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GENERAL NOTES

FOR TO BE OBTAINED PRIOR TO CONSTRUCTION. OFF-SITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED PRIOR TO CONSTRUCTION. THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT SHALL REVIEW AND APPROVE ALL CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.

THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (DOT) (704-336-1900) TO VERIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE SIGNALIZATION. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COSTS AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.

IF THE OWNER WISHES TO SAVE CERTAIN TREES ON THE SITE, PLACE TREE BARRICADES AS SHOWN ON THE PLAN OR AS SPECIFIED BY THE OWNER BEFORE CONSTRUCTION. THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT SHALL CONDUCT A TREE SURVEY AND REPORT TO THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

IN ORDER TO INSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.50% SLOPE ON CURB.

ALL ROAD IMPROVEMENTS AT ALEXANDER ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.

ANY BUILDING WITHIN THE 100' STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE) ACCUMULATION CONTROL/SUBVERSION ORDINANCE, SECTION 7.300.05.

ALL OPENINGS (i.e., DOORS, WINDOWS, ETC.) IN STRUCTURES BUILT ON LOTS SHOULD BE LOCATED A MINIMUM OF ONE (1) FOOT ABOVE FINISHED FLOOR GRADE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100' FLOOD ANALYSIS).

THE DEVELOPER SHALL MAINTAIN THE BED OF EACH STREAM, CREEK OR BACKWATER CHANNEL IN AN UNDISTURBED AND NATURAL STATE. CHANNELS, CREEKS AND BACKWATERS SHALL BE MAINTAINED IN THEIR ORIGINAL CHANNELS AND OTHER ACCUMULATIONS.

CONSTRUCTIVE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.

CURB AND GUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING.

APPROVAL OF THIS PLAN IS NOT AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT APPROVAL OF THIS PLAN IS NOT AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT APPROVAL OF THIS PLAN IS NOT AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT APPROVAL OF THIS PLAN IS NOT AUTHORIZATION TO GRADE ADJACENT PROPERTIES.

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DEVELOPMENT DATA

EXISTING ZONING: R-3 WITH TREE SAVE INCENTIVES

TOTAL SITE AREA: 78.82 AC (PHASE 1 AND PHASE 2)

NET SITE AREA: 13.28 AC (PHASE 1), 42.32 AC (PHASE 2)

LEASO DESIGNATED AREA: 2.33 AC (PHASE 1) + 10.95 AC (PHASE 2) = 13.28 AC (17.55%)

TOTAL TREE SAVE/NATURAL AREA: 2.33 AC (PHASE 1) + 10.95 AC (PHASE 2) = 13.28 AC (17.55%)

COMMON OPEN SPACE: 1.88 ACRES

CONVENTIONAL DENSITY ALLOWED (1/A098): 227 LOTS

PROPOSED # LOTS: 79 (11 LOTS/PHASE 1, 68 LOTS/PHASE 2)

LOT COVERAGE ALLOWED:

- MIN. LOT AREA: 10,000 SF
- MIN. FRONT SETBACK: 30' FROM BOC
- MIN. SIDEWALK: 5' FROM BOC
- MIN. SIDEWALK CORNER LOT: 10'
- MIN. REAR YARD: 40'
- MAXIMUM BUILDING COVERAGE: 30% (15,000 OR GREATER)

THIS PLAN IS A FINAL DESIGN-NOT RELEASED FOR CONSTRUCTION UNLESS INITIALED/DATED AS APPROVED:

APPROVED: _____ INITIALS _____ DATE _____

NO.	DATE	REVISION	BY
2	11/7/13	PER CITY COMMENTS	WJD
1	9/18/13	PER CITY COMMENTS	WJD

SHEET TITLE: **COVER SHEET**

PROJECT: **DEERFIELD PHASE 2**
CITY OF CHARLOTTE, MECK. CO., N.C.
FOR: **KEN DOWD**

SCALE: 1" = 100'

DATE: 10/23/13

DRAWN BY: YWH

CHECKED BY: MAH

DRAWING NO.: **230-94**

SHT 1 OF 32 SHEETS

YARBROUGH-WILLIAMS & HOULE, INC.
Planning & Surveying & Engineering
750 Woodson Oak Court, Charlotte, NC 28273
704.558.1890 704.558.5506(fax)

