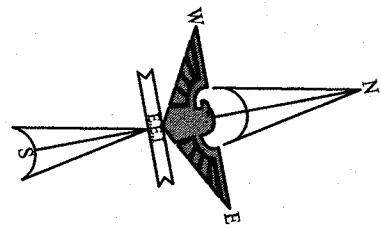
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2	03/15/07	JSM	REVISIONS PER CITY OF CHARLOTTE COMMENTS
3	03/15/07	JSM	REVISIONS PER CITY OF CHARLOTTE COMMENTS
4	03/15/07	JSM	REVISIONS PER CITY OF CHARLOTTE COMMENTS
5	03/15/07	JSM	REVISIONS PER CITY OF CHARLOTTE COMMENTS
6	03/15/07	JSM	REVISIONS PER CITY OF CHARLOTTE COMMENTS
7	03/15/07	JSM	REVISIONS PER CITY OF CHARLOTTE COMMENTS
8	03/15/07	JSM	REVISIONS PER CITY OF CHARLOTTE COMMENTS
9	03/15/07	JSM	REVISIONS PER CITY OF CHARLOTTE COMMENTS
10	03/15/07	JSM	REVISIONS PER CITY OF CHARLOTTE COMMENTS

GARDENS AT WENDOVER
REVISIONS PER REZONING PETITION 2013-016
PULTE GROUP
1121 CARMEL COMMONS BLVD., SUITE 450
CHARLOTTE, NC 28226

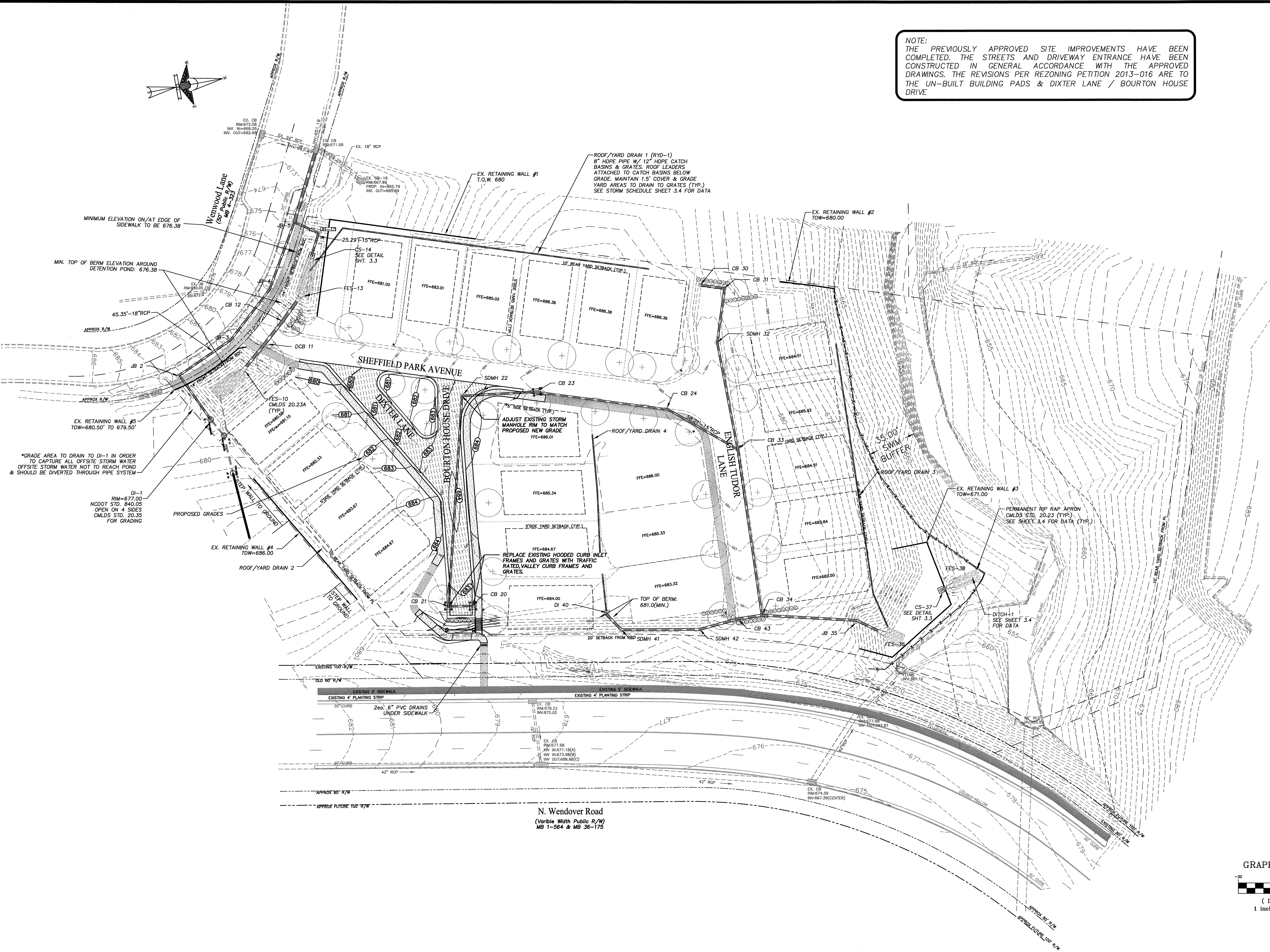
DESIGNED BY	DRAWN BY	CHECKED BY	DATE	JOB NUMBER	4851-C
JSM	JLR	JSM	04-03-13		
AS SHOWN					



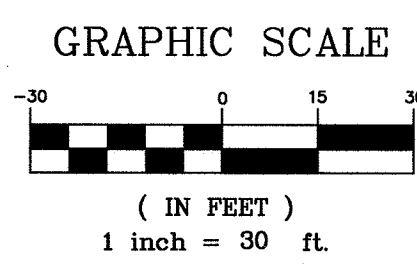
SHEET
C-2.0



NOTE:
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N. Wendover Road
(Variable Width Public R/W)
MB 1-564 & MB 36-175



E A G L E
ENGINEERING

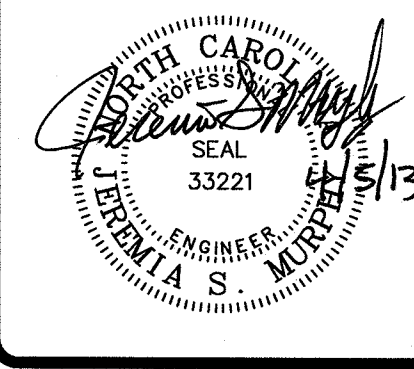
2013 VAN BUREN AVENUE
Indian Trail, NC 28079
(704) 882-4222
www.eagleline.net

NO.	DATE	BY	ISSUE
1	01/26/07	JMP	REVISIONS PER CITY OF CHARLOTTE COMMENTS
2	03/15/10	JRP	REVISIONS PER CITY OF CHARLOTTE COMMENTS
3	08/03/10	KEL	REVISED BUILDING PAD GRADING FOR SMALLER UNITS
4	08/27/12	KEL	PLANNING COMMENTS & CLIENT REVISIONS
5	04/03/13	JLR	UPDATED PER REZONING PETITION 2013-016

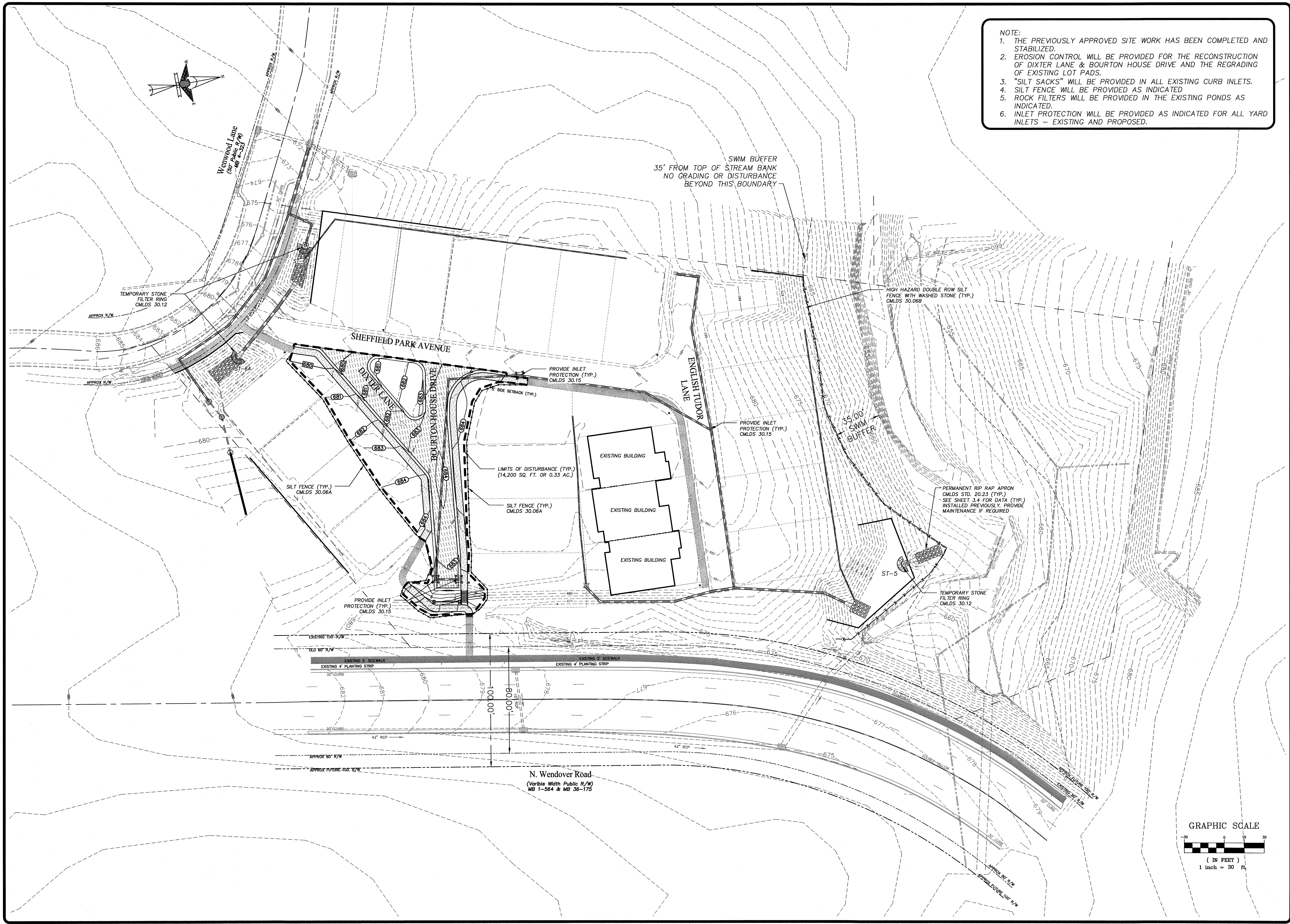
GARDENS AT WENDOVER
REVISIONS PER REZONING PETITION 2013-016

PULTE GROUP
1121 CARMEL COMMONS BLVD., SUITE 450
CHARLOTTE, NC 28226

DESIGNED BY		DRAWN BY		CHECKED BY	
JSM		JLR		JSM	
SCALE		DATE		JOB NUMBER	
AS SHOWN		04-03-13		4851-C	



SHEET
C-3.0



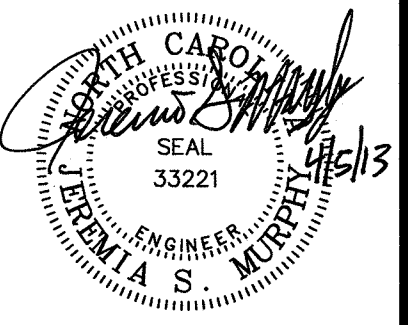
- NOTE:
1. THE PREVIOUSLY APPROVED SITE WORK HAS BEEN COMPLETED AND STABILIZED.
 2. EROSION CONTROL WILL BE PROVIDED FOR THE RECONSTRUCTION OF DIXTER LANE & BOURTON HOUSE DRIVE AND THE REGRADING OF EXISTING LOT PADS.
 3. "SILT SACKS" WILL BE PROVIDED IN ALL EXISTING CURB INLETS.
 4. SILT FENCE WILL BE PROVIDED AS INDICATED
 5. ROCK FILTERS WILL BE PROVIDED IN THE EXISTING PONDS AS INDICATED.
 6. INLET PROTECTION WILL BE PROVIDED AS INDICATED FOR ALL YARD INLETS - EXISTING AND PROPOSED.



