

AUSTIN'S CREEK SUBDIVISION SUBDIVISION PLAN REVISION & PHASE 1 LOT GRADING

CITY OF CHARLOTTE ETJ, NORTH CAROLINA

SDRSFR-2013-00007



SWM / DETENTION
CITY ENGINEERING

DRAINAGE PLAN
CITY ENGINEERING

EROSION CONTROL
FOR A PRE-CONSTRUCTION MEETING
48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY, CONTACT:

TREE ORDINANCE
URBAN FORESTRY

CDOT
CHARLOTTE DEPT. OF TRANSPORTATION

APPROVED
By Jordan Miller (jbmiller@charlottenc.gov) at 3:29 pm, Apr 18, 2013

APPROVED
By Jordan Miller (jbmiller@charlottenc.gov) at 3:29 pm, Apr 18, 2013

APPROVED

Jay Wilson at 704-517-1152

APPROVED
By Kelly Robertson 704-336-4364 (krobertson@ci.charlotte.nc.us) at 11:55 am, Apr 26, 2013

OK with Comments

Previously Approved

APPROVED FOR
CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
Revision By: Joshua Weaver 5/7/2013

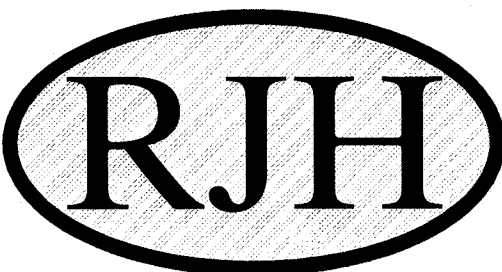
PREPARED FOR :

Standard Pacific Homes

11525 Carmel Commons Boulevard, Suite 301
Charlotte, North Carolina 28226
P: (704) 759-6000

February 18, 2013
Revised: April 1, 2013

PREPARED BY



R. Joe Harris & Associates, P.L.L.C.
Engineering • Land Surveying • Planning
Management

1698 W. Highway 160, Suite 130, Fort Mill, SC 29708 (803) 802-1799 Fax: (803) 802-0886

PLAN SHEET INDEX:

COVER
SP-1 : SP-8
GP-1 : GP-6
EC-1 : EC-5
BMP-DA

COVER SHEET
SITE PLANS
GRADING PLANS
EROSION CONTROL
BMP DRAINAGE AREA

THIS IS A SUPPLEMENTAL LOT GRADING PLAN AND REFER TO AUSTIN'S CREEK S/D PLANS DESIGNED BY INSITE ENGINEERING & SURVEYING FOR ROADS, STORM, AND OTHER EROSION CONTROL REQUIREMENTS/STANDARDS/DETAILS.

| DATE | ISSUED FOR | REV |
|-------|--|-----|
| 11/29 | Submittal to City | 0 |
| 2/16 | 2nd Submittal per City of Charlotte comments | 1 |
| 4/1 | 3rd Submittal per City of Charlotte comments | 2 |

Engineer:

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www.rjoe-harris.com

This drawing shall not be used for construction purposes until the seal and signature of the responsible registrant appears on the drawing, and proper permit forms and related fees are transmitted by the Owner, Owner's Agent or Contractor to the Authority having jurisdiction.

| | |
|---|--------------|
| Project Manager | Drawn |
| B. Pridemore | B. Pridemore |
| Department Manager | Checked |
| B. Pridemore | P. Murphy |
| Print/Plot Date | |
| April 1, 2013 | |
| Client | |
| Standard Pacific Homes Carolinas Division 11525 Carmel Commons Boulevard, Suite 301 Charlotte, North Carolina 28226 P: 704-759-6000 | |
| Project: | |
| Austin's Creek Subdivision Subdivision Plan Revision & Phase 1 Lot Grading | |
| Drawing Title: | |
| Cover Sheet | |
| Project No. | Drawing No. |
| 1742_Grading | |
| DWG File Name: | |
| 1742_Grading_Base | Cover |

EXISTING SITE TOPOGRAPHIC CONTOURS ARE MERGED FROM MECK-DEL'D & INSITE DESIGN CAD CONTOURS.

LOTS ARE NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE AS DEFINED ON COMMUNITY PANEL 371034900J OF THE FLOOD INSURANCE RATE MAPS FOR THE UNINCORPORATED AREAS OF MECKLENBURG COUNTY DATED MARCH 2, 2009.

BOUNDARY INFORMATION AS PROVIDED BY INSITE ENGINEERING & SURVEYING, VIA ELECTRONIC CAD FILES USED IN THEIR DESIGN OF THE SUBDIVISION. R. JOE HARRIS & ASSOCIATES, PLLC HAS NOT PERFORMED ANY SPECIFIC BOUNDARY WORK OR OTHER SURVEYS.

HORIZONTAL DATUM TIED TO NAD 83 AND VERTICAL DATUM BASED ON NAVD 88. CONTACT R. JOE HARRIS & ASSOCIATES, PLLC FOR BENCHMARKS AND CONTROL INFORMATION.

THIS PLAN IS A SUPPLEMENTAL PLAN FOR THE DETAILED GRADING OF THE RESIDENTIAL LOTS WITHIN PHASE 1 (78 LOTS) OF THE SUBDIVISION.