PCCO Summary

Original Parcel ID Number(s):	213-041-19
Development Type:	Single Family
Subject to PCCO? Y/N	Yes
IF NO, why?:	
Watershed:	Central Catawba
Disturbed Area (ac.):	4.65 + 21.69 = 26.34
Site Area (ac.):	13.28 + 62.36 = 75.64
Total on-site Drainage Area (ac.):	28.43
Existing Built-upon-area (SF):	20,200
Existing BUA to be removed (SF):	20,200
Existing BUA to remain (SF):	0
Proposed new BUA (SF):	238,077
Proposed % BUA:	19.2%
Density (High/Low):	Low
Total Post-Project BUA for site:	704,303 SF
Development or Redevelopment?	Development
Natural Area Required (ac.):	13.24 Ac. (17.55%)
Natural Area Provided (ac.):	2.33 + 10.95 Ac. = 13.28 Ac. (17.55%)
Total Stream Buffer protected on-site (ac.):	N/A
Transit Station Area? Y/N	No
Distressed Business District? Y/N	No
Mitigation Type (if applicable)	N/A
Natural Area Mitigation? Y/N	No
Buffer Mitigation? Y/N	No
Total Phosphorus Mitigation? Y/N	No

CHARLOTTE
http://development.charmeck.org

ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

URBAN FORESTRY
TREE ORDINANCE

CDOT

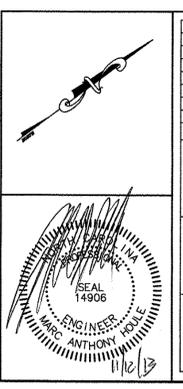
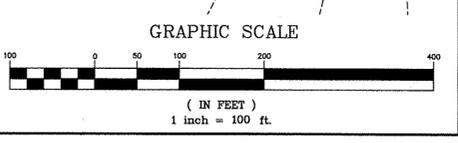
APPROVED
By **Brendan Smith** at 12:31 pm, Dec 13, 2013

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By **Brendan Smith** at 12:31 pm, Dec 13, 2013

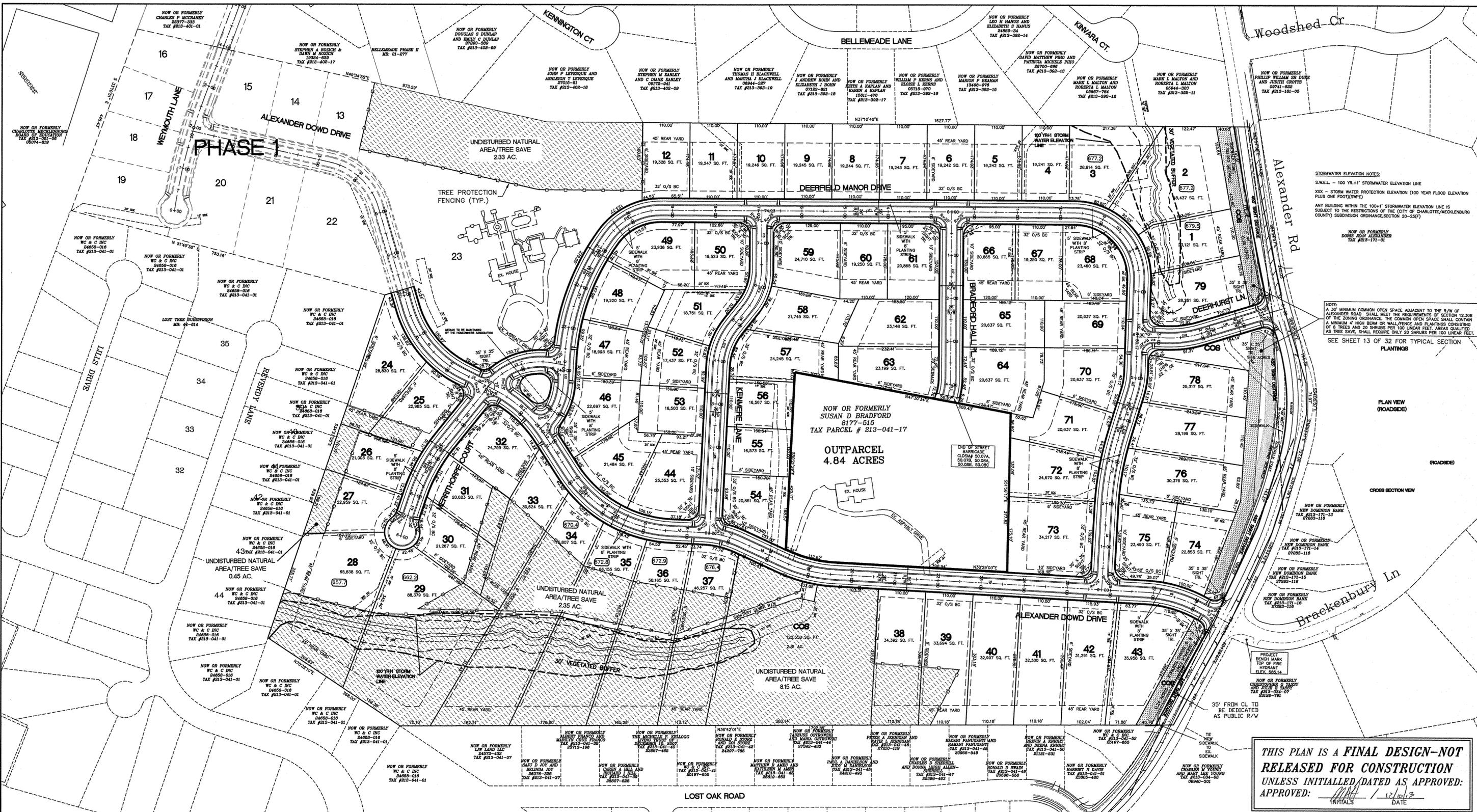
APPROVED
By **Gary Turner** (704-336-4330) at 10:45 am, Dec 16, 2013

