

**PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL**
 CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
 By Brent Wilkinson July 22, 2013

DEVELOPMENT SUMMARY:

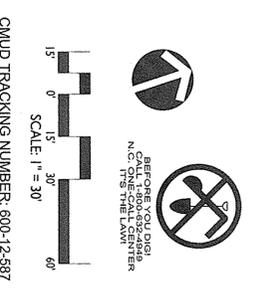
1. TAX PARCEL NUMBER: 081-376-15
2. SITE JURISDICTION: CITY OF CHARLOTTE
3. TOTAL SITE: 4.561 ACRES AS SURVEYED
4. EXISTING: 4.233 ACRES FUTURE ROW
5. PROPOSED: 4.233 ACRES PROPOSED SITE
6. DIMENSIONAL REQUIREMENTS:
 - VACANT
 - CATAWBA RIVER / LAKE WYLLIE PROTECTED WATERSHED
 - 30' SETBACK FROM FUTURE ROW (SECTION 9.3.20(1))
 - 50' REAR YARD
7. TOTAL RESIDENTIAL UNITS: 17 UNITS / 1,432 UNITS
8. DENSITY: MAXIMUM 14.32 UNITS / ACRE (2 UNITS / 1,432 ACRES)
9. BUILDING HEIGHT: 10 FT (TABLE 8.2.03(1)(B))
10. BUILT UPON AREA: 1,300 AC (70.02% HIGH-DENSITY OPTION)
11. OPEN SPACE: 1,194 AC (26.29%)
12. TREE SPACE: 1,194 AC (26.29%)
13. NATURAL AREA: 1,194 AC (26.29%)
14. VEHICLE PARKING: 62 SPACES (1.00 SPACE PER UNIT)
15. OFF STREET SERVICES: 52 STANDBY SPACES (2 VAN ACCESSIBLE)
16. SOLID WASTE CONTAINERS: SPACE FOR (1) 8 CU. YD. COMPACTOR

LAYOUT NOTES:

1. AT TIME OF STAKING, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR DIGITAL SITE PLAN FILE FOR COORDINATION OF STAKING.
2. SHOULD ANY DISCREPANCIES OR ERRORS BETWEEN COORDINATE POINTS AND DIMENSIONS LANDSCAPE ARCHITECT MANDATELY FOR A COORDINATED SOLUTION.
3. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, FACE OF WALL AND BUILDING.
4. ALL CURB RADII SHALL BE 50' UNLESS OTHERWISE NOTED.
5. ALL SIDEWALKS SHALL BE FIELD STAGED FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
6. LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
7. ALL CONSTRUCTION SHALL COMPLY WITH CURRENT CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS AND SPECIFICATIONS.
8. ASPHALT DRIVEWAYS WITH LIMIT OF CONSTRUCTION SHALL BE CONSISTENT WITH ASSOCIATED ASPHALT DRIVEWAY WITH LIMIT OF CONSTRUCTION.
9. ELECTRICAL, TELEPHONE, AND CABLE LINES AND POLES TO BE ELIMINATED OR RELOCATED. SHALL BE COORDINATED WITH DUKE POWER, AET, AND TIME WARNER.
10. MUTED STANDARDS AND SPECIFICATIONS.
11. THIS PROJECT TO ADHERE TO CURRENT CITY OF CHARLOTTE ZONING ORDINANCE UNLESS OTHERWISE STATED IN THE APPROVED ZONING DOCUMENTS.
12. PER SECTION 16-17(6) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROL STANDARDS MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROL STANDARDS PROCEDURES MUST BE RECORDED PRIOR TO THE PRIOR TO CONSTRUCTION.
13. PRIOR TO CONSTRUCTION, THE INSTALLATION OF ALL DETENTION SYSTEMS MUST BE PROVIDED.
14. DETENTION SYSTEMS SHALL BE PROVIDED WITH A MINIMUM OF 30 FEET IN WIDTH.
15. SHALL BE STAKED IN THE FIELD AND VERIFIED BY THE LANDSCAPE ARCHITECT.
16. SIGHT TRIANGLES SHALL BE FIELD STAGED FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
17. REFER TO UTILITY PLAN FOR ADDITIONAL INFORMATION. ALL UTILITIES SHALL BE PLACED PRIOR TO PLANTING PLAN FOR ADDITIONAL INFORMATION.
18. REFER TO SITE DETAILS FOR ADDITIONAL INFORMATION.
19. REFER TO SW DRAINAGE FOR ADDITIONAL INFORMATION.
20. REFER TO PROVISION 2.2.03 FOR ALL INDIVIDUAL WATERSHED RG IMPROVEMENTS.

GENERAL NOTES:

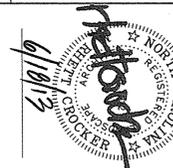
1. SITE SURVEY INFORMATION PROVIDED BY: NORSTAR LAND SURVEYS, INC. DATED NOVEMBER 20th OF COMPLETION: 2015
2. PROJECT ESTIMATED DATE OF COMPLETION: 2015



DATE: March 5, 2013
 DESIGNED BY: H/HEK
 DRAWN BY: H/HEK
 CHECKED BY: ST
 O.C. BY: ST
 SCALE: 1" = 30'
 PROJECT #: 1011314

REVISIONS:
 05/13/13 PER CITY / NCDOT COMMENTS
 06/14/13 PER CITY / NCDOT COMMENTS

CATAWBA SENIOR HOUSING
MT. HOLLY-HUNTERSVILLE ROAD
 Charlotte, NC | Charlotte-Mecklenburg Housing Partnership, Inc.
LAYOUT PLAN



NarmourWright



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