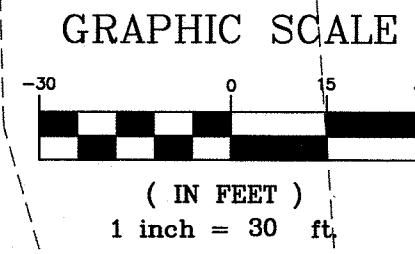
NO.	DATE	REL	ISSUE	PLANNING COMMENTS & CLIENT REVISIONS
1	08/27/12	KEL		
2	04/03/13	JLR		UPDATED PER REZONING PETITION 2013-016

GARDENS AT WENDOVER
PULTE GROUP
 1121 CARMEL COMMONS BLVD., SUITE 450
 CHARLOTTE, NC 28226

DESIGNED BY	JSM	DRAWN BY	JLR	CHECKED BY	JG
SCALE	AS SHOWN	DATE	04-03-13	JOB NUMBER	4858



SHEET
C-3.1



FOR LATE WINTER AND
EARLY SPRING:

SEEDING MIXTURE:
RYE (GRAIN) — 120 LB/ACRE
ANNUAL LESPEDEZA (KOBE) — 50 LB/ACRE
(OMIT ANNUAL LESPEDEZA WHEN DURATION
OF TEMPORARY COVER IS NOT TO EXCEED
BEYOND JUNE)

SEEDING DATES:
JAN. 1 — MAY 1

SOIL AMENDMENTS:
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE
AND 750 LB/ACRE 10-10-10 FERTILIZER

MULCH:
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH
ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING
TOOL

MAINTENANCE:
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING
EROSION OR OTHER DAMAGE

FOR SUMMER:

SEEDING MIXTURE:
GERMAN MILLET — 40 LB/ACRE
(A SMALL-STEMMED SUDANGRASS MAY BE
SUBSTITUTED AT A RATE OF 50 LB/ACRE)

SEEDING DATES:
MAY 1 — AUG. 15

SOIL AMENDMENTS:
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE
AND 750 LB/ACRE 10-10-10 FERTILIZER

MULCH:
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH
ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING
TOOL

MAINTENANCE:
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING
EROSION OR OTHER DAMAGE

FOR FALL:

SEEDING MIXTURE:
RYE (GRAIN) — 120 LB/ACRE

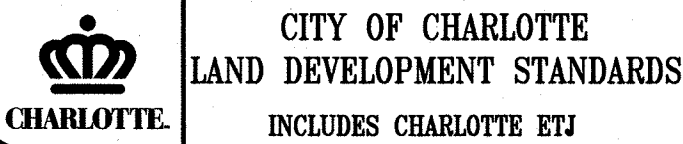
SEEDING DATES:
AUG. 15 — DEC 30

SOIL AMENDMENTS:
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE
AND 1,000 LB/ACRE 10-10-10 FERTILIZER

MULCH:
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH
ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING
TOOL

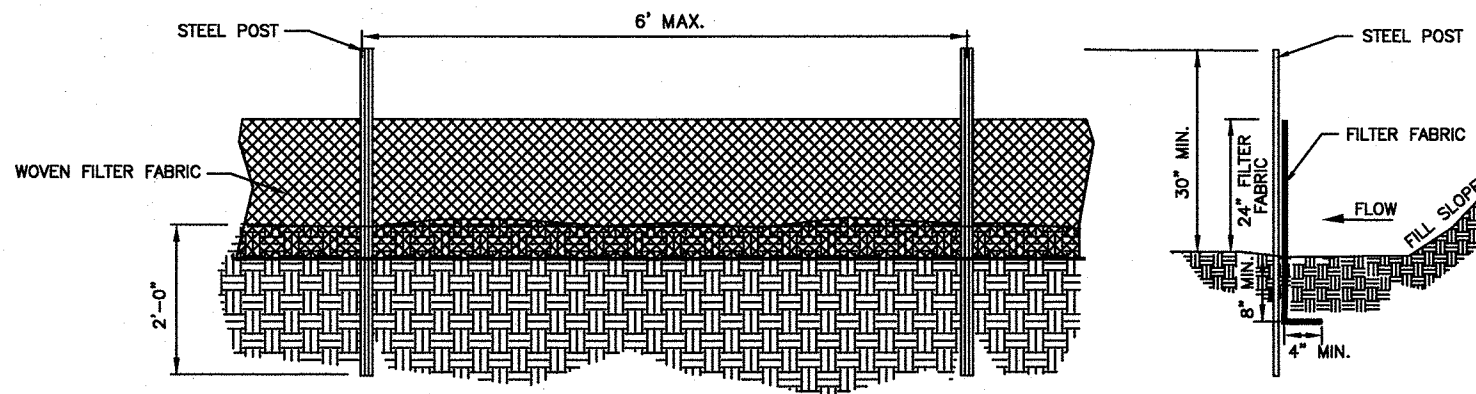
MAINTENANCE:
REPAIR AND REFERTILIZE DAMAGED AREAS IMMEDIATELY. TOPDRESS WITH 50 LB/ACRE OF NITROGEN IN
MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50
LB/ACRE KOBE LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

FOR ADDITIONAL INFORMATION, REFER TO NCDNR EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL (ESCPDM), SECTION 6.10.
FOR PERMANENT SEEDING SPECIFICATIONS, INCLUDING SEED BED PREP, SEASONAL LIMITATIONS FOR SEEDING OPERATIONS, THE KINDS OF GRADES OF
FERTILIZERS, THE KINDS OF SEED, AND THE RATES OF APPLICATION OF LIMESTONE, FERTILIZER, AND SEED, REFER TO NCDNR ESCPDM SECTION 6.11 AND
THE CHARLOTTE LANDSCAPE CONSTRUCTION SECTION 04200 SEEDING AND SODDING OF TURFGRASS.



TEMPORARY SEEDING SCHEDULE

STD. NO. REV.
30.17 9



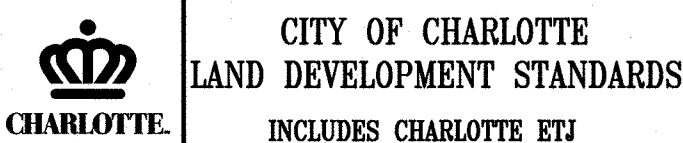
GENERAL NOTES:

- WOVEN FILTER FABRIC BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF
MORE THAN 30 DAYS.
- STEEL POSTS SHALL BE 8'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL
TYPE.
- TURN SILT FENCE UP SLOPE AT ENDS.
- ORANGE SAFETY FENCE IS REQUIRED AT BACK OF SILT FENCE WHEN GRADING IS
ADJACENT TO SWIM BUFFERS, STREAMS OR WETLANDS (REFER TO SWIM BUFFER
GUIDELINES). THE COLOR ORANGE IS RESERVED FOR VISUAL IDENTIFICATION OF
ENVIRONMENTALLY SENSITIVE AREAS.
- DRAINAGE AREA CAN NOT BE GREATER THAN 1/4 ACRE PER 100 FT OF FENCE.
- SLOPE LENGTHS CAN NOT EXCEED CRITERIA SHOWN IN TABLE 6.6.2A NORTH CAROLINA
EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.
- DO NOT INSTALL SEDIMENT FENCE ACROSS STREAMS, DITCHES, WATERWAYS OR OTHER
AREAS OF CONCENTRATED FLOW.

MAINTENANCE NOTES:

- FILTER BARRIERS SHALL BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY
OR HIS AGENT IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING
PROLONGED RAINFALL. ANY REPAIRS NEEDED SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END
OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE
FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH APPROX. HALF
THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE
AFTER THE SILT FENCE IS REMOVED SHALL BE DRESSED TO CONFORM TO THE
EXISTING GRADE, PREPARED AND SEED.

NOT TO SCALE

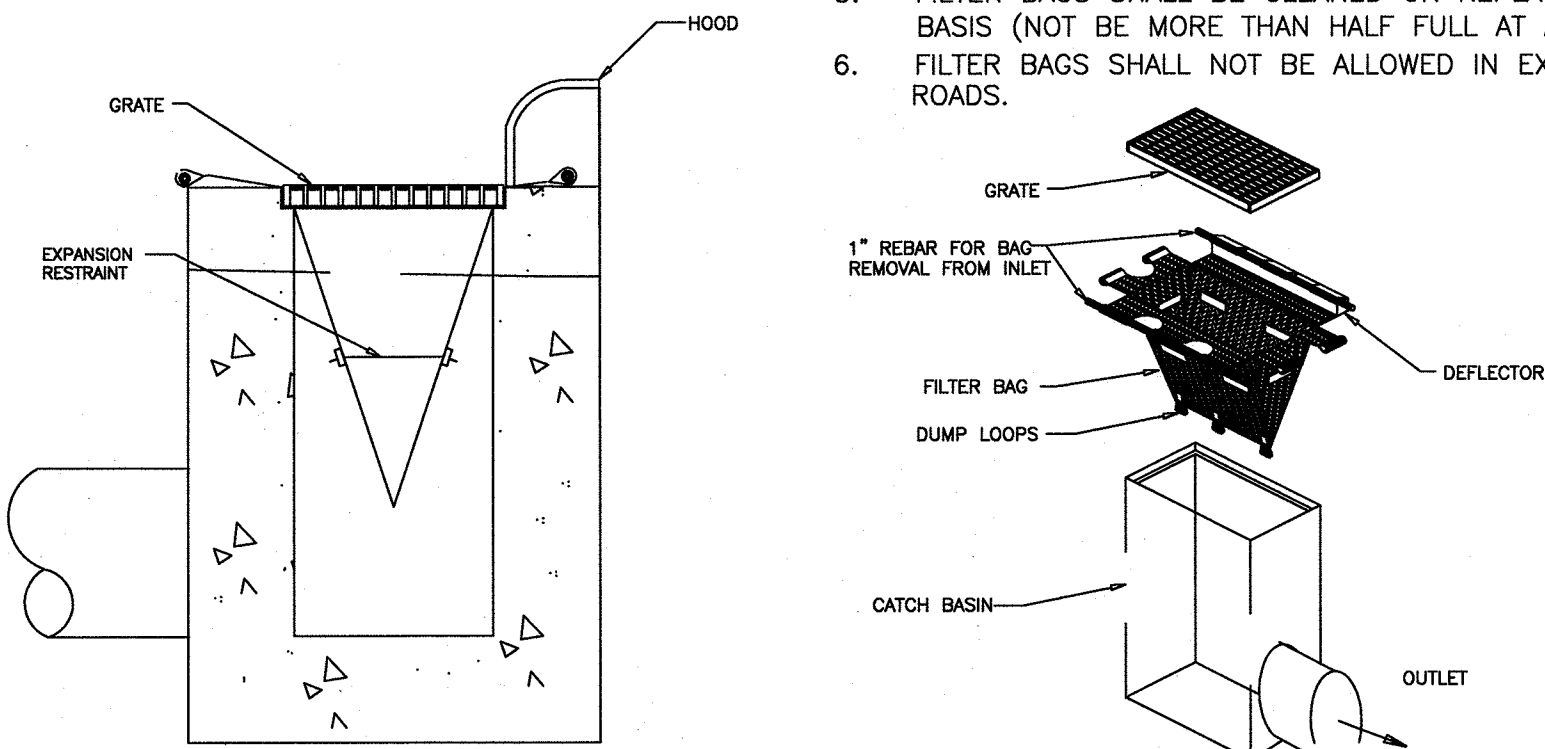


TEMPORARY SILT FENCE

STD. NO. REV.
30.06A 4

NOTES

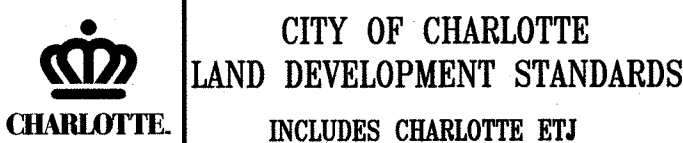
- INLET MAINTENANCE SHALL BE DOCUMENTED IN PROJECT LOG BOOK.
- FILTER TYPES SHALL BE APPROVED BY THE CITY INSPECTOR PRIOR TO
INSTALLATION.
- FILTER BAGS MAY BE REMOVED WHEN SITE IS STABILIZED AT
THE DIRECTION OF THE ENGINEER.
- FILTER BAGS SHALL BE REMOVED PRIOR TO STREET ACCEPTANCE.
- FILTER BAGS SHALL BE CLEANED OR REPLACED ON A REGULAR
BASIS (NOT BE MORE THAN HALF FULL AT ANY TIME).
- FILTER BAGS SHALL NOT BE ALLOWED IN EXISTING CITY OR NCDOT
ROADS.



SECTION

INSTALLATION

NOT TO SCALE



CATCH BASIN INLET PROTECTION

STD. NO. REV.
30.15

CONSTRUCTION SEQUENCE:

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND
THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS,
REGULATIONS, AND ORDINANCES IS MAINTAINED THROUGHOUT EXECUTION OF THIS
PROJECT.

- OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM THE CITY OF
CHARLOTTE ENGINEERING DEPARTMENT.
- SET UP AN ON-SITE PRE-CONSTRUCTION CONFERENCE WITH EROSION CONTROL
INSPECTOR OF THE CITY ENGINEERING DEPARTMENT TO DISCUSS EROSION
CONTROL MEASURES. FAILURE TO SCHEDULE SUCH A CONFERENCE 48 HOURS
PRIOR TO ANY LAND DISTURBING ACTIVITY IS A VIOLATION OF CHAPTER 17 OF
THE CITY CODE AND IS SUBJECT TO FINE.
- INSTALL SILT FENCE, INLET PROTECTION, SEDIMENT TRAPS, DIVERSION DITCHES,
TREE PROTECTION, AND OTHER MEASURES AS SHOWN ON PLANS, CLEARING
ONLY AS NECESSARY TO INSTALL THESE DEVICES.
- CALL FOR ON-SITE INSPECTION BY INSPECTOR. WHEN APPROVED, INSPECTOR
ISSUES THE GRADING PERMIT AND CLEARING AND GRUBBING MAY BEGIN.
- BEGIN DEMOLITION AND GENERAL EXCAVATION ON SITE. IT IS THE
RESPONSIBILITY OF THE CONTRACTOR TO PHASE/STAGE EROSION CONTROL TO
ALLOW FOR CONSTRUCTION. CONTRACTOR SHALL MEET WITH EROSION CONTROL
INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE OF EROSION CONTROL
MEASURES.
NOTE: CONTRACTOR SHALL INSPECT AND REPAIR ALL EROSION DEVICES AT
LEAST ONCE A WEEK AND AFTER EVERY RAINFALL. GRADING ACTIVITY SHALL
BE PROHIBITED IN THE AREAS OF THE SEDIMENT CONTROL
DEVICES/SEDIMENT TRAPS UNTIL THE AREAS UPSTREAM OF THESE DEVICES
HAVE BEEN STABILIZED AND APPROVED.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH
VEGETATION, PAVING, DITCH LININGS, ETC.. SEED AND MULCH DENUDED AREAS
WITHIN FOURTEEN (14) CALENDAR DAYS OF COMPLETION OF ANY PHASE OF
CONSTRUCTION.
NOTE: THE CONTRACTOR SHALL ENSURE THAT THE EROSION CONTROL
DEVICES REMAIN UNDISTURBED DURING CONSTRUCTION OF THE BUILDING
PADS AND ASSOCIATED PARKING/DRIVE AREAS ADJACENT TO THESE DEVICES
UNTIL THE CONTRIBUTING UPSTREAM AREAS HAVE BEEN STABILIZED AND
APPROVED.
- COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF
EROSION CONTROL MEASURES.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE
WITH THE N. C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN
MANUAL, U. S. DEPT. OF AGRICULTURE, CITY OF CHARLOTTE EROSION CONTROL
ORDINANCE, AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.