APPROVED
By **Candice Leonard** at 4:20 pm, Dec 13, 2013

APPROVED FOR CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: **Joshua Weaver** 12-13-2013



** Storm Drainage After Rainfall II*



STORMWATER ELEVATION NOTES:
 S.W.E.L. - 100 YR.+1" STORMWATER ELEVATION LINE
 XXX - STORM WATER PROTECTION ELEVATION (100 YEAR FLOOD ELEVATION PLUS ONE FOOT)(SWP)
 ANY BUILDING WITHIN THE 100+1" STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 20-25(F)

PLANTING
 NOTE: A 30' MINIMUM COMMON OPEN SPACE ADJACENT TO THE R/W OF ALEXANDER ROAD SHALL MEET THE REQUIREMENTS OF SECTION 12.308 OF THE ZONING ORDINANCE. THE COMMON OPEN SPACE SHALL CONTAIN 6 TREES AND 20 SHRUBS PER 100 LINEAR FEET. AREAS QUALIFIED AS TREE SAVES SHALL REQUIRE ONLY 20 SHRUBS PER 100 LINEAR FEET.
 SEE SHEET 13 OF 32 FOR TYPICAL SECTION

THIS PLAN IS A FINAL DESIGN-NOT RELEASED FOR CONSTRUCTION UNLESS INITIALED/DATED AS APPROVED:
 APPROVED: [Signature] / 12/10/12
 INITIALS DATE

MAXIMUM BUILT UPON AREA

LOT	MAX. BUA	LOT	MAX. BUA	LOT	MAX. BUA	LOT	MAX. BUA
1	6,936 SF	28	19,791 SF	45	6,445 SF	62	6,944 SF
2	13,631 SF	29	26,513 SF	46	6,809 SF	63	6,959 SF
3	15,584 SF	30	6,380 SF	47	5,977 SF	64	6,191 SF
4	5,772 SF	31	6,186 SF	48	5,765 SF	65	6,191 SF
5	5,772 SF	32	7,439 SF	49	7,180 SF	66	6,259 SF
6	5,772 SF	33	9,187 SF	50	5,856 SF	67	5,775 SF
7	5,772 SF	34	22,742 SF	51	5,625 SF	68	7,038 SF
8	5,773 SF	35	19,846 SF	52	5,231 SF	69	6,191 SF
9	5,773 SF	36	17,449 SF	53	4,950 SF	70	6,191 SF
10	5,773 SF	37	13,877 SF	54	6,255 SF	71	6,191 SF
11	5,774 SF	38	10,317 SF	55	4,971 SF	72	7,401 SF
12	5,798 SF	39	10,108 SF	56	4,970 SF	73	10,265 SF
23	EXISTING	40	9,899 SF	57	7,273 SF	74	6,855 SF
24	8,649 SF	41	9,690 SF	58	7,413 SF	75	7,047 SF
25	6,936 SF	42	9,387 SF	59	7,413 SF	76	9,112 SF
26	6,301 SF	43	10,767 SF	60	5,775 SF	77	8,459 SF
27	6,987 SF	44	7,605 SF	61	6,259 SF	78	7,539 SF
						79	8,478 SF