ROAD, STORM AND PERMANENT BMP DESIGN TO BE INSTALLED PER APPROVED PLANS ENTITLED "AUSTIN'S CREEK" DESIGNED AND DEVELOPED BY INSITE ENGINEERING & SURVEYING AND SIGNED BY JOEL L. MADDEN, PE ON JUNE 22, 2010.

| CURVE TABLE | | | | |
|-------------|---------|---------|-------------|---------|
| CURVE | RADIUS | LENGTH | BEARING | CHORD |
| C1 | 175.00' | 135.34' | N61°13'39"E | 131.99' |

CITY OF CHARLOTTE GENERAL/STANDARD NOTES:

- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- ALL ROAD IMPROVEMENTS AT GRAND PALISADES PARKWAY ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM#50.05 (9" SIGNS ONLY).
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- DIRECT VEHICULAR ACCESS TO _____ FROM LOTS _____ IS PROHIBITED.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER(S).
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.50% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- CURB AND GUTTER SHOWN ON PLANS ALONG GRAND PALISADES PARKWAY MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDS STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- ANY BUILDING WITHIN THE 100+1 STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8.
- ANY CONSTRUCTION OR USE WITHIN THE FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.

- ALL OPENINGS (E.G. DOORS, WINDOWS, VENTS) IN STRUCTURES BUILT ON LOT #S _____ SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100+1 FLOOD ANALYSIS).
- P.E. SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- PRIOR TO INSTALLATION, P.E. SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL.
- PRIOR TO C.O., SURVEYOR SEALED AS-BUILT DRAWINGS OF UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED.
- NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRES A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPT. OF TRANSPORTATION (OUS JORDI, 704-336-7068) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW SEVEN (7) DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT "CHARLOTTE DEPT. OF TRANSPORTATION (704-336-4025) OR VISIT <http://www.charmeck.org/Departments/Transportation/Street-Maintenance/Home.htm>
- PER SECTION 16-175(c) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCEE) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.



GENERAL NOTES - SITE DEVELOPMENT:

- A PRELIMINARY PLAN APPROVED UNDER THE PROVISIONS OF THE SUBDIVISION ORDINANCE WILL BE VALID FOR A PERIOD OF THREE YEARS. FOR SUCH APPROVAL TO REMAIN VALID BEYOND THREE, WORK ON THE SITE IN FURTHERANCE OF THE PLAN IS REQUIRED AS EXPLAINED MORE FULLY IN SECTION 6530 OF THE CHARLOTTE SUBDIVISION ORDINANCE.
- NO ON-SITE DEMOLITIONS OR STUMP BURIAL WILL BE ALLOWED. ALL MATERIALS WILL BE DISPOSED OF IN AN APPROVED OFF-SITE LANDFILL.
- THE DEVELOPMENT WILL ADHERE TO ALL DIMENSION REQUIREMENTS SET FORTH, FOR THEIR RESPECTIVE DISTRICTS IN THE CITY OF CHARLOTTE ORDINANCE.
- ALL PUBLIC STREETS WITHIN THE DEVELOPMENT WILL BE CONSTRUCTED TO THE CITY OF CHARLOTTE ETJ STANDARDS.
- CURB - MIN. 25' RADIUS, R/W MIN. 25' RADIUS FOR LOCAL ROADS
CURB - MIN. 30' RADIUS, R/W MIN. 30' FOR COLLECTOR ROADS
UNLESS OTHERWISE NOTED.
- ALL ROAD IMPROVEMENTS AT GRAND PALISADES PARKWAY ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- ALL CONSTRUCTION SHALL CONFORM TO CITY OF CHARLOTTE STANDARDS.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK OR BACKWASH CHANNEL IN AN UN OBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK, AND OTHER ACCUMULATIONS.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- APPROVAL OF THIS PLAN IS NOT AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- CURB AND GUTTER SHOWN ON PLANS ALONG GRAND PALISADES PARKWAY MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM #50.05 (9" SIGNS ONLY).
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- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.

- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
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 - NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
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- #### TREE PROTECTION NOTES FOR SUBDIVISION:
- TREE PROTECTION FENCE/BARRICADES MUST MEET OR EXCEED TREE ORDINANCE REQUIREMENTS.
 - TREE PROTECTION FENCE/BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/ GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER AN INSPECTION BY URBAN FORESTRY
 - NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITIES ALLOWED IN TREE SAVE AREAS.
 - VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
 - ALL TREES ON PUBLIC PROPERTY ARE PROTECTED BY ORDINANCE AND REMOVAL MUST BE APPROVED BY THE CITY ARBORIST @ (704) 336-4262.
 - SHOW TREE PROTECTION FENCE AT LEAST 5 FEET BEYOND THE DRIPLINE OF THE DESIGNATED TREE SAVE AREA(S) WHENEVER POSSIBLE AT NO LESS THAN THE LOCATIONS SHOWN ON
 - TREE SAVE FENCING MAY BE REMOVED/OMITTED UPON ALL COMPLETED AND BUILT-OUT PORTIONS OF THE DEVELOPMENT (EXAMPLE: OCCUPIED HOME LOTS).
 - TREE PROTECTION FENCE MAY BE TEMPORARILY REMOVED AND REPLACED FOR APPROVED UTILITY/STORM DRAINAGE WORK AND INSTALLATION OF ANY REQUIRED LANDSCAPE PLANTINGS.
 - COORDINATE ALL ACTIVITIES WITHIN THE TREE SAVE LIMITS WITH THE URBAN FORESTRY SPECIALIST, KELLY ROBERTSON, AT (704)-607-9987

EACH LOT IS TO HAVE A MAXIMUM OF 4,000 SF IMPERVIOUS AREA.

