

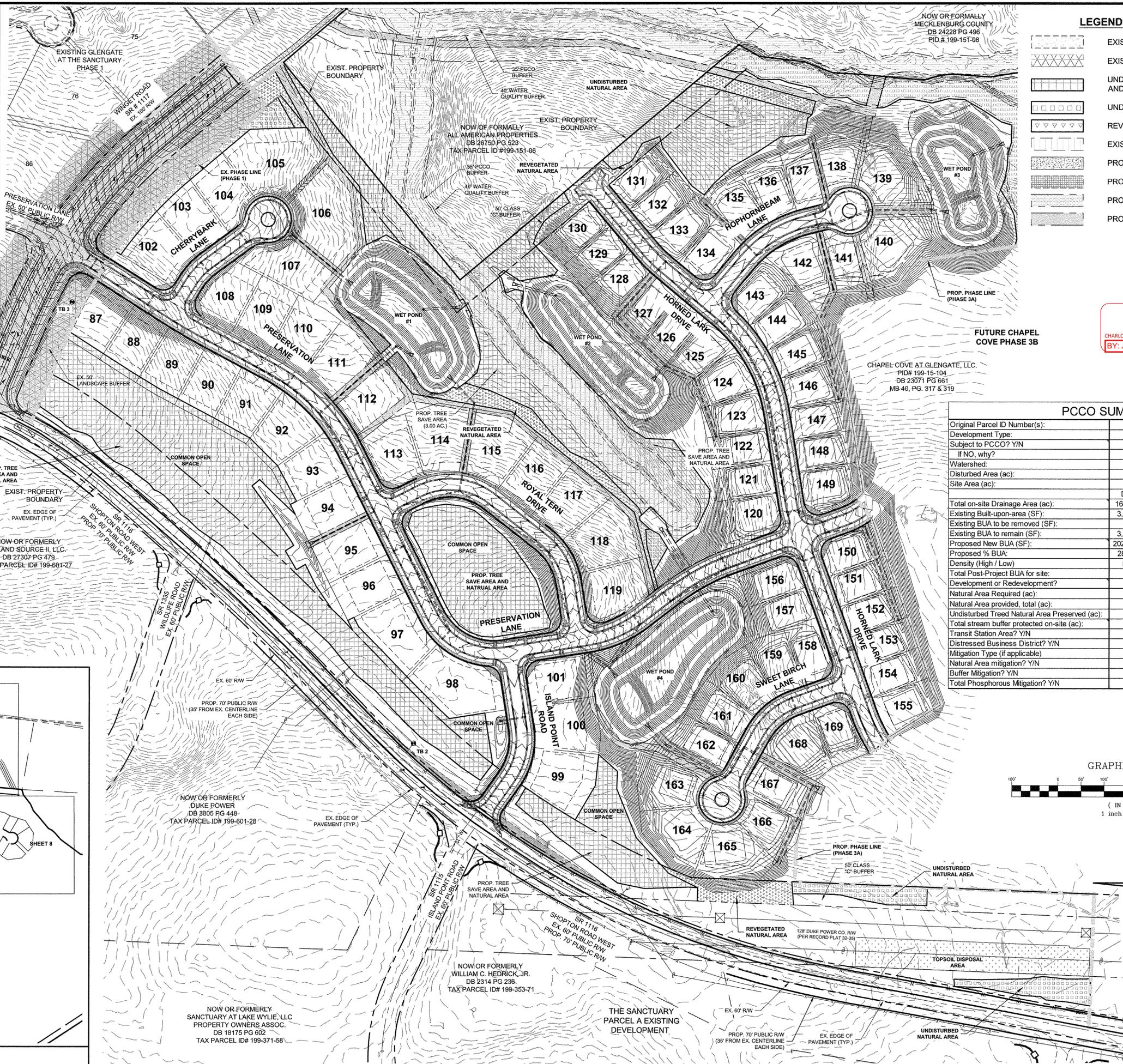
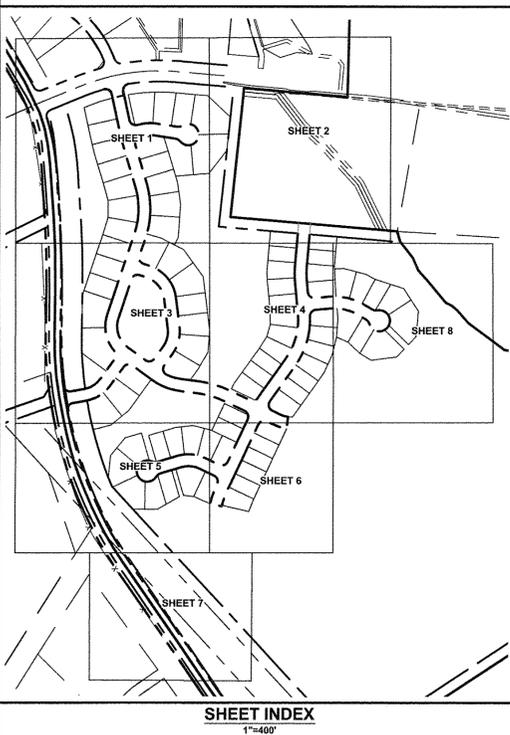
TBM 1  
NAIL IN POWER POLE  
ELEV.=661.24