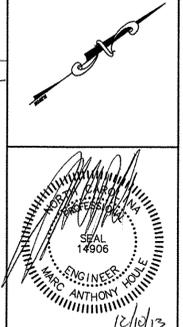
LINE TABLE

LINE	LENGTH	BEARING
L1	842.48	S69°32'57"E
L2	784.58	S63°44'42"W
L3	100.56	N85°56'56"W
L4	28.16	N39°40'24"E
L5	110.04	N61°43'20"E
L6	723.00	N39°59'56"W
L7	731.8	S65°34'27"W
L8	192.62	S50°00'04"E
L9	101.05	N35°56'03"W
L10	214.08	S51°15'27"E
L11	959.27	N37°10'24"E
L12	501.00	N50°19'36"W
L13	28.23	N47°03'48"E
L14	93.68	N34°19'36"W
L15	69.27	N38°44'33"E
L16	199.77	N19°55'22"E
L17	385.45	N52°49'36"W
L18	133.80	N52°49'36"W
L19	53.00	N14°32'38"W
L20	387.98	N50°19'36"W
L21	162.72	S14°18'17"E

CURVE TABLE

CURVE	BEARING	CHORD	RADIUS	LENGTH	PC	PT
C1	N87°05'52"E	198.20	250.00	203.79	74.2934	9+33.13
C2	S24°18'56"E	139.07	400.00	139.78	3+56.97	4+96.75
C3	S16°24'44"W	158.19	155.00	166.01	0+28.23	1+94.25
C4	N26°45'36"W	119.92	150.00	123.37	24+33.23	25+56.62
C5	S78°53'33"W	156.84	300.00	158.68	10+17.71	11+76.39
C6	N65°51'44"E	274.15	150.00	284.72	124+76.95	125+61.67
C7	S50°41'56"W	87.97	230.00	89.52	16+57.86	17+26.38
C8	N50°11'42"E	122.50	325.00	123.23	18+36.42	19+59.65
C9	S52°47'12"W	132.80	300.00	133.91	26+82.66	28+16.57
C10	S42°58'04"E	171.43	700.00	171.86	1+96.62	3+64.48
C11	N43°35'45"W	47.46	178.00	47.60	4+65.53	5+13.13
C12	S76°03'04"W	188.76	150.00	204.15	7+68.27	9+72.43
C13	N44°22'49"W	44.36	150.00	44.22	3+95.45	4+29.67
C14	N33°41'04"W	98.37	150.00	100.23	5+40.90	6+41.13
C15	S32°26'04"E	98.31	160.00	99.93	3+87.98	4+87.91
C16	S10°01'16"W	136.91	150.00	142.17	19+31.70	20+73.87
C17	S33°43'44"E	305.08	534.00	309.38	20+73.87	23+83.25
C18	N29°19'57"E	81.75	250.00	82.12	1+96.95	2+81.89

NOTE: 32' O/S BC = 32' OFFSET FROM BACK OF CURB
 GRAPHIC SCALE
 (IN FEET)
 1 inch = 100 ft



SITE PLAN

PROJECT: DEERFIELD PHASE 2
 CITY OF CHARLOTTE, MECK. CO., N.C.
 FOR: KEN DOWD

YARBROUGH-WILLIAMS & HOULE, INC.
 Planning • Surveying • Engineering
 730 Windsor Oak Court Charlotte, NC 28273
 704.558.1990 704.558.0566(fax)

DATE: 12/10/12
 SCALE: 1"=100'
 SHEET: 230-93
 OF 32 SHEETS