SITE DATA

- EXISTING ZONING: R-3 (USING TREE SAVE INCENTIVE & CLUSTER DEVELOPMENT)
- DISTRICT STANDARDS:

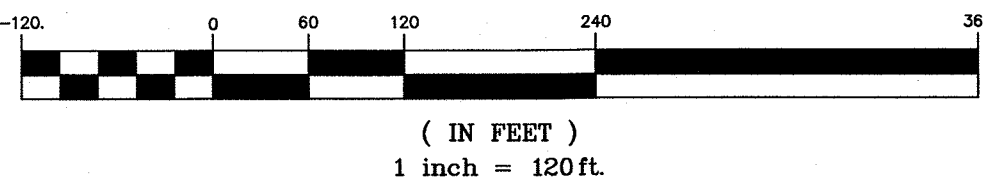
| | |
|----------------|------------------------------|
| FRONT SETBACK | - 20 FEET |
| SIDE YARD | - 3 FEET (10 FEET @ CORNERS) |
| | - 6 FEET (EXTERNAL) |
| REAR YARD | - 30' (INTERNAL) |
| | - 45' (EXTERNAL) |
| MIN. LOT WIDTH | - 60 FEET |
| MIN. LOT AREA | - 8,000 SQ.FT. (0.184 ACRES) |
| TOTAL NO. LOTS | - 228 |
| TOTAL ACREAGE | - 90.13± ACRES |
- TREE SAVE:

| | |
|-----------|--|
| REQUIRED: | 10% X 90.13 ACRES = 9.01 ACRES |
| PROVIDED: | IN COMMON OPEN SPACE = 11.00 ACRES (12.2%) |
- ALLOWABLE DENSITY:

| | |
|--------|---------------------------------|
| BASE: | 90.13 ACRES X 3 LOTS = 270 LOTS |
| BONUS: | 0.00 ACRES X 3 LOTS = 0 LOTS |
| | (270 LOTS ALLOWED) |
- OPEN SPACE:

| | |
|-----------|---------------------------------|
| REQUIRED: | 90.13 ACRES X 0.10 = 9.01 ACRES |
| PROVIDED: | 25.78 ACRES (28.6%) |
- TAX PARCEL NO.: 217-301-01, 217-301-06

GRAPHIC SCALE



| DATE | ISSUED FOR | REV |
|-----------|-----------------------|-----|
| 2/18/2013 | Submittal to City | 0 |
| 4/1/2013 | 2nd Submittal to City | 1 |

Engineer:



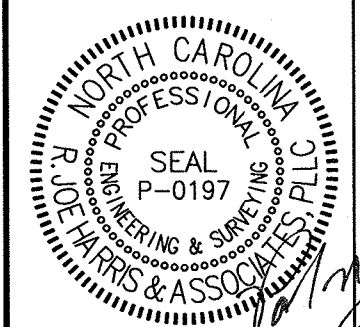
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Management

1608 W. Hwy 160, Suite 130, Fort Mill, SC 29708 P: (803) 802-1799 F: (803) 802-6896

www.rjoe Harris.com

This drawing shall not be used for construction purposes until the seal and signature of the responsible registrant appears on the drawing, and proper permit forms and related fees are transmitted by the Owner, Owner's Agent or Contractor to the Authority having jurisdiction.

Corporate Seal



Engineer's Seal



| | |
|--------------------|-------------|
| Project Manager | Drawn |
| B. Pridemore | M. Goldring |
| Department Manager | Checked |
| B. Pridemore | P. Murphy |
| Print/Plot Date | |
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| Client | |

**Standard Pacific Homes
Carolinas Division**
11525 Carmel Commons Boulevard, Suite 301
Charlotte, North Carolina 28226
P: 704-759-6000

Project:

**Austin's Creek Subdivision
Subdivision Plan Revision &
Phase 1 Lot Grading**

Drawing Title:

**Site Plan
Overall**

Project No.

1742_Preliminary Plat

DWG File Name:

1742_Preliminary Plat

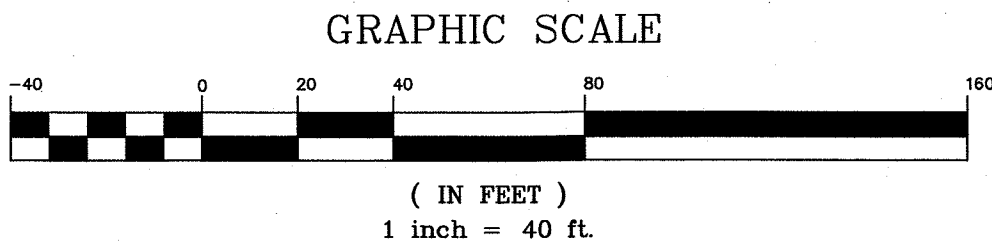
Drawing No.