EROSION CONTROL NOTES:

- CONTRACTOR SHALL STABILIZE EXPOSED GROUND AS SOON AS INDIVIDUAL AREAS ARE COMPLETED.
- CONTRACTOR SHALL NOT REMOVE ANY BASIN UNTIL ALL SEDIMENT-PRODUCING AREAS UPSTREAM HAVE BEEN PERMANENTLY STABILIZED.
- STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDED AREAS
AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE SHOWN ON THE PLAN. ALL GRADED SLOPES MUST
BE SEED AND MULCHED WITHIN 14 CALENDAR DAYS AND WITHIN 7 CALENDAR DAYS FOR ANY STEEP SLOPES >3:1 AND PERIMETER AREAS. ALL OTHER
AREAS, 21 CALENDAR DAYS.
- ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE EROSION CONTROL INSPECTOR (CITY OF
CHARLOTTE).
- NO SLOPES SHALL EXCEED 2:1. FILL SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING.
- ALL SILT FENCE SHALL HAVE WIRE AND WASHED STONE.
- ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
- ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO
A FINE.
- GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF NC LAW AND IS SUBJECT TO A FINE.
- A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING EXCEEDING ONE ACRE THAT WAS NOT PREVIOUSLY APPROVED.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION
MUST BE OBTAINED FROM AFFECTED PROPERTY OWNERS.

NOTE:
REGULATIONS ADOPTED BY THE US ENVIRONMENTAL PROTECTION AGENCY (US EPA) AND BY THE NORTH CAROLINA DIVISION OF WATER
QUALITY REQUIRE THAT A NATURAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT BE OBTAINED FOR STORMWATER
DISCHARGES FROM CONSTRUCTION ACTIVITIES WITH LAND DISTURBANCE OF 1 ACRE OR MORE.

CONTRACTOR SHALL CHECK EROSION CONTROL MEASURES WEEKLY AND/OR AFTER A 1/2" OR MORE RAIN. CONTRACTOR SHALL KEEP
RECORDS OF EVERY INSPECTION.

MAINTENANCE PLAN

- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR
STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN
NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE
IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNATED.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT
BECOMES ABOUT 0.5 FT DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE
REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
- ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND
MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A
VIGOROUS, DENSE VEGETATIVE COVER.

REVISION NOTES:

- THE SITE INFRASTRUCTURE HAS BEEN COMPLETED IN
GENERAL ACCORDANCE WITH THE PREVIOUSLY APPROVED
PLANS.
- THE REVISIONS WHICH ARE PART OF REZONING PETITION
2013-016 ARE SPECIFIC TO REVISING STREETS TO
ACCOMMODATE SINGLE-FAMILY LOTS.
- THE EROSION CONTROL WILL BE SPECIFIC TO THE
PROPOSED SITE REVISIONS AND THE EROSION CONTROL
NOTES HAVE BEEN REVISED ACCORDINGLY.
- THE STORM WATER SYSTEM HAS BEEN INSTALLED AND
AS-BUILT.

STORM STRUCTURE SCHEDULE

From Structure	To Structure	Length (ft)	Pipe Diameter (in.)	Slope (ft/ft)	Rim Elev.	Inv. UP	Inv. DWN
DI-1	JB-2	38.68	18	0.0101	677.00	673.75	673.36
JB-2	JB-3	45.35	18	0.0390	683.25	673.26	671.49
JB-3	JB-4	45.28	18	0.0102	680.25	671.39	670.93
JB-4	JB-5	51.65	18	0.0101	678.00	670.83	670.31
FES-10	DCB-11	25.24	24	0.0052	-	671.56	671.43
DCB-11	CB-12	21.63	24	0.0051	678.78	671.33	671.22
CB-12	FES-13	23.17	24	0.0052	678.78	671.12	671.00
CS-14	JB-15	22.00	15	0.0364	-	670.80	670.00
JB-15	JB-5	19.03	15	0.0315	676.00	669.80	669.20
JB-5	EXCB	52.00	18	0.0769	675.00	669.00	665.00
CB-20	CB-21	17.00	15	0.0100	682.33	678.33	678.16
CB-21	MH-22	150.73	15	0.0050	682.33	678.06	677.30
MH-22	CB-23	53.61	15	0.0050	683.47	677.20	676.93
CB-23	CB-24	93.23	15	0.0050	685.00	676.83	676.36
CB-24	CB-33	58.21	15	0.0050	684.72	678.26	675.97
CB-30	CB-31	17.00	15	0.0100	682.56	678.56	678.39
CB-31	MH-32	38.94	15	0.0100	682.56	678.29	677.90
MH-32	CB-33	77.47	15	0.0223	683.50	677.70	675.97
CB-33	CB-34	120.44	15	0.0244	684.48	675.87	672.93
DI-40	MH-41	15.00	18	0.0100	680.00	673.65	673.50
MH-41	MH-42	55.99	18	0.0100	677.00	673.40	672.84
MH-42	CB-43	28.57	18	0.0102	677.50	672.74	672.45
CB-43	CB-34	17.00	24	0.0100	680.50	672.35	672.18
CB-34	JB-35	67.76	24	0.0086	680.50	672.08	671.50
JB-35	FES-36	17.00	24	0.0100	680.50	662.58	662.41
CS-36	FES-37	9.60	24	0.0156	-	659.15	659.00
Roof Drains							
RYD-1	Pond-1	259.00	8	0.0454	-	683.00	671.25
RYD-2	Pond-1	168.00	8	0.0670	-	683.50	672.25
RYD-3	Pond-2	207.00	8	0.0145	-	667.00	664.00
RYD-4	DI-40	129.05	8	0.0775	-	684.00	674.00

*All pipes are Class III RCP, unless noted otherwise.

**CB Rim Elevations at E.O.P.

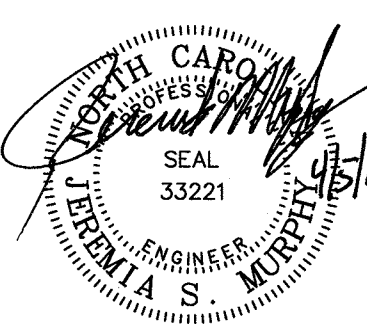
***HDPE Pipe



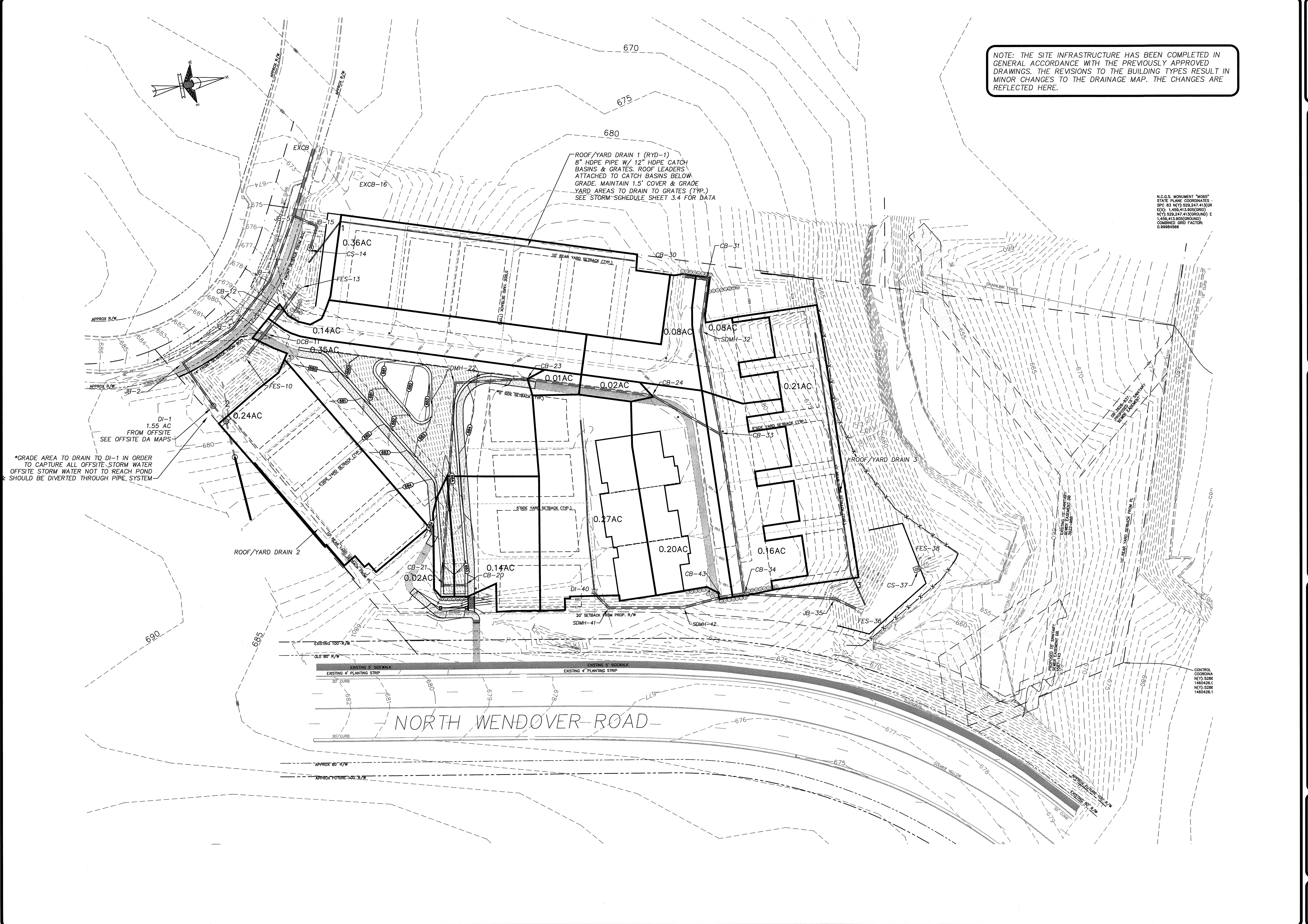
ISSUE
BY
DATE
NO.
1
2
3
4
5
PER CITY OF CHARLOTTE COMMENTS
REV. STORM SCHEDULE; RIPRAP APRON DATA PER REVIEWER
REV. CONSTRUCTION SCHEDULE PER REVISIONS FROM
REZONING PETITION 2010-043
PLANNING COMMENTS & CLIENT REVISIONS
UPDATED PER REZONING PETITION 2013-016

GARDENS AT WENDOVER
REVISIONS PER REZONING PETITION 2013-016
PULTE GROUP
1121 CARMEL COMMONS BLVD., SUITE 450
CHARLOTTE, NC 28226

CONSTRUCTION
NOTES & SCHEDULES
DESIGNED BY JSM
CHECKED BY JSM
DRAWN BY JLR
DATE 04-03-13
FOR NUMBER 4851-C
SCALE AS SHOWN



SHEET
C-3.3



NOTE: THE SITE INFRASTRUCTURE HAS BEEN COMPLETED IN GENERAL ACCORDANCE WITH THE PREVIOUSLY APPROVED DRAWINGS. THE REVISIONS TO THE BUILDING TYPES RESULT IN MINOR CHANGES TO THE DRAINAGE MAP. THE CHANGES ARE REFLECTED HERE.

N.C.G.S. MONUMENT "MOSS"
STATE PLANE COORDINATES
SPC 83 NUT: 529,247.413 (GR)
EPC: 1,459,413.905 (GR)
NUT: 529,247.413 (GROUND) E
1,459,413.905 (GROUND) COMBINED GRID FACTOR:
0.9994566

*GRADE AREA TO DRAIN TO DI-1 IN ORDER TO CAPTURE ALL OFFSITE STORM WATER OFFSITE STORM WATER NOT TO REACH POND & SHOULD BE DIVERTED THROUGH PIPE SYSTEM

ENGINEERING

2013 Van Buren Avenue
Indian Trail, NC 28079
(704) 882-4222
www.egline.com

NO.	DATE	BY	ISSUE
1	08/27/12	JLR	PLANNING COMMENTS & CLIENT REVISIONS
2	04/03/13	JLR	UPDATED PER REZONING PETITION 2013-016