TBM 2  
NAIL IN POWER POLE  
ELEV.=651.551

TBM 3  
RR SPIKE IN POWER POLE  
ELEV.=658.38

SEE APPROVED PLANS BY  
ESP ASSOCIATES, P.A.  
TITLED "GLENGATE AT THE  
SANCTUARY PHASE 1" FOR  
CAROWINDS BLVD. EXTENSION  
INFORMATION

NOW OR FORMERLY  
SANCTUARY AT LAKE WYLIE, LLC  
DB 16493 PG 360  
TAX PARCEL ID# 199-161-09



NOW OR FORMERLY  
MECKLENBURG COUNTY  
DB 24228 PG 496  
PID# 199-151-08

**LEGEND**

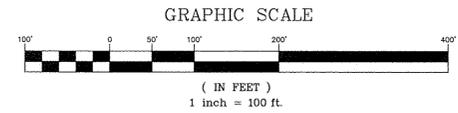
	EXIST. SIDEWALK
	EXIST. LANDSCAPE BUFFER
	UNDISTURBED NATURAL AREAS AND TREE SAVE AREAS
	UNDISTURBED NATURAL AREAS
	REVEGETATED NATURAL AREAS
	EXIST. PCCO BUFFER
	PROP. SIDEWALK
	PROP. SIGHT TRIANGLE
	PROP. STORM DRAINAGE EASEMENT (SDE)
	PROP. SANITARY SEWER EASEMENT

**APPROVED FOR CONSTRUCTION**  
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
BY: Joshua Weaver 5-3-2013 1of 2

CHAPEL COVE AT GLENGATE, LLC.  
PID# 199-15-104  
DB 23071 PG 661  
MB 40, PG. 317 & 319

**PCCO SUMMARY**

Original Parcel ID Number(s):	199-151-04			
Development Type:	Single-Family			
Subject to PCCO? Y/N	Yes			
If NO, why?	N/A			
Watershed:	Western Catawba			
Disturbed Area (ac):	47.16 ac.			
Site Area (ac):	59.89 ac.			
Total on-site Drainage Area (ac):	DA#1	DA#2	DA#3	DA#4
Existing Built-upon-area (SF):	16.14 ac.	6.28 ac.	5.69 ac.	17.47 ac.
Existing BUA to be removed (SF):	3,892 sf	0 sf	0 sf	16,218 sf
Existing BUA to remain (SF):	0 sf	0 sf	0 sf	0 sf
Proposed New BUA (SF):	3,892 sf	0 sf	0 sf	16,218 sf
Proposed % BUA:	202,575 sf	118,850 sf	77,779 sf	166,794 sf
Density (High / Low):	28.97%	43.45%	31.40%	22.39%
Total Post-Project BUA for site:	14.03 ac.			
Development or Redevelopment?	Development			
Natural Area Required (ac):	14.97 ac.			
Natural Area provided, total (ac):	14.97 ac.			
Undisturbed Treed Natural Area Preserved (ac):	10.03 ac.			
Total stream buffer protected on-site (ac):	3.13 ac.			
Transit Station Area? Y/N	NO			
Distressed Business District? Y/N	NO			
Mitigation Type (if applicable)	N/A			
Natural Area mitigation? Y/N	N/A			
Buffer Mitigation? Y/N	N/A			
Total Phosphorous Mitigation? Y/N	N/A			



NOW OR FORMERLY  
DUKE POWER  
DB 3805 PG 448  
TAX PARCEL ID# 199-601-28

NOW OR FORMERLY  
WILLIAM C. HEDRICK, JR.  
DB 2314 PG 236  
TAX PARCEL ID# 199-353-71

NOW OR FORMERLY  
SANCTUARY AT LAKE WYLIE, LLC  
PROPERTY OWNERS ASSOC.  
DB 18175 PG 602  
TAX PARCEL ID# 199-371-58

THE SANCTUARY  
PARCEL A EXISTING  
DEVELOPMENT

ESP ASSOCIATES, P.A.  
P.O. Box 7030  
Charlotte, NC 28241  
3475 Lakewood Blvd.  
Fort Mill, SC 29708  
704-583-6949 (NC)  
803-502-5440 (SC)  
www.espassociates.com

**ESP**

NORTH CAROLINA  
LICENSE NO.:  
C-0587  
ESP ASSOCIATES, P.A.

NORTH CAROLINA  
REGISTERED PROFESSIONAL  
ENGINEER  
A. LAEHL  
025775  
JANIS E. SIMMONS  
5-27-13

BY	MIS	MIS
REVISION	REVISED PER AGENCY COMMENTS	REVISED PER CITY OF CHARLOTTE AND INDOT COMMENTS
DATE	01/01/2013	03/27/2013
NO.	1	2

OVERALL PHASE 3A GRADING PLAN

CHAPEL COVE PHASE 3A

CHARLOTTE ETI, NC

CHAPEL COVE AT GLENGATE, LLC.

PROJECT INFORMATION

PROJECT MANAGER:	DES
DESIGNED BY:	APG
DRAWN BY:	MIS
PROJECT NUMBER:	U116.463
ORIGINAL DATE:	10/11/2012

SHEET: **C5.0**

**811**  
Know what's below.  
Call before you dig.