SP-1

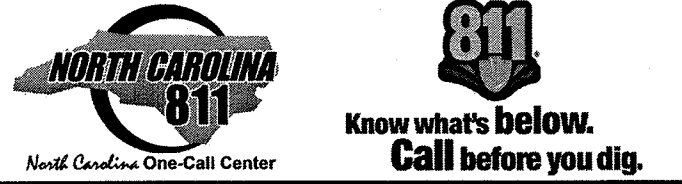
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Engineer's Seal

SEAL
 P-0197
 R. JOE HARRIS & ASSOCIATES, PLLC
 ENGINEERING & SURVEYING

SEAL
 036836
 DUTCH L. MURPHY
 ENGINEER

| | |
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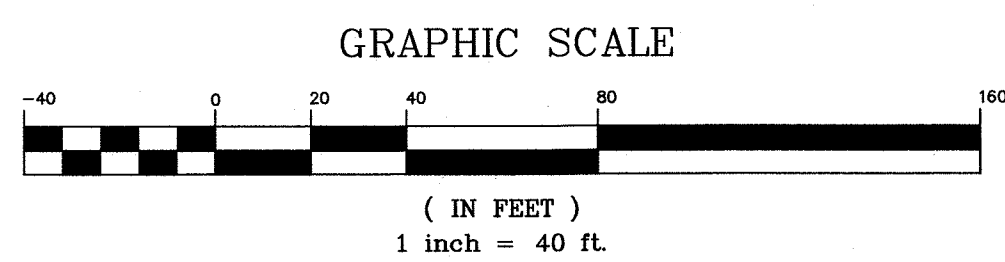
Drawing Title:

Site Plan

| | |
|-----------------------|-------------|
| Project No. | Drawing No. |
| 1742_Preliminary Plat | |
| DWG File Name: | |
| 1742_Preliminary Plat | SP-2 |



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Know what's below.
Call before you dig.

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Corporate Seal: R. JOE HARRIS & ASSOCIATES, P.L.L.C. SEAL P-0197
Engineer's Seal: NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 036836 J. TUCK L. MURPHY

| Project Manager | Drawn |
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| B. Pridemore | M. Goldring |
| Department Manager | Checked |
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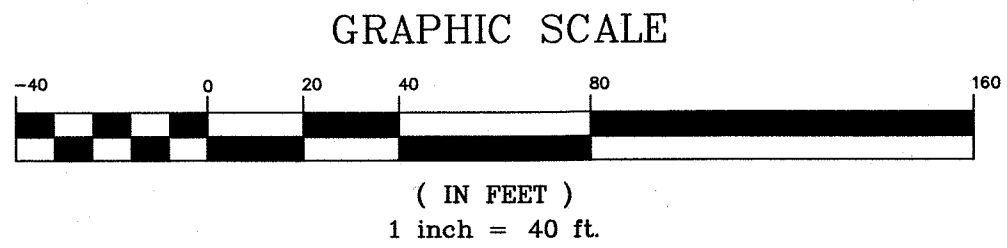
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DESIGN OF THE SUBDIVISION. R. JOE HARRIS & ASSOCIATES, PLLC HAS NOT PERFORMED ANY SPECIFIC BOUNDARY WORK
OR OTHER SURVEYS.
HORIZONTAL DATUM TIED TO NAD 83 AND VERTICAL DATUM BASED ON NAVD 88. CONTACT R. JOE HARRIS & ASSOCIATES, PLLC
FOR BENCHMARKS AND CONTROL INFORMATION.



| DATE | ISSUED FOR | REV |
|-----------|-----------------------|-----|
| 2/18/2013 | Submittal to City | 0 |
| 4/1/2013 | 2nd Submittal to City | 1 |

Engineer:

R. Joe Harris & Associates, P.L.L.C.
Engineering • Land Surveying • Planning
Management
1498 W. Hwy 160, Suite 130, Fort Mill, S.C. 29708 P: (803) 802-1799 F: (803) 802-0886

www.rjoe-harris.com

This drawing shall not be used for construction purposes until the seal and signature of the responsible registrant appears on the drawing, and proper permit forms and related fees are transmitted by the Owner, Owner's Agent or Contractor to the Authority having jurisdiction.

Corporate Seal

Engineer's Seal

| Project Manager | Drawn |
|--------------------|-------------|
| B. Pridmore | M. Goldring |
| Department Manager | Checked |
| B. Pridmore | P. Murphy |
| Print/Plot Date | |
| April 1, 2013 | |
| Client | |

Standard Pacific Homes Carolinas Division
11525 Carmel Commons Boulevard, Suite 301
Charlotte, North Carolina 28226
P: 704-759-6000

Project:

Austin's Creek Subdivision Subdivision Plan Revision & Phase 1 Lot Grading

Drawing Title:

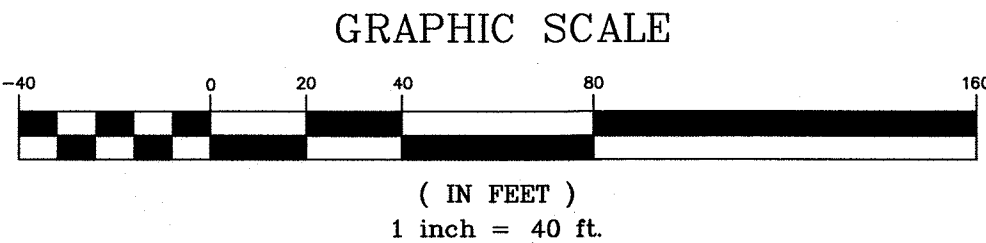
Site Plan

| Project No. | Drawing No. |
|-----------------------|-------------|
| 1742_Preliminary Plat | |
| DWG File Name: | |
| 1742_Preliminary Plat | |