GARDENS AT WENDOVER

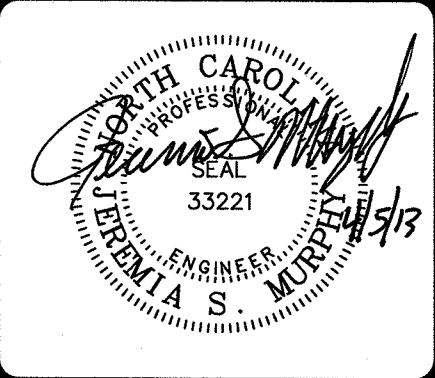
REVISONS PER REZONING PETITION 2013-016

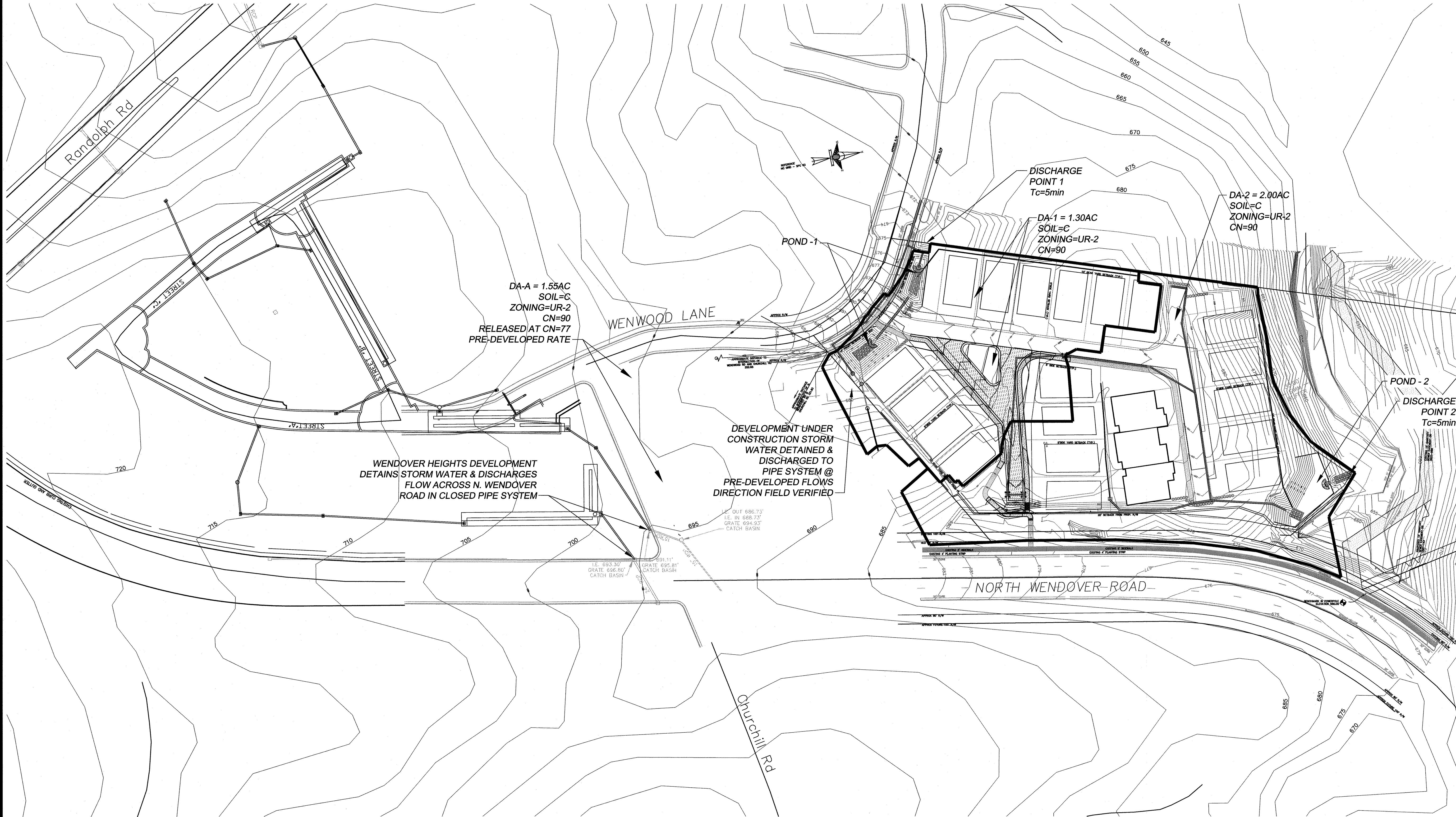
PULTE GROUP

1121 CARMEL COMMONS BLVD., SUITE 450

CHARLOTTE, NC 28226

DESIGNED BY	DRAWN BY	CHECKED BY	JOB NUMBER
JSM	JLR	JSM	4851-C
SCALE	DATE		
AS SHOWN	04-03-13		



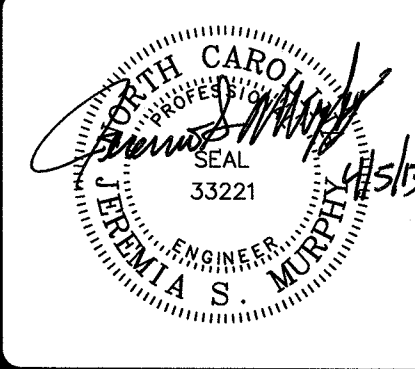


NO.	DATE	BY	ISSUE
1	08/27/12	JEL	PLANNING COMMENTS & CLIENT REVISIONS
2	04/03/13	JLR	UPDATED PER REZONING PETITION 2013-016

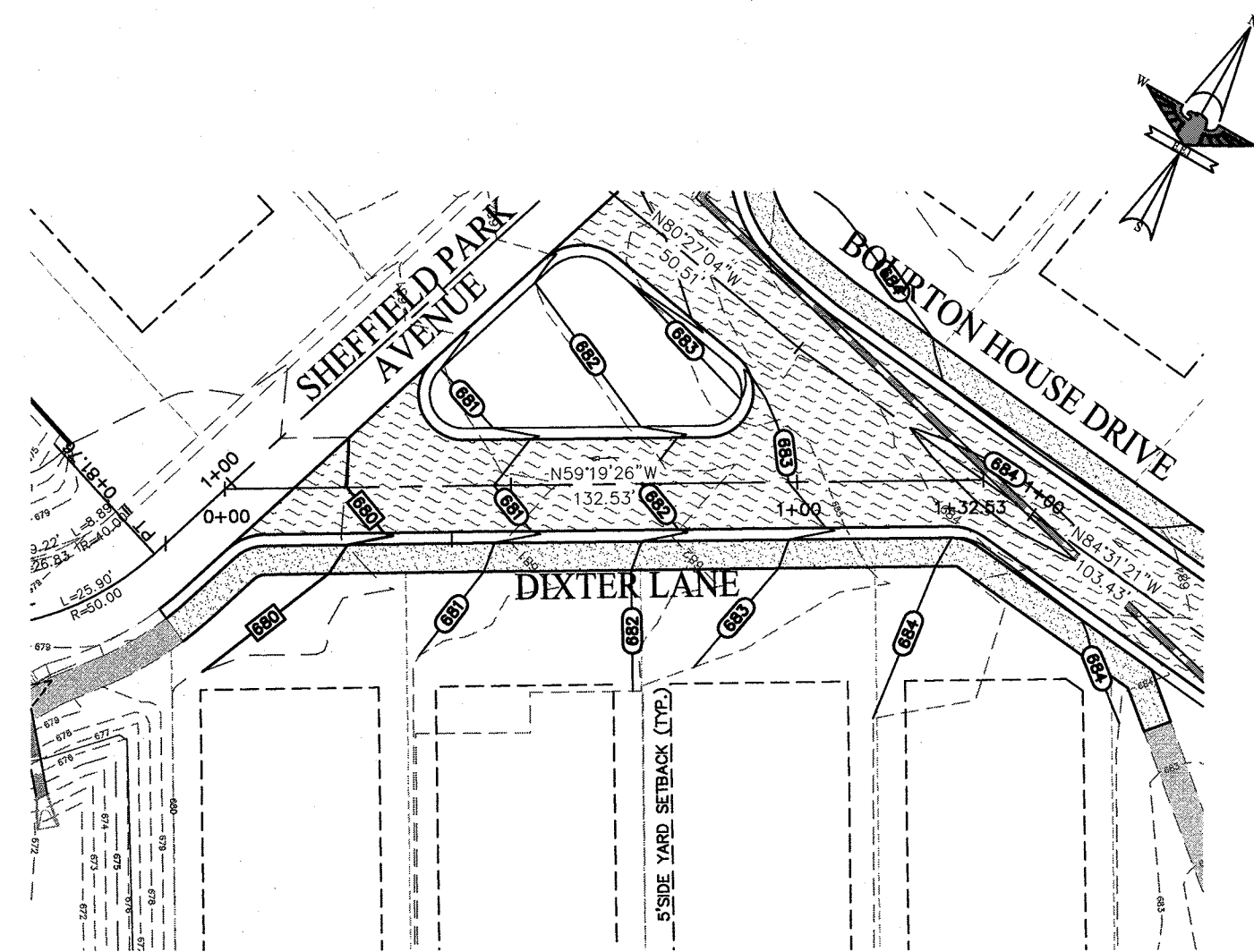
GARDENS AT WENDOVER
REVISIONS PER REZONING PETITION 2013-016

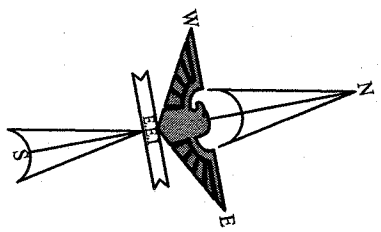
PULTE GROUP
1121 CARMEL COMMONS BLVD., SUITE 450
CHARLOTTE, NC 28226

DESIGNED BY	DRAWN BY	CHECKED BY	JOB NUMBER
JSM	JLR	JSM	4851-C
SCALE	DATE	DATE	DATE
AS SHOWN	04-03-13		



K:\land Project\DWG\DWG\Gardens at Wendover\RoadPlan\RoadPlan.dwg, 4/10/2013 2:00:27 PM





- NO OVERHEAD POWERLINES PRESENT WITHIN DEVELOPMENT.
- LARGE MATURING TREES TO BE PLANTED 50' ON CENTER PER SINGLE FAMILY TREE ORDINANCE.
- PLANT TREES 15' FROM BACK OF CURB, NOT MORE THAN 20' FROM BACK OF CURB.
- TREES TO BE PLANTED AFTER DRIVEWAY PLACEMENT HAS BEEN DETERMINED BY DEVELOPER
- TO AVOID CONFLICT AND POSSIBLE TREE RELOCATING.
- NO HERITAGE TREES ON SITE.

TREE PLANTING DETAILS
LOCATED ON SHEET 7.6
(INCLUDING 40.01 & 40.09)

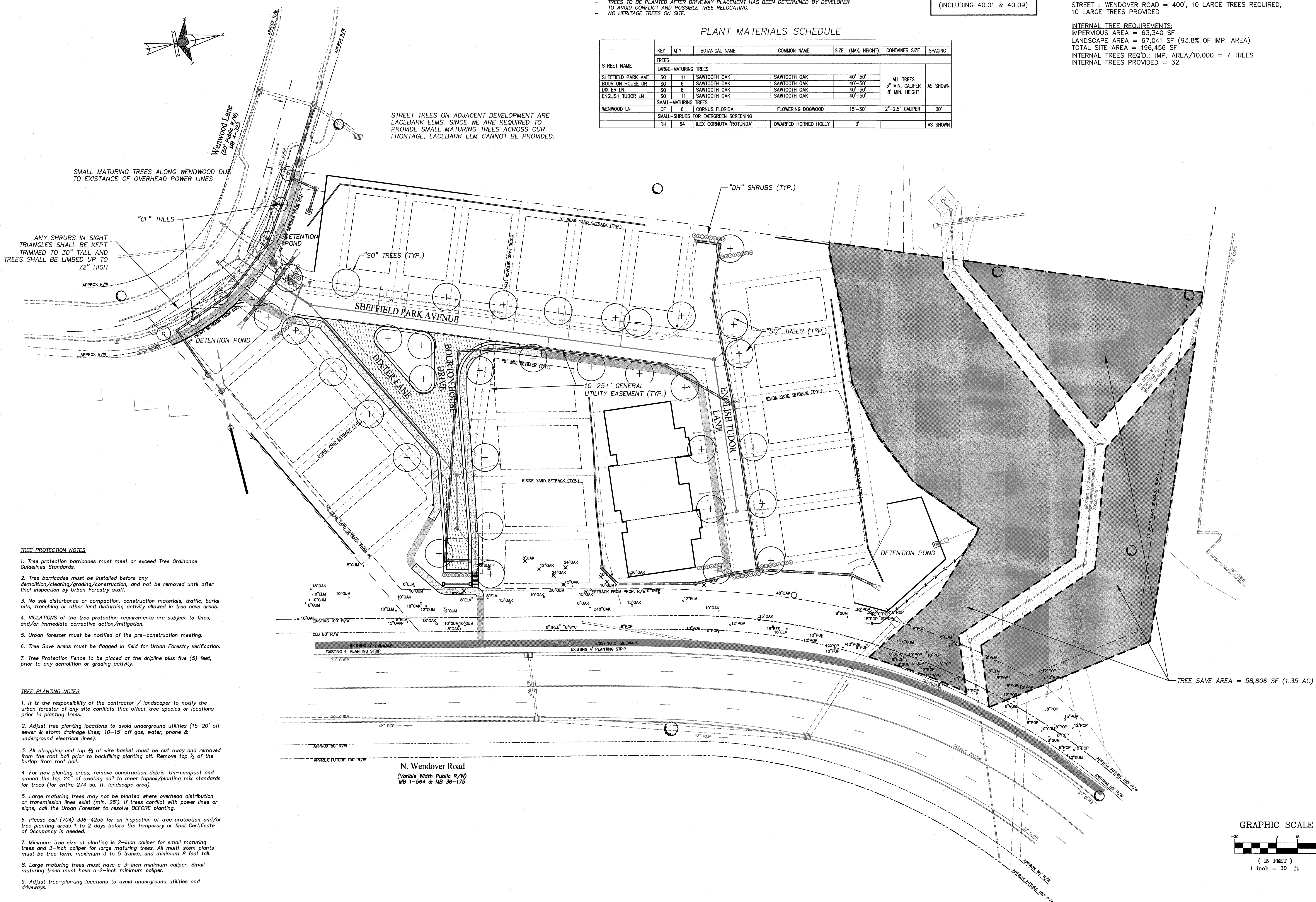
PLANT MATERIALS SCHEDULE

	KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE (MAX. HEIGHT)	CONTAINER SIZE	SPACING	
STREET NAME	TREES							
	LARGE-MATURING TREES							
	SHEFFIELD PARK AVE	SO	11	SAWTOOTH OAK	SAWTOOTH OAK	40'-50'	ALL TREES 3" MIN. CALIPER 8' MIN. HEIGHT AS SHOWN	
	BOURTON HOUSE DR	SO	6	SAWTOOTH OAK	SAWTOOTH OAK	40'-50'		
	DIXTER LN	SO	6	SAWTOOTH OAK	SAWTOOTH OAK	40'-50'		
	ENGLISH TUDOR LN	SO	11	SAWTOOTH OAK	SAWTOOTH OAK	40'-50'		
	SMALL-MATURING TREES							
	WENWOOD LN	CF	6	CORNUS FLORIDA	FLOWERING DOGWOOD	15'-30'	2'-2.5' CALIPER	30'
	SMALL-SHRUBS FOR EVERGREEN SCREENING							
		DH	64	ILEX CORNUTA 'ROTUNDA'	DWARFED HORNE HOLLY	3'		AS SHOWN

PERIMETER TREE REQUIREMENTS:
STREET : WENDWOOD LANE = 150' - 42' (DRIVE), 4 SMALL TREES REQUIRED, 6 SMALL TREES PROVIDED
STREET : WENDOVER ROAD = 400', 10 LARGE TREES REQUIRED, 10 LARGE TREES PROVIDED

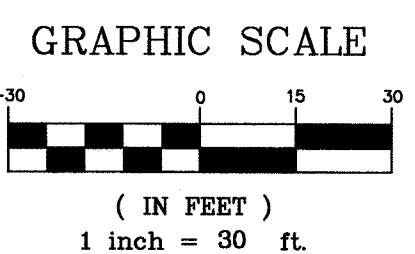
INTERNAL TREE REQUIREMENTS:
IMPERVIOUS AREA = 63,340 SF
LANDSCAPE AREA = 67,041 SF (93.8% OF IMP. AREA)
TOTAL SITE AREA = 196,456 SF
INTERNAL TREES REQ'D.: IMP. AREA/10,000 = 7 TREES
INTERNAL TREES PROVIDED = 32

STREET TREES ON ADJACENT DEVELOPMENT ARE LACEBARK ELMS. SINCE WE ARE REQUIRED TO PROVIDE SMALL MATURING TREES ACROSS OUR FRONTAGE, LACEBARK ELM CANNOT BE PROVIDED.