SP-4



EXISTING SITE TOPOGRAPHIC CONTOURS ARE MERGED FROM MECK-DELD & INSITE DESIGN CAD CONTOURS.
LOTS ARE NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE AS DEFINED ON COMMUNITY PANEL S710349900J OF THE
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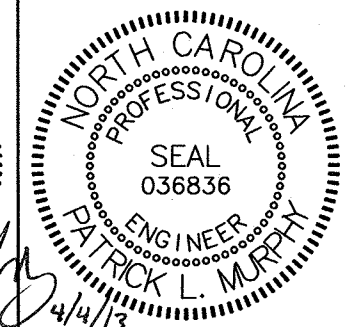
Engineer:



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1608 W. Hwy 160, Suite 150, Fort Mill, S.C. 29708 P: (803) 802-1799 F: (803) 802-0886

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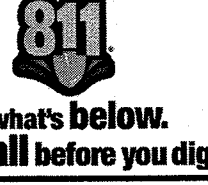
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| Corporate Seal | Engineer's Seal |
|  |  |


| | |
|---|-------------|
| Project Manager | Drawn |
| B. Pridemore | M. Goldring |
| Department Manager | Checked |
| B. Pridemore | P. Murphy |
| Print/Plot Date | |
| April 1, 2013 | |
| Client | |
| Standard Pacific Homes Carolinas Division 11525 Carmel Commons Boulevard, Suite 301 Charlotte, North Carolina 28226 P: 704-759-6000 | |
| Project: | |
| Austin's Creek Subdivision Subdivision Plan Revision & Phase 1 Lot Grading | |
| Drawing Title: | |
| Site Plan | |
| Project No. | Drawing No. |
| 1742_Preliminary Plat | |
| DWG File Name: | |
| 1742_Preliminary Plat | SP-5 |



| DATE | ISSUED FOR | REV |
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Engineer:




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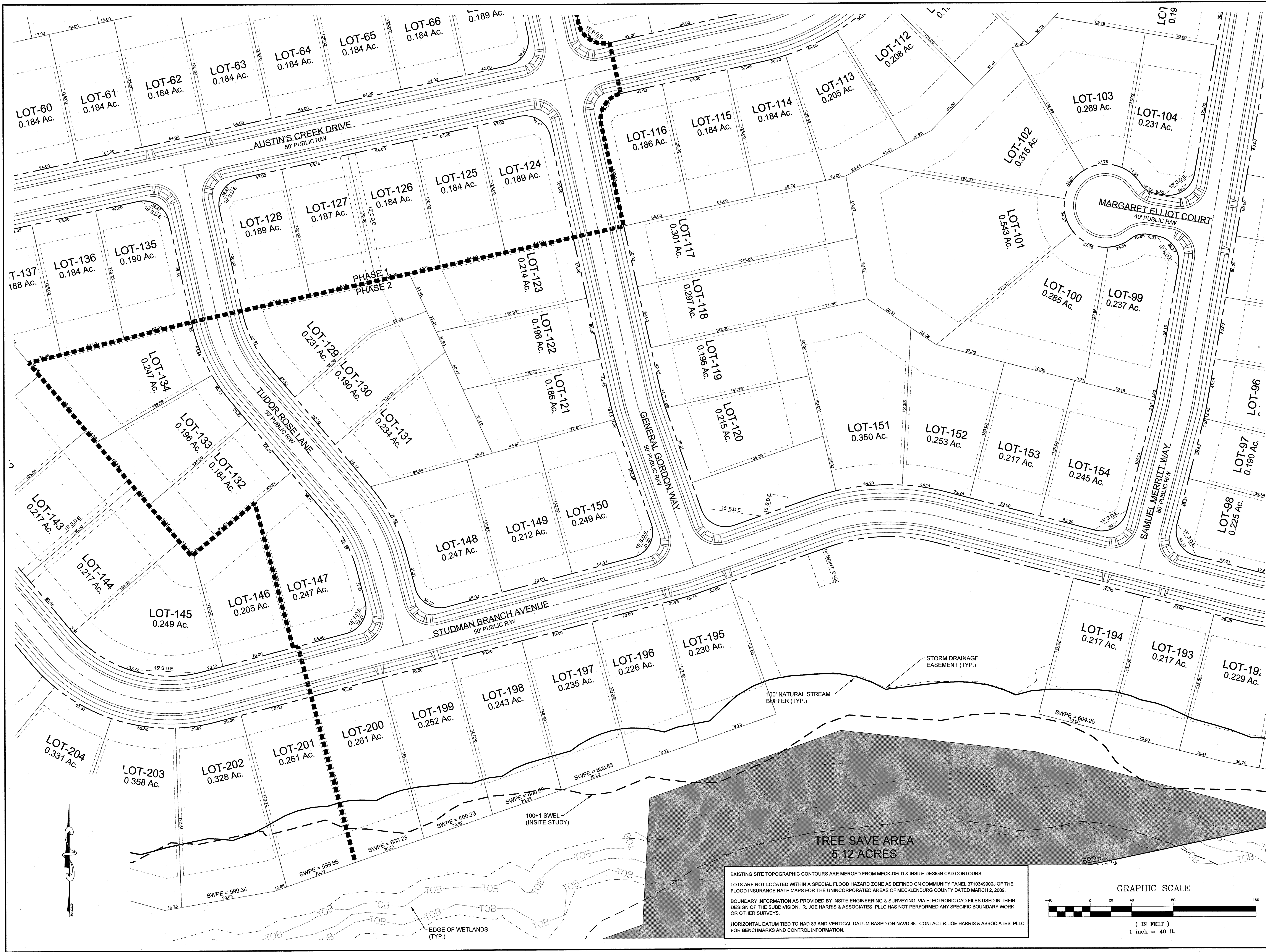
Corporate Seal



Engineer's Seal



| Project Manager | Drawn |
|---|-------------|
| B. Pridemore | M. Goldring |
| Department Manager | Checked |
| B. Pridemore | P. Murphy |
| Print/Plot Date | |
| April 1, 2013 | |
| Client | |
| Standard Pacific Homes Carolinas Division 11525 Carmel Commons Boulevard, Suite 301 Charlotte, North Carolina 28226 P: 704-759-6000 | |
| Project: | |
| Austin's Creek Subdivision Subdivision Plan Revision & Phase 1 Lot Grading | |
| Drawing Title: | |
| Site Plan | |
| Project No. | Drawing No. |
| 1742_Preliminary Plat | SP-6 |
| DWG File Name: | |
| 1742_Preliminary Plat | |



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| Department Manager | Checked |
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| Print/Plot Date | Client |
| April 1, 2013 | Standard Pacific Homes Carolinas Division 11525 Carmel Commons Boulevard, Suite 301 Charlotte, North Carolina 28226 P: 704-759-6000 |

| Project: | Drawing Title: |
|--|----------------|
| Austin's Creek Subdivision Subdivision Plan Revision & Phase 1 Lot Grading | Site Plan |

| Project No. | Drawing No. |
|---|-------------|
| 1742_Preliminary Plat | SP-7 |
| DWG File Name: 1742_Preliminary Plat | |




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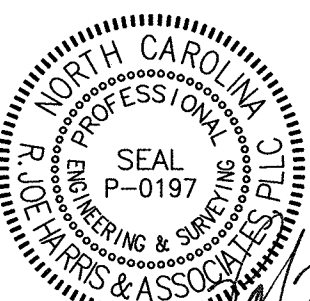


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Engineer's Seal

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| Project Manager B. Pridemore | Drawn M. Goldring |
| Department Manager B. Pridemore | Checked P. Murphy |
| Print/Plot Date April 1, 2013 | |
| Client Standard Pacific Homes Carolinas Division 11525 Carmel Commons Boulevard, Suite 301 Charlotte, North Carolina 28226 P: 704-759-6000 | |
| Project: Austin's Creek Subdivision Subdivision Plan Revision & Phase 1 Lot Grading | |
| Drawing Title: Site Plan | |
| Project No. 1742_Preliminary Plat DWG File Name: 1742_Preliminary Plat | Drawing No. SP-8 |

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THIS PLAN IS A SUPPLEMENTAL PLAN FOR THE DETAILED GRADING OF THE RESIDENTIAL LOTS WITHIN PHASE 1 (75 LOTS) OF THE SUBDIVISION.

ROAD, STORM AND PERMANENT BMP DESIGN TO BE INSTALLED PER APPROVED PLANS ENTITLED "AUSTIN'S CREEK" DESIGNED AND DEVELOPED BY INSITE ENGINEERING & SURVEYING AND SIGNED BY JOEL L. MADDEN, PE ON JUNE 22, 2010.

CITY OF CHARLOTTE GENERAL/STANDARD NOTES:

- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- ALL ROAD IMPROVEMENTS AT GRAND PALISADES PARKWAY ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSMM50.05 (9" SIGNS ONLY).
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- DIRECT VEHICULAR ACCESS TO FROM LOTS IS PROHIBITED.

IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.

APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER(S).

IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.50% SLOPE ON THE CURB.

SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.

CURB AND GUTTER SHOWN ON PLANS ALONG GRAND PALISADES PARKWAY MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.

THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDS STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.

HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHTS-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.

THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.

ANY BUILDING WITHIN THE 100+1 STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE CITY OF CHARLOTTE (MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8.

ANY CONSTRUCTION OR USE WITHIN THE FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.

- ALL OPENINGS (E.G. DOORS, WINDOWS, VENTS) IN STRUCTURES BUILT ON LOT #S SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100+1 FLOOD ANALYSIS).
- P.E. SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- PRIOR TO INSTALLATION, P.E. SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL.
- PRIOR TO C.O., SURVEYOR SEALED AS-BUILT DRAWINGS OF UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED.

NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRES A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION).

NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRES A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.

PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.

THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPT. OF TRANSPORTATION (GIS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.

CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW SEVEN (7) DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPT. OF TRANSPORTATION (704-336-4025) OR VISIT <http://www.charmeck.org/Departments/Transportation/StreetMaintenance/Home.htm>

PER SECTOR 16.17(6) OF CITY CODE AND SECTION 10.3 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCEs) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

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GENERAL NOTES - GRADING/SITE DEVELOPMENT:

- ALL REQUIRED PERMITS MUST BE OBTAINED AND A COPY MAINTAINED ON SITE PRIOR TO COMMENCING WORK. ONCE WORK BEGINS, ANY CONSTRUCTION ENTRANCES SHOULD BE INSTALLED BEFORE ALL OTHER MEASURES, FOLLOWED BY ANY NEEDED CULVERTS. THE PERIMETER CONTROLS ARE THEN TO BE INSTALLED WITH ONLY THE DISTURBANCE NECESSARY FOR THEIR CONSTRUCTION. ALL REQUIRED EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE INSTALLATION OF ANY UNDERGROUND UTILITIES OR SITE GRADING ACTIVITIES. SEE THE APPLICABLE PLAN SHEETS FOR THE NECESSARY EROSION CONTROL REQUIREMENTS, MAINTENANCE AND STABILIZATION OF THE WORK SITE.