- TREE PROTECTION NOTES**
1. Tree protection barricades must meet or exceed Tree Ordinance Guidelines Standards.
 2. Tree barricades must be installed before any demolition/clearing/grading/construction, and not be removed until after final inspection by Urban Forestry staff.
 3. No soil disturbance or compaction, construction materials, traffic, burial pits, trenching or other land disturbing activity allowed in tree save areas.
 4. VIOLATIONS of the tree protection requirements are subject to fines, and/or immediate corrective action/mitigation.
 5. Urban forester must be notified of the pre-construction meeting.
 6. Tree Save Areas must be flagged in field for Urban Forestry verification.
 7. Tree Protection Fence to be placed at the dripline plus five (5) feet, prior to any demolition or grading activity.

- TREE PLANTING NOTES**
1. It is the responsibility of the contractor / landscaper to notify the urban forester of any site conflicts that affect tree species or locations prior to planting trees.
 2. Adjust tree planting locations to avoid underground utilities (15'-20' off sewer & storm drainage lines; 10'-15' off gas, water, phone & underground electrical lines).
 3. All strapping and top 2/3 of wire basket must be cut away and removed from the root ball prior to backfilling planting pit. Remove top 1/3 of the burlap from root ball.
 4. For new planting areas, remove construction debris. Un-compact and amend the top 24" of existing soil to meet topsoil/planting mix standards for trees (for entire 274 sq. ft. landscape area).
 5. Large maturing trees may not be planted where overhead distribution or transmission lines exist (min. 25'). If trees conflict with power lines or signs, call the Urban Forester to resolve BEFORE planting.
 6. Please call (704) 336-4255 for an inspection of tree protection and/or tree planting areas 1 to 2 days before the temporary or final Certificate of Occupancy is needed.
 7. Minimum tree size at planting is 2-inch caliper for small maturing trees and 3-inch caliper for large maturing trees. All multi-stem plants must be tree form, maximum 3 to 5 trunks, and minimum 8 feet tall.
 8. Large maturing trees must have a 3-inch minimum caliper. Small maturing trees must have a 2-inch minimum caliper.
 9. Adjust tree-planting locations to avoid underground utilities and driveways.



E A G L E
ENGINEERING

2013 VAN BUREN AVENUE
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www.eagleonline.net

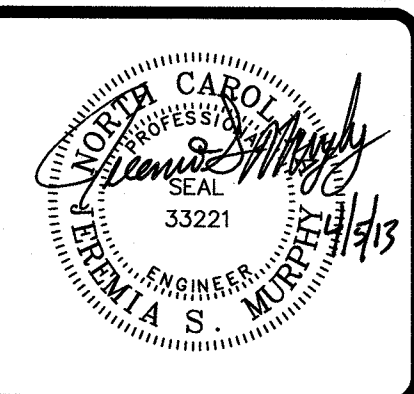
NO.	DATE	BY	ISSUE
1	08/09/06	DCM	REVISIONS PER CITY OF CHARLOTTE COMMENTS
2	3/15/07	JRP	REVISIONS PER CITY OF CHARLOTTE COMMENTS
3	08/27/12	JEL	REVISIONS PER CITY OF CHARLOTTE COMMENTS
4	06/05/13	JLR	UPDATED PER REZONING PETITION 2013-016

GARDENS AT WENDOVER
REVISIONS PER REZONING PETITION 2013-016

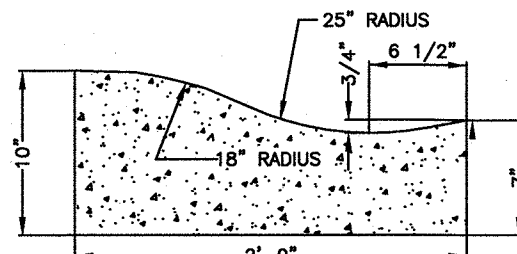
PULTE GROUP
1121 CARMEL COMMONS BLVD., SUITE 450
CHARLOTTE, NC 28226

LANDSCAPING PLAN

DESIGNED BY	JSM	CHECKED BY	JSM
DRAWN BY	JLR	DATE	04-03-13
SCALE	AS SHOWN	JOB NUMBER	4851-C

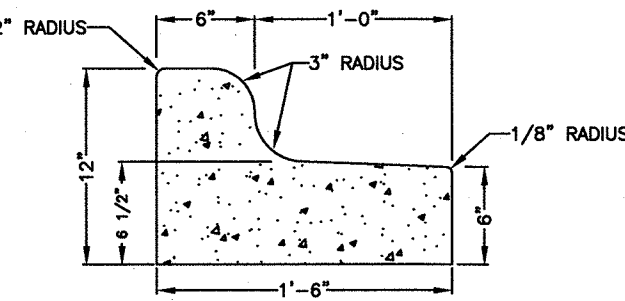


2'-0" VALLEY GUTTER



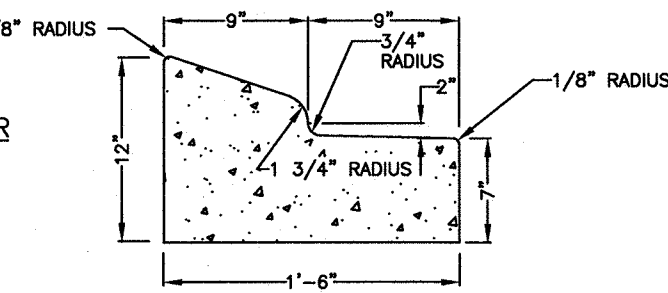
1'-6" MEDIAN CURB AND GUTTER

TO BE USED IN MEDIANS WHEN LANES ARE SLOPED FROM ISLAND OR AS SPECIFIED BY THE APPROPRIATE CITY ENGINEERING DEPT.



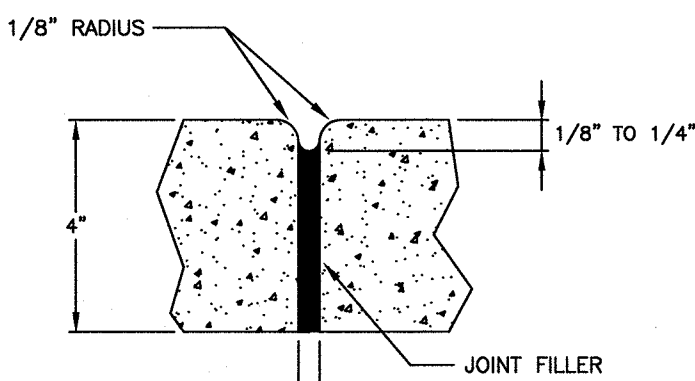
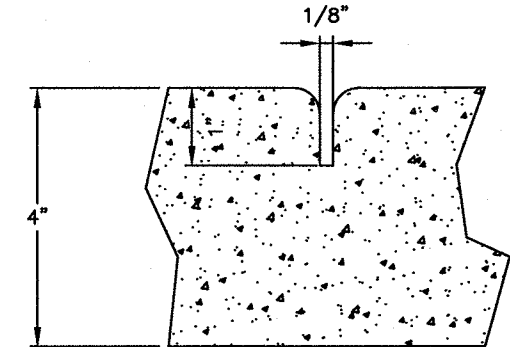
1'-6" MOUNTABLE CURB AND GUTTER

TO BE USED IN MEDIANS ONLY; WHEN SPECIFIED BY THE APPROPRIATE CITY ENGINEERING DEPT.



NOT TO SCALE

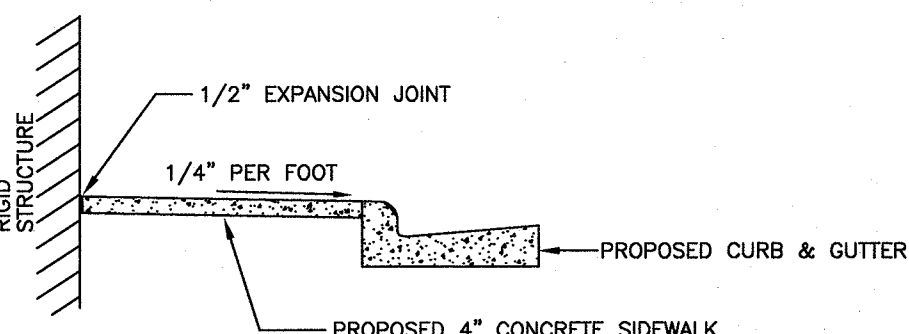
GROOVE JOINT IN SIDEWALK



TRANSVERSE EXPANSION JOINT IN SIDEWALK

GENERAL NOTES:

1. A GROOVE JOINT 1" DEEP WITH 1/8" RADII SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 45' INTERVALS NOT TO EXCEED 50' AND MATCHING EXPANSION/CONSTRUCTION JOINT IN ADJACENT CURB. A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
2. SIDEWALK AT DRIVEWAY ENTRANCES TO BE 6" THICK.
3. WIDTH OF SIDEWALK ON THOROUGHFARE STREETS SHALL BE A MINIMUM OF 5'. WIDTH OF SIDEWALKS IN THE CENTRAL BUSINESS DISTRICT WILL BE DETERMINED BY THE CDOT.
4. WIDTH OF SIDEWALKS ON NON-THOROUGHFARE STREETS SHALL BE A MINIMUM OF 4'.
5. SIDEWALK TO BE POURED TO END OF RADIUS AT INTERSECTING STREETS.
6. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI. IN 28 DAYS.
7. ZONING CONDITIONS MAY REQUIRE ADDITIONAL WIDTH SIDEWALKS WHICH SHALL SUPERSEDE THESE STANDARD DIMENSIONS SHOWN.



DETAILS SHOWING EXPANSION JOINTS IN CONCRETE SIDEWALK

NOT TO SCALE

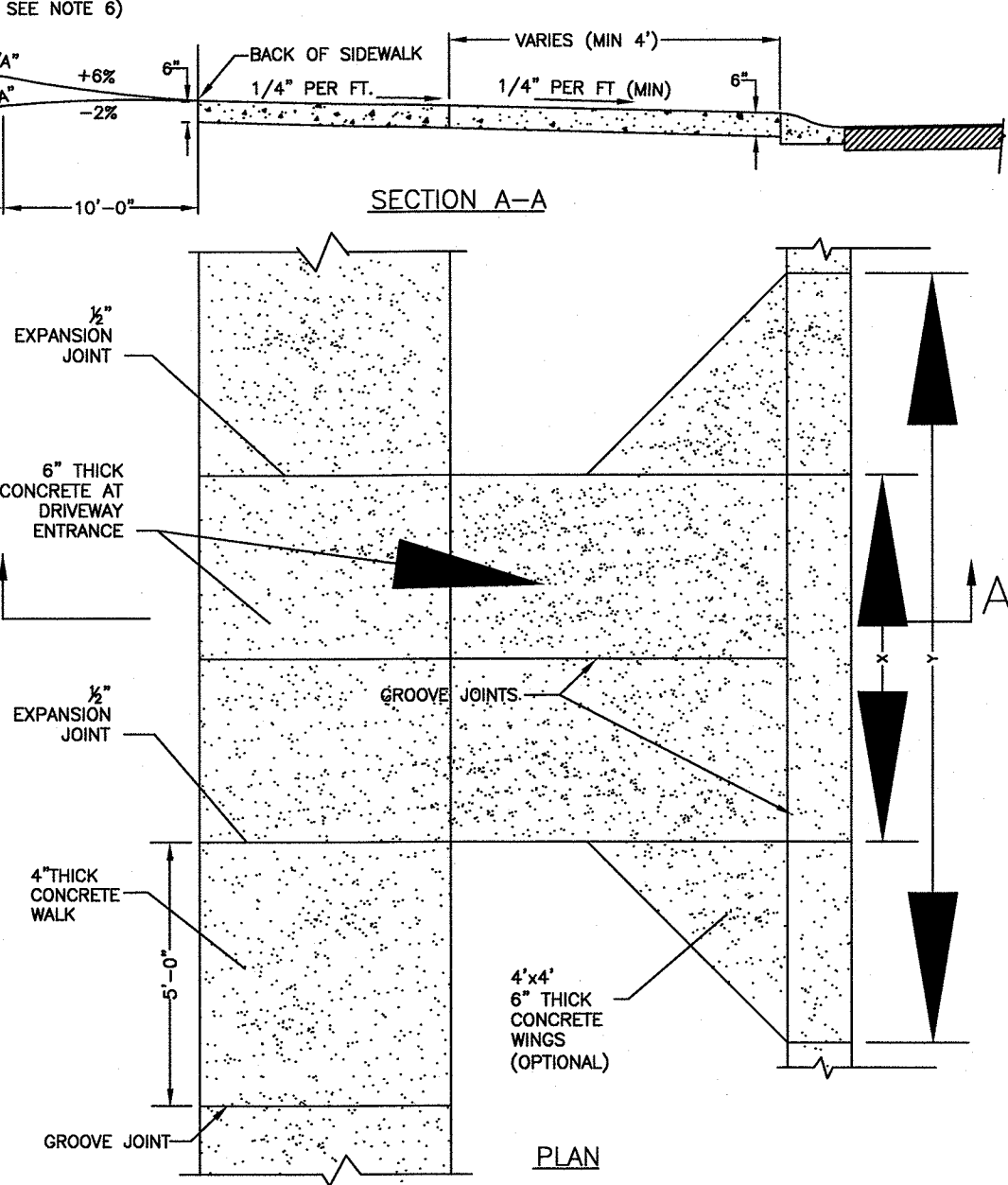
NOTES:

1. THE ELEVATION OF THE SIDEWALK SHALL BE NOT LESS THAN SIX INCHES OR MORE THAN EIGHTEEN INCHES ABOVE THE ROADWAY CROWN. THIS ELEVATION DIFFERENTIAL SHALL BE CONSISTENT WITHIN EACH BLOCK.
2. ALL CONCRETE TO BE 3600 PSI STRENGTH.
3. ALL CONSTRUCTION PRACTICES, INCLUDING COMPACTION, CURING, FINISHING, ETC. SHALL BE IN ACCORDANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS.
4. PLANTING STRIP SHALL BE GRADED WITH A CROSS SLOPE BETWEEN 1/2" IN. PER FOOT AND 1 1/4" IN. PER FOOT EXCEPT WHERE EXCESSIVE NATURAL GRADES MAKE THIS REQUIREMENT IMPRACTICAL. IN SUCH CASES, THE CITY ENGINEER MAY AUTHORIZE A SUITABLE GRADE.
5. ALL DRIVEWAYS MUST MEET THE CURRENT CITY DRIVEWAY REGULATIONS AND NOT REQUIREMENTS, INCLUDING BUT NOT LIMITED TO SPACING, SIGHT DISTANCE, AND OFFSETS FROM PROPERTY LINES AND INTERSECTIONS.
6. "A" BREAKOVER SHALL BE 8% OR LESS (A = ALGEBRAIC DIFFERENCE).
7. PRIOR APPROVAL IS REQUIRED BY CDOT ON GRADES EXCEEDING WHAT ARE SHOWN.

DRIVEWAY WIDTH		X	Y
TYPE I-RESIDENTIAL:	LOCAL/COLECTOR	10' MIN.	30' MAX. **
THOROUGHFARE *		15' MIN.	30' MAX. **

* MUST PROVIDE ON-SITE TURNAROUND
** MAXIMUM WIDTH INCLUDES OPTIONAL WINGS

NOT TO SCALE

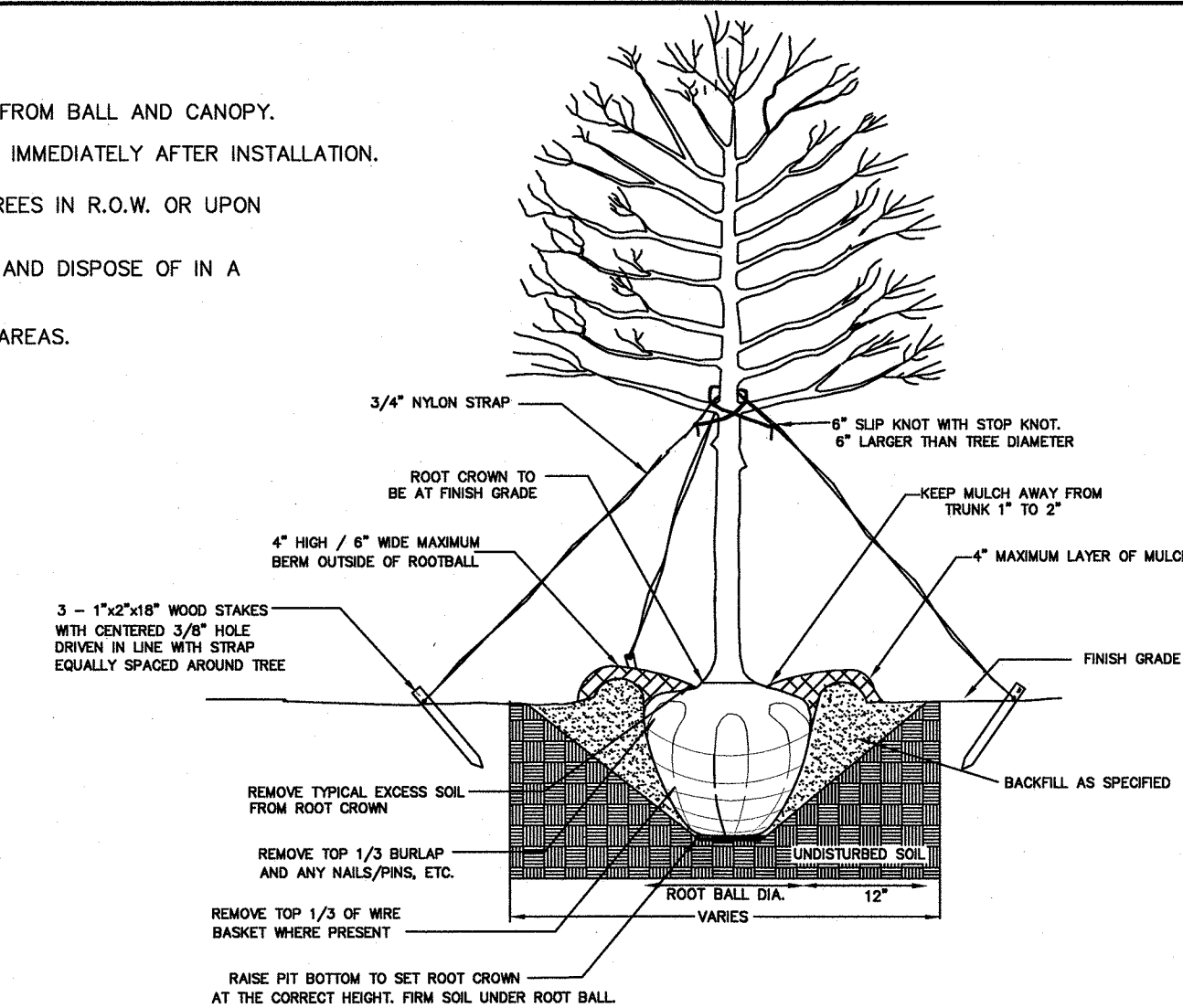


RESIDENTIAL DRIVEWAY (TYPE I) FOR 2'-0" VALLEY GUTTER

10.27A 8

NOTES:

1. REMOVE WIRE AND NYLON TWINE FROM BALL AND CANOPY.
2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
3. STAKING IS REQUIRED FOR ALL TREES IN R.O.W. OR UPON REQUEST OF ARBORIST.
4. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
5. RESEED UNMULCHED, DISTURBED AREAS.

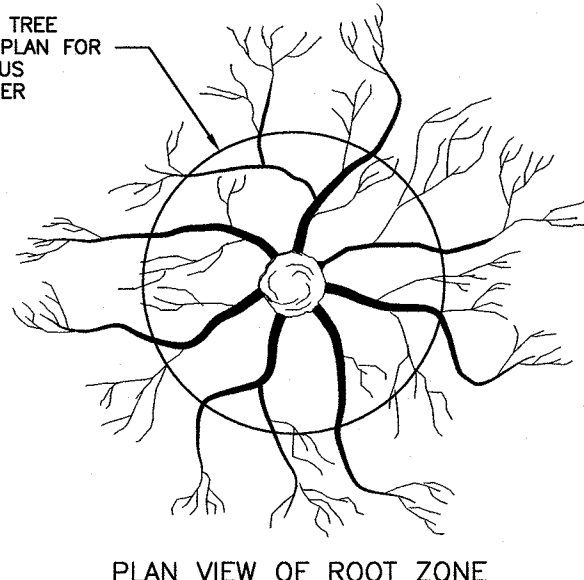


ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) FOR EXAMPLE:

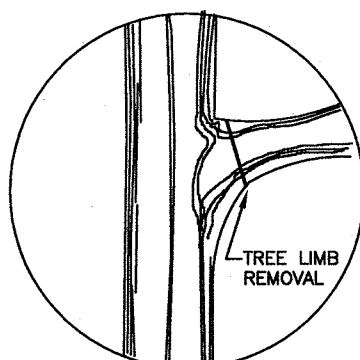
CALIPER	HEIGHT (RANGE)	MAX. HEIGHT	MIN. ROOT BALL DIA.	MIN. ROOT BALL DEPTH
2"	12-14'	18'	16"	16"
3"	14-16'	24'	24"	21"

NOT TO SCALE

SEE APPROVED TREE PRESERVATION PLAN FOR REQUIRED RADIUS OF TREE BARRIER



PLAN VIEW OF ROOT ZONE

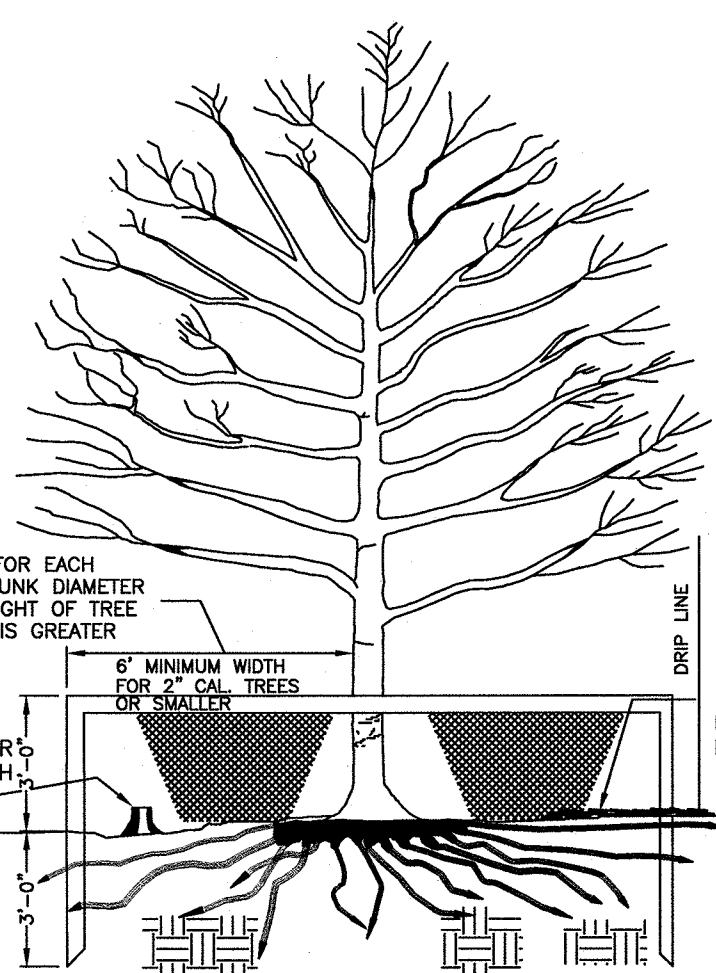


FOR PRUNING SEE INTERNATIONAL SOCIETY OF ARBORICULTURE SPECS.

DEAD TREES AND SCRUB OR UNDERGROWTH SHALL BE CUT FLUSH WITH ADJACENT GRADE. NO GRUBBING ALLOWED UNDER DRIP LINE.

NOTES:

1. REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT.
2. LANDSCAPING PLANS SHALL SHOW THE LOCATIONS OF ALL TREE PROTECTION FENCES.
3. REFER TO CITY OF CHARLOTTE LANDSCAPE CONSTRUCTION STANDARDS SECTION 01000 FOR GENERAL SPECIFICATION REGARDING TREE PROTECTION.



ONE FOOT FOR EACH INCH OF TRUNK DIAMETER OR 1/2 HEIGHT OF TREE WHICHEVER IS GREATER

6" MINIMUM WIDTH FOR SMALLER TREES

6" BARK MULCH, PLACE BARK MULCH AT AREAS NOT PROTECTED BY BARRIER.

2"x4" STANDARDS + 1"x4" RAILS OR ORANGE SAFETY FENCING MAY BE USED.

DRIP LINE

6" BARK MULCH, PLACE BARK MULCH AT AREAS NOT PROTECTED BY BARRIER.

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6" BARK MULCH, PLACE BARK MULCH AT AREAS NOT PROTECTED BY BARRIER.

I. MISCELLANEOUS

- A. CURRENT EDITIONS OF THE NCDOT ROADWAY STANDARD DRAWINGS AND SPECIFICATIONS MANUAL SHALL BE CONSIDERED PART OF THESE PLANS.
- B. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENTAL AGENCIES, THE ENGINEER, AND THE ARCHITECT. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SHALL SCHEDULE ANY NECESSARY INSPECTIONS ACCORDING TO AGENCY INSTRUCTIONS.
- C. ALL SPECIFICATIONS AND DOCUMENTS REFERRED TO IN THESE PLANS SHALL BE OF THE LATEST REVISION.
- D. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.

PROTECTION OF EXISTING UTILITIES

THE CONTRACTOR SHALL CONTACT THE APPROPRIATE AGENCY FOR THE EXACT FIELD LOCATIONS OF ALL WATER, SEWER, ELECTRIC, TELEPHONE, TELEVISION AND ANY OTHER UNDERGROUND AND OVERHEAD UTILITY BEFORE STARTING CONSTRUCTION. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATION ON THE CONTRACT DRAWINGS IS NOT TO BE CONSIDERED AS THE NON-EXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF WORK.