DURING CONSTRUCTION AND UNTIL TURF IS ESTABLISHED, ALL EROSION DEVICES SHALL BE MONITORED AND MAINTAINED PER THE SPECIFIED MAINTENANCE SCHEDULE (SEE EROSION CONTROL PLAN SHEETS). ALL COMPLETED WORK AREAS THAT HAVE BEEN BROUGHT TO GRADE SHALL BE SEEDED AND MULCHED.

CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO BEGINNING WORK. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL APPLICABLE UTILITIES AFFECTING THE PROJECT (ON AND OFF SITE).

THE CONTRACTOR SHALL CONTACT THE NORTH CAROLINA ONE-CALL CENTER AT 8-1-1 AT LEAST 72 HOURS IN ADVANCE OF THE CONSTRUCTION. INDIVIDUAL UTILITY AGENCIES NOT PARTICIPATING IN THE ONE-CALL PROGRAM SHALL BE CONTACTED INDEPENDENTLY BY THE CONTRACTOR.

UPON VERIFICATION OF THE LOCATION AND DEPTH OF ALL UTILITIES, CONTRACTOR SHALL VERIFY THAT THERE ARE NO CONFLICTS WITH THE EXISTING UTILITIES. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER FOR EVALUATION AND REDESIGN (IF NECESSARY). THE CONTRACTOR SHALL NOT COMMENCE WORK IN THE AREA UNTIL THE CONFLICT IS RESOLVED.

ALL EXCAVATION FOR THIS PROJECT SHALL BE CONSIDERED UNCLASSIFIED, UNLESS SPECIAL PROVISIONS ARE STATED IN THE CONTRACT DOCUMENTS.

DURING EXCAVATION, ALL FOREIGN DEBRIS AND UNSUITABLE FILL MATERIALS SHALL BE REMOVED AND DISPOSED OF OFFSITE OR LOCATION APPROVED BY OWNER.

ON-SITE BURIAL PITS, WHEN APPROVED, SHALL BE CLEARLY MARKED ON THE FIELD RECORD DRAWINGS AND A COPY OF THOSE DRAWINGS SHALL BE PROVIDED TO THE OWNER. THE USE OF BURIAL PITS SHALL BE COORDINATED WITH THE OWNER AND ENGINEER PRIOR TO USE.

ALL FILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR (ASTM D698) MAXIMUM DRY DENSITY FOR SPECIFIED MATERIAL. "LIGHTWEIGHT" OR HIGHLY PLASTIC SOILS SHALL NOT BE USED AS FILL UNDER ROADWAYS, BUILDINGS AND OTHER STRUCTURAL AREAS. LIGHTWEIGHT OR PLASTIC SOILS AS DEFINED BY THE GEOTECHNICAL ENGINEER. 100% STANDARD PROCTOR OF MAXIMUM DRY DENSITY SHALL BE ATTAINED FOR DRIVEWAYS, PARKING LOTS AND BUILDINGS (UPPER 12" OF SUBGRADE).

AREAS CUT TO GRADE (RESIDUAL SOILS) SHALL BE PROOFROLLED (MIN. 50,000 LBS) OR TESTED BY OTHER MEANS TO ENSURE THAT MATERIAL IS SUITABLE FOR STRUCTURAL LOADING. PLASTIC SOILS SHALL BE UNDERCUT AND DISPOSED OF OFFSITE OR LOCATION APPROVED BY OWNER AND REPLACED WITH SUITABLE FILL MATERIAL, AS DIRECTED BY THE GEOTECHNICAL ENGINEER.

ALL FILL FOR STRUCTURAL AREAS SHALL BE PLACED IN 8"-12" LIFTS AND COMPACTED TO 100% STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698) AT NEAR OPTIMUM MOISTURE CONTENT FOR UPPER 12" AS MEASURED FROM FINISHED GRADE (TOLERANCE SHALL BE +/- 2%).

SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. SLOPES STEEPER THAN 3:1 WILL REQUIRE THE USE OF EROSION CONTROL BLANKETS (ECBs) TO MINIMIZE AND PREVENT EROSION OF THE SLOPES.

IF NECESSARY, SLOPES WHICH EXCEED EIGHT (8) VERTICAL FEET MAY REQUIRE THE USE OF SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO NORMAL SEEDING.

COMPACTION WITHIN ROAD RIGHTS-OF-WAY SHALL BE AS REQUIRED BY THE GOVERNING AGENCY. AT A MINIMUM, THE FOLLOWING STANDARDS SHALL BE MET:

A. SUBGRADE SHALL BE COMPACTED TO 100% STANDARD PROCTOR MAXIMUM DRY DENSITY (UPPER 12").

B. AGGREGATE BASE COURSE SHALL BE COMPACTED TO 100% MODIFIED PROCTOR MAXIMUM DENSITY.

C. INTERMEDIATE AND SURFACE HOT MIX ASPHALT COURSES SHALL BE COMPACTED TO A MIN. OF 92% MAXIMUM SPECIFIC GRAVITY.

D. SUBGRADE AND BASE COURSE SHALL BE PROOFROLLED (50,000 LBS MIN.).

E. HOT MIX ASPHALT TEMPERATURE AT TIME OF LAYDOWN SHALL BE WITHIN 20°F OF THE PLANT MIX TEMPERATURE (MIN. TEMPERATURE SHALL BE NO LESS THAN 220-230 DEGREES).