THE FOLLOWING LISTING OF UTILITY COMPANIES (WHICH MAY OR MAY NOT BE COMPLETE) MAY HAVE EXISTING UNDERGROUND OR OVERHEAD UTILITIES IN THE CONTRACT VICINITY.

1. PIEDMONT NATURAL GAS DISTRICT OFF.(704) 525-5585 EMERGENCY (704) 525-3620
2. CHARLOTTE-MECKLENBURG UTILITY DEPT. (WATER&SEWER).(704) 296-4210
3. N.C. DEPT. OF TRANSPORTATION.....(704) 596-6900
4. BELL SOUTH TELEPHONE.....(800) 632-4949
5. US SPRINT.....(800) 521-0579
6. AT&T.....(800) 632-4949
7. TELECOM USA.....(803) 548-0482, (800)968-5303
8. M.C.I.....(800) 288-6295, (800)624-9675
9. TIME WARNER.....(704) 938-5158
10. DUKE.....(704) 289-3145

NOTE: SOME OF THE ABOVE COMPANIES DO NOT SUBSCRIBE TO CAROLINA ONE CALL CAROLINA

ONE CALL.....(800) 632-4949

II. SAFETY

- A. DURING THE CONSTRUCTION AND MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS SHALL BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL.
- B. THE CONTRACTOR'S MAINTENANCE OF TRAFFIC PLAN MUST BE SUBMITTED AND APPROVED BY CDOT AND EAGLE ENGINEERING PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.
- C. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
- D. CONTRACTOR SHALL PROVIDE AND MAINTAIN HIS OWN SAFETY EQUIPMENT IN ACCORDANCE WITH HIS HEALTH & SAFETY PROGRAM AND ALL OTHER APPLICABLE LEGAL AND HEALTH AND SAFETY REQUIREMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING ITS EMPLOYEES AND SUB CONTRACTORS WITH ADEQUATE INFORMATION AND TRAINING TO ENSURE THAT ALL EMPLOYEES AND SUB CONTRACTORS AND SUB CONTRACTOR'S EMPLOYEES COMPLY WITH ALL APPLICABLE REQUIREMENTS. CONTRACTOR SHALL REMAIN IN COMPLIANCE WITH ALL OCCUPATION SAFETY AND HEALTH REGULATIONS AS WELL AS THE ENVIRONMENTAL PROTECTION LAWS. THE FOLLOWING IS NOT TO BE PERCEIVED AS THE ENTIRE SAFETY PROGRAM BUT JUST BASIC REQUIREMENTS.
- E. ALL EXCAVATIONS BY THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF THE DEPARTMENT OF LABOR'S OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION RULES AND REGULATIONS. PARTICULAR ATTENTION MUST BE PAID TO THE CONSTRUCTION STANDARDS FOR EXCAVATIONS, 29 CFR PART 1926, SUBPART P.
- F. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (U.S. DOT) SHALL BE FOLLOWED IN THE DESIGN APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKMEN FROM HAZARDS WITHIN THE PROJECT LIMITS.
- G. ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
- H. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.
- I. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE UTILITY COMPANIES PRIOR TO CONSTRUCTION TO OBTAIN FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES.
- J. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR CALLED FOR IN THIS CONTRACT.
- K. ALL UNDERGROUND UTILITIES MUST BE IN PLACE AND TESTED OR INSPECTED PRIOR TO BASE AND PAVEMENT CONSTRUCTION.

III. SITE PLAN AND COORDINATE GEOMETRY

- A. DESIGN DATA PREPARED BY EAGLE ENGINEERING AND SURVEYING
- B. ALL POINTS AND MONUMENTS SHALL BE SURVEYED UPON MOBILIZATION TO VERIFY THEIR ACCURACY. ANY DISCREPANCIES DISCOVERED MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING.
- C. MONUMENTS AND OTHER SURVEY CONTROL POINTS SHALL BE PROTECTED FROM DAMAGE AND DISTURBANCE. IF ANY CONTROL POINTS ARE DAMAGED OR DISTURBED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND REPLACE THE CONTROL POINTS TO THEIR ORIGINAL CONDITION AT HIS OWN EXPENSE.
- D. ALL ELEVATIONS REFER TO THE NATIONAL GEODETIC VERTICAL DATUM.
- E. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.
- F. ALL DIMENSIONS SHOWN ON PLAN ARE TO BACK OF CURB, EDGE OF PAVEMENT, CENTERLINE OF STRUCTURE, OR END OF PIPE UNLESS NOTED OTHERWISE.

IV. CLEARING/DEMOLITION

- A. THE CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEEDED, MULCHED, SODDED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.
- B. THE TOP 6" OF GROUND REMOVED DURING CLEARING AND GRUBBING SHALL BE STOCKPILED AT A SITE DESIGNATED BY THE OWNER OR THE OWNER'S ENGINEER TO BE USED FOR LANDSCAPING PURPOSES, UNLESS OTHERWISE DIRECTED BY THE OWNER OR THE OWNER'S ENGINEER. REMAINING EARTHWORK THAT RESULTS FROM CLEARING AND GRUBBING OR SITE EXCAVATION IS TO BE UTILIZED ON-SITE IF REQUIRED, PROVIDED THAT THE MATERIAL IS DEEMED SUITABLE FOR CONSTRUCTION BY THE OWNER'S SOILS TESTING COMPANY. EXCESS MATERIAL IS TO BE EITHER STOCKPILED ON THE SITE AS DIRECTED BY THE OWNER OR OWNER'S ENGINEER, OR REMOVED FROM THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING EXCESS EARTHWORK FROM THE SITE.
- C. ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATORY AGENCY REQUIREMENTS OR AS DIRECTED BY THE OWNER OR THE OWNER'S ENGINEER.

V. PAVING AND GRADING

- A. ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER, THE OWNER'S ENGINEER, OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER OR THE OWNER'S ENGINEER. EXCAVATED AREAS TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.
- B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.
- C. ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOIL TESTING COMPANY OR ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS OR THE REFERENCED SOILS REPORT.
- E. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
- F. CONTRACTOR SHALL PROVIDE EROSION CONTROL AND SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATERWAYS.
- G. IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION OR OTHER ACCEPTABLE METHODS.
- H. THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOD OR OTHER APPROVED MATERIALS AS REQUIRED BY ANY DISTURBED AREAS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER.
- I. ENGINEERED FILL MATERIAL SHALL NOT CONTAIN ROCKS OR HARD LUMPS GREATER THAN 3 INCHES IN MAXIMUM DIMENSIONS AND SHALL BE FREE OF VEGETATION, ORGANIC MATTER, DEBRIS, RUBBLE, AND OTHER UNSUITABLE MATERIALS.
- J. IMPORTED SOILS FOR USE AS ENGINEERED FILL AND SHALL NOT CONTAIN ROCKS OR HARD LUMPS GREATER THAN 3 INCHES IN MAXIMUM DIMENSIONS AND SHALL BE FREE OF VEGETATION, ORGANIC MATTER, DEBRIS, RUBBLE, AND OTHER UNSUITABLE MATERIALS.
- K. AGGREGATE BASE MATERIAL SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS.

SIEVE SIZE (PER ASTM D422)	PERCENT PASSING BY WEIGHT
1 INCH	100
3/4	90-100
NO. 8	35-55
NO. 200	0-8

- L. ALL AREAS TO RECEIVE FILL, AND AREAS OF STRUCTURES AND PAVEMENTS, SHALL BE STRIPPED OF VEGETATION, ORGANIC MATTER, DEBRIS, RUBBLE, AND OTHER UNSUITABLE MATERIALS. STRIPPED SOILS SHALL NOT BE USED IN ENGINEERED FILL, BUT MAY BE USED IN LANDSCAPE AREAS.

- M. ENGINEERED FILL MATERIAL SHALL BE COMPACTED TO AT LEAST THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT, PER ASTM D1557 (MODIFIED PROCTOR):

ENGINEERED FILL MATERIAL	MINIMUM PERCENT COMPACTION	MOISTURE CONTENT (RANGE)
NATIVE SOIL	92%	OPTIMUM TO OPTIMUM PLUS 3%
ENGINEERED FILL UNDER STRUCTURES & BEHIND RETAINING WALLS	95%	OPTIMUM TO OPTIMUM PLUS 3%
ENGINEERED FILL UNDER PAVEMENTS	100%	OPTIMUM PLUS OR MINUS 2%
FILL IN LANDSCAPE AREAS	92%	± TO 5% ABOVE OPTIMUM
AGGREGATE BASE MATERIAL OR IMPORTED GRANULAR SOIL IN BUILDING AND PAVEMENT AREAS	100%	OPTIMUM PLUS OR MINUS 2%

NOTE: MOISTURE CONTENT OF ENGINEERED FILL MATERIAL MAY REQUIRE ADJUSTMENT DURING CONSTRUCTION TO PREVENT SOIL PUMPING.

- N. ENGINEERED FILL SHALL BE PLACED IN LIFTS NO GREATER THAN 8 INCHES THICK (LOOSE).
- O. THE TOP 8 INCHES OF SOIL EXPOSED AT THE BOTTOM OF EXCAVATIONS SHALL BE COMPACTED, SCARIFIED AND COMPACTED AS ENGINEERED FILL PRIOR TO PLACEMENT OF ADDITIONAL FILL. IF SOFT OR LOOSE SOIL IS PRESENT AT THE BASE OF EXCAVATIONS, IT SHALL BE EXCAVATED AND/OR COMPACTED AS ENGINEERED FILL OR AS RECOMMENDED BY THE ENGINEER'S FIELD REPRESENTATIVE.
- P. IF SUBGRADE SOILS EXHIBIT PUMPING DURING COMPACTION, THE AREA SHALL BE ALLOWED TO DRY UNTIL THE SOILS BECOME WORKABLE WITHOUT PUMPING. THE MOISTURE CONTENT OF THE SOILS SHALL BE ADJUSTED TO PREVENT PUMPING.
- Q. EXPOSURE TO THE ENVIRONMENT MAY REDUCE THE STRENGTH OF SOILS IN FOOTING,FLOOR SLAB, AND PAVED AREAS. IF THIS OCCURS, THE SOFTENED SOILS SHALL BE REMOVED AND REWORKED IMMEDIATELY PRIOR TO CONCRETE PLACEMENT. IF RAINFALL IS EXPECTED AT A TIME WHEN BEARING SOILS IN FOOTING AREAS ARE EXPOSED, A 2 TO 4 INCH THICK LAYER OF LEAN CONCRETE MAY BE PLACED IN SUCH AREAS.
- R. THE SITE SHALL BE GRADED TO TRANSPORT SURFACE RUNOFF AWAY FROM THE STRUCTURES AND PAVED AREAS. WATER SHALL NOT BE ALLOWED TO ACCUMULATE (FOND) AROUND THE BUILDING PERIMETER OR ON PAVED AREAS.

GENERAL ROCK EXCAVATION:

ROCK SHALL BE DEFINED AS ANY MATERIAL WHICH CANNOT BE EXCAVATED WITH A SINGLE- TOOTH RIPPER DRAWN BY A CRAWLER TRACTOR HAVING A MINIMUM DRAW BAR PULL RATED AT NOT LESS THAN 56,000 POUNDS (CATERPILLAR D 8K OR EQUIVALENT).

THE VOLUME OF ROCK EXCAVATION SHALL BE DETERMINED BY A LICENSED SURVEYOR BY THE AVERAGE END AREA METHOD. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCALED PLAN WITH SUFFICIENT ELEVATION POINTS TO ACCURATELY DEFINE THE VOLUME OF ROCK EXCAVATED.

THE DEPTH OF ROCK SHALL BE DEFINED AS FROM TOP OF ROCK TO THE CONTRACT SPECIFIED ELEVATION FOR EXCAVATION.

CONTRACTOR SHALL BE COMPENSATED FOR ROCK EXCAVATION AS DEFINED HEREIN IN ACCORDANCE WITH CONTRACT UNIT PRICES.

TRENCH ROCK EXCAVATION:

TRENCH ROCK SHALL BE DEFINED AS ANY MATERIAL WHICH CANNOT BE EXCAVATED WITH A BACKHOE HAVING A BUCKET CURLING FORCE RATE AT NOT LESS THAN 24,700 POUNDS (CATERPILLAR MODEL 225 OR EQUIVALENT).

BASIS OF PAYMENT FOR TRENCH ROCK EXCAVATION:

PIPE TRENCH: THAT VOLUME DEFINED BY THE PIPE DIAMETER PLUS 18" AND THE DEPTH FROM TOP OF ROCK TO BOTTOM OF PIPE PLUS 6" MULTIPLIED BY THE ACTUAL LENGTH.

WALL FOOTING, PIT: THAT VOLUME DEFINED BY THE WIDTH OF FOOTING PLUS 12" AND THE DEPTH FROM TOP OF ROCK TO BOTTOM OF FOOTING MULTIPLIED BY THE ACTUAL LENGTH OF WALL.

COLUMN FOOTING: THE AREA OF THE COLUMN FOOTING MULTIPLIED BY THE DEPTH FROM TOP OF ROCK TO BOTTOM OF FOOTING.

CONTRACTOR SHALL BE COMPENSATED FOR ROCK EXCAVATION AS DEFINED HEREIN IN ACCORDANCE WITH CONTRACT UNIT PRICES.

- S. BACKFILL AND FILL SHALL CONFORM TO THE GENERAL REQUIREMENTS FOR SOIL MATERIALS ABOVE AND SHALL BE CLASSIFIED AS GW, GP, GM, GC, SW, SP, SM, SC, ML, CL BY ASTM D2487 AND SHALL CONFORM TO THE FOLLOWING:

1. SHALL BE CAPABLE OF BEING COMPACTED TO THE SPECIFIED DEGREE OF COMPACTION WHEN THE MOISTURE CONTENT IS WITHIN 3 PERCENTAGE POINTS OF THE OPTIMUM PERCENT MOISTURE.
2. LIQUID LIMIT SHOULD NOT EXCEED 40 PERCENT WHEN TESTED IN ACCORDANCE WITH ASTM D4318.
3. PLASTICITY INDEX SHOULD NOT BE GREATER THAN 30 PERCENT WHEN TESTED IN ACCORDANCE WITH ASTM D4318.
4. NO MORE THAN 75 PERCENT BY WEIGHT SHALL BE FINER THAN NO. 200 SIEVE WHEN TESTED IN ACCORDANCE WITH ASTM D1140.