F. VARIATIONS OF THE MINIMUM REQUIREMENTS CAN BE CONSIDERED ON A CASE-BY-CASE BASIS AND MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER.

THE CONSTRUCTION OF ALL STREETS AND DRAINAGE IMPROVEMENTS LOCATED WITHIN THE ROADWAY RIGHT-OF-WAY SHALL BE GOVERNED BY THE CITY AND/OR STATE DEPARTMENT OF TRANSPORTATION.

RIGHT-OF-WAY ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER OR HOMEOWNERS ASSOCIATION (HOA), UNLESS OTHERWISE SPECIFIED. WHEN REQUIRED, PRIVATE DRAINAGE EASEMENTS SHALL BE APPLIED AND ANY OBSTRUCTION OR ENCROACHMENT INTO SAID EASEMENT IS PROHIBITED. HOMEOWNER OR BUILDER IS SOLELY AT RISK FOR THE REMOVAL AND/OR DAMAGE OF HARDSCAPES, LANDSCAPING, STRUCTURES OR OTHER IMPROVEMENTS PLACED WITHIN THE EASEMENTS SHOULD MAINTENANCE NEED TO BE PERFORMED.

THE BUILDER SHALL BE RESPONSIBLE FOR MEETING THE BUILDING FOUNDATION DRAINAGE REQUIREMENTS AS SPECIFIED IN THE INTERNATIONAL RESIDENTIAL CODE (CURRENT VERSION AS ADOPTED BY GOVERNING AGENCY).

ENGINEER DOES NOT WARRANT THAT ANY OR ALL LOTS HAVE BEEN SET UP TO MEET THE BUILDING FOUNDATION DRAINAGE REQUIREMENTS SET FORTH IN THE INTERNATIONAL RESIDENTIAL CODE.

BUILDER SHALL BE RESPONSIBLE FOR MAINTAINING THE ESTABLISHED DRAINAGE PATTERNS OR ENSURING THAT ANY ALTERATIONS TO THE ESTABLISHED DRAINAGE PATTERNS WILL NOT ADVERSELY IMPACT THE RECEIVING STORM DRAINAGE SYSTEM AND/OR DOWNSTREAM PROPERTY OWNER.

FINAL ELEVATIONS ARE SUBJECT TO CHANGE BASED UPON SITE CONDITIONS, CONSTRUCTION TOLERANCES BY AND BETWEEN OWNER/CONTRACTOR, AND OTHER CONDITIONS.

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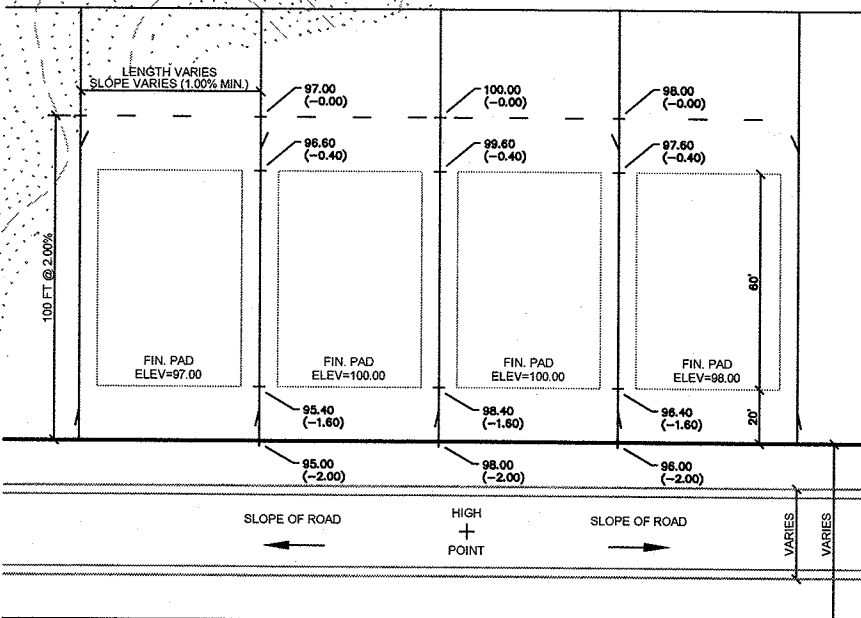
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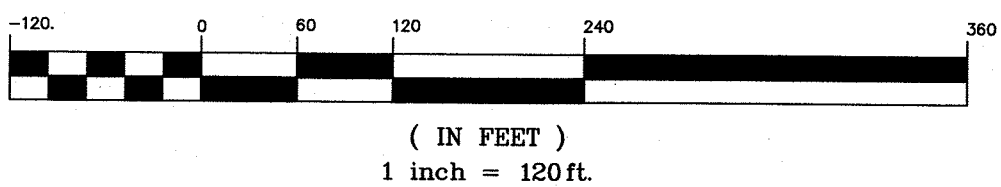
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Typical Lot Drainage