- T. UNSUITABLE SOIL: SHALL BE ANY SOIL MATERIALS DETERMINED BY THE INDEPENDENT GEOTECHNICAL LABORATORY AS NOT CONFORMING TO THE REQUIREMENTS DESCRIBED ABOVE FOR BACKFILL AND FILL. A MOISTURE CONTENT WHICH IS MORE THAN 3 PERCENTAGE POINTS FROM OPTIMUM SHALL NOT BE CONSIDERED UNSUITABLE IF SUCH MATERIALS WOULD OTHERWISE BE SUITABLE IF THE MOISTURE CONTENT WERE ADJUSTED. ADJUSTMENTS TO THE SOIL MOISTURE CONTENT BY DRYING, MIXING, ADDING WATER, OR OTHER MEANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

- U. MEASUREMENT OF UNSUITABLE MATERIAL: THE VOLUME OF UNSUITABLE MATERIAL EXCAVATION SHALL BE DETERMINED BY A LICENSED SURVEYOR BY THE AVERAGE END AREA METHOD. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT A SCALED PLAN WITH SUFFICIENT ELEVATION POINTS TO ACCURATELY DEFINE THE VOLUME OF UNSUITABLE MATERIAL EXCAVATED. THE EXTENT OF UNSUITABLE MATERIAL EXCAVATION SHALL BE DETERMINED BY THE INDEPENDENT GEOTECHNICAL LABORATORY.

VI. EROSION/TURBIDITY CONTROL

- A. THE INSTALLATION OF TEMPORARY EROSION CONTROL BARRIERS SHALL BE COORDINATED WITH THE CONSTRUCTION OF THE PERMANENT EROSION CONTROL FEATURES TO THE EXTENT NECESSARY TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL OF EROSION AND WATER POLLUTION THROUGHOUT THE LIFE OF THE CONSTRUCTION PHASE.
- B. THE TYPE OF EROSION CONTROL BARRIERS USED SHALL BE GOVERNED BY THE NATURE OF THE CONSTRUCTION OPERATION AND SOIL TYPE THAT WILL BE EXPOSED. SILTY AND CLAYEY MATERIAL USUALLY REQUIRE SOLID SEDIMENT BARRIERS TO PREVENT TURBID WATER DISCHARGE, WHILE SANDY MATERIAL MAY NEED ONLY SILT SCREENS OR HAY BALES TO PREVENT EROSION. FLOATING TURBIDITY CURTAINS SHALL BE USED IN OPEN WATER SITUATIONS. DIVERSION DITCHES OR SWALES MAY BE REQUIRED TO PREVENT TURBID STORM WATER RUNOFF FROM BEING DISCHARGED TO WETLANDS OR OTHER WATER BODIES. IT MAY BE NECESSARY TO EMPLOY A COMBINATION OF BARRIERS, DITCHES AND OTHER EROSION/TURBIDITY CONTROL MEASURES IF CONDITIONS WARRANT.
- C. CONSTRUCTION OPERATIONS IN OR ADJACENT TO WETLANDS SHALL BE RESTRICTED TO THOSE AREAS IDENTIFIED IN THE PLANS AND IN THE SPECIFICATIONS.
- D. EXCEPT AS NECESSARY FOR CONSTRUCTION, EXCAVATED MATERIAL SHALL NOT BE DEPOSITED IN THE WETLANDS OR IN A POSITION CLOSE ENOUGH THERETO TO BE WASHED AWAY BY HIGH WATER OR RUNOFF.
- E. THE CONTRACTOR SHALL SCHEDULE HIS OPERATIONS SUCH THAT THE AREA OF UNPROTECTED ERODIBLE EARTH EXPOSED AT ANY ONE TIME IS NOT LARGER THAN THE MINIMUM AREA NECESSARY FOR EFFICIENT CONSTRUCTION OPERATIONS, AND THE DURATION OF EXPOSED, UNCOMPLETED CONSTRUCTION TO THE ELEMENTS SHALL BE AS SHORT AS PRACTICABLE. CLEARING AND GRUBBING SHALL BE SO SCHEDULED AND PERFORMED THAT GRADING OPERATIONS CAN FOLLOW IMMEDIATELY THEREAFTER, AND GRADING OPERATIONS SHALL BE SCHEDULED AND PERFORMED THAT PERMANENT EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER IF CONDITIONS ON THE PROJECT PERMIT.
- F. THE CONTRACTOR AND/OR OWNER'S REPRESENTATIVE SHALL PROVIDE ROUTINE MAINTENANCE OF PERMANENT AND TEMPORARY EROSION CONTROL FEATURES UNTIL THE PROJECT IS COMPLETE AND ALL DISTURBED SOILS ARE STABILIZED.

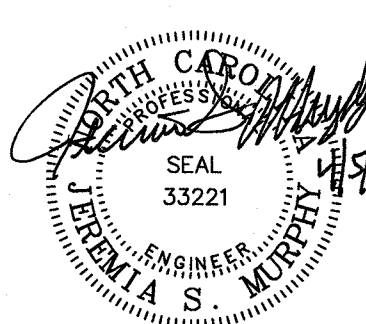


NO. 7 DATE 03/05/13 BY JLR ISSUED 03/05/13 UPDATED PER REZONING PETITION 2013-016

GARDENS AT WENDOVER
REVISIONS PER REZONING PETITION 2013-016
PULTE GROUP
1121 CARMEL COMMONS BLVD., SUITE 450
CHARLOTTE, NC 28226

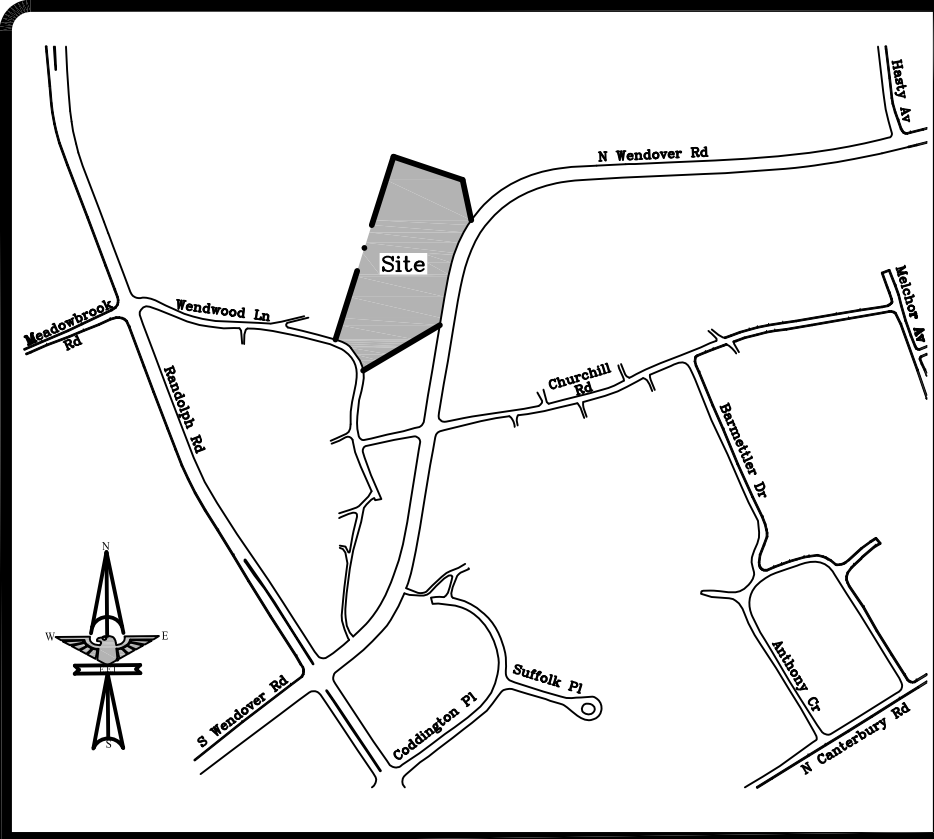
GENERAL NOTES

DESIGNED BY JSM CHECKED BY JSM
DRAWN BY JLR JOB NUMBER 4851-C
DATE 03-05-13 SCALE AS SHOWN

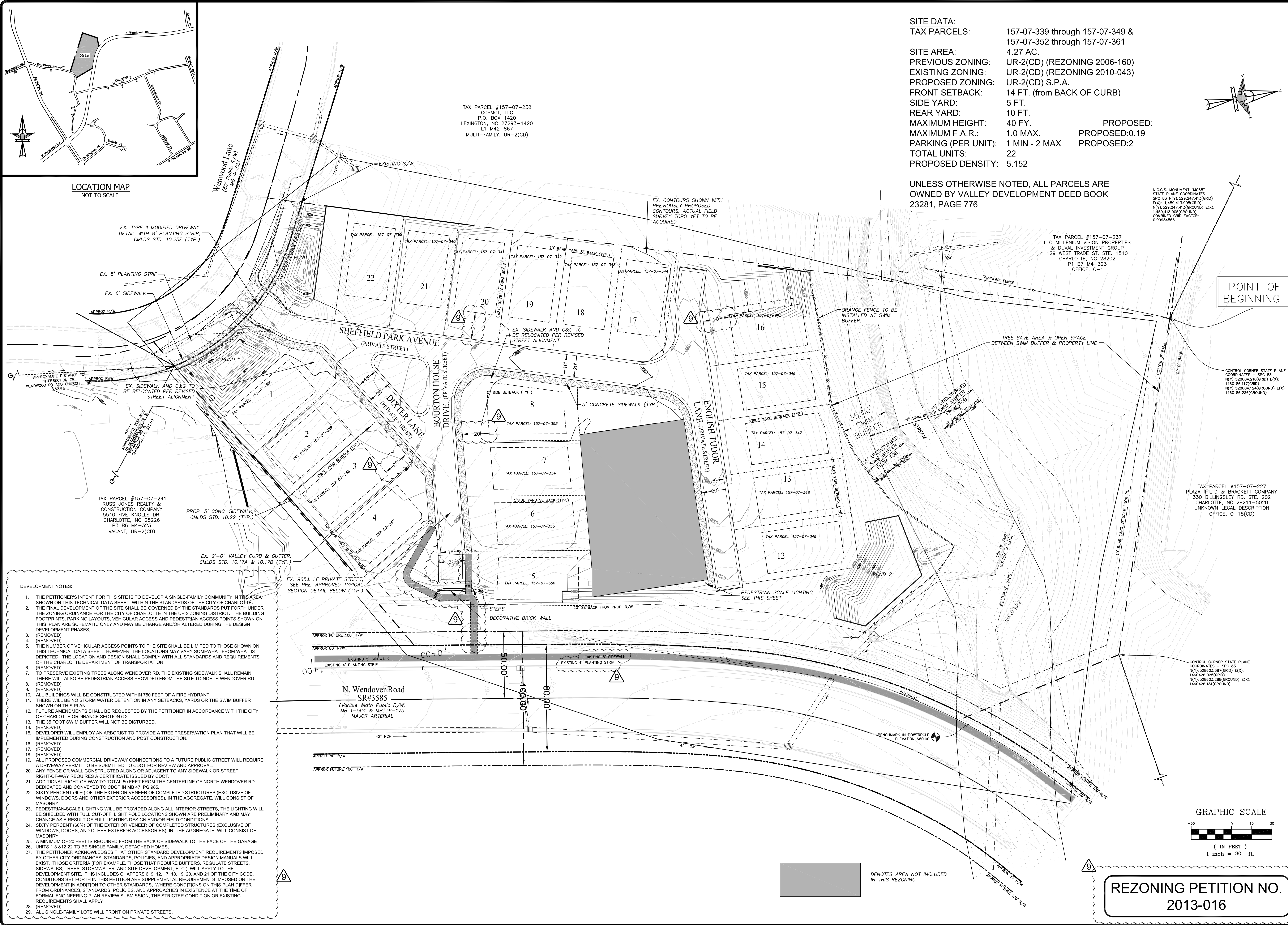


SHEET
C-7.2

RECEIVED
By mcaldo at 9:58 am, Feb 22, 2013



LOCATION MAP
NOT TO SCALE



NO.	DATE	BY	ISSUE
1	01/29/07	JMP	REVISIONS PER CITY OF CHARLOTTE COMMENTS
2	03/15/07	JRP	REVISIONS PER CITY OF CHARLOTTE COMMENTS
3	05/03/10	KEL	REVISED PROPOSED BUILDINGS AND LOTS
4	05/11/10	KEL	REVISED PER PLANNING DEPT. COMMENTS
5	03/10/11	JLR	REVISED PER PLANNING DEPT. COMMENTS
6	08/27/12	KEL	PLANNING COMMENTS & CLIENT REVISIONS
7	10/11/12	KEL	22 LOT, SINGLE FAMILY LAYOUT
8	11/26/12	JSM	SINGLE FAMILY LAYOUT, REVISED SETBACKS AND ROADS
9	01/31/13	JSM	REVISED PER REZONING PLAN REVIEW COMMENTS
10	02/20/13	KEL	WIDENED LOTS TO 41'

GARDENS AT WENDOVER
REVISIONS PER REZONING PETITION 2010-043
VALLEY DEVELOPMENT
316 WENDOVER AVE., NW
VIENNA, VA 22180

DESIGNED BY	DRAWN BY	CHECKED BY	JOB NUMBER
JSM	JSM	JHR	2884-C
SCALE	DATE		
AS SHOWN	11-26-12		

**PRELIMINARY
NOT FOR
CONSTRUCTION**

**SHEET
C-2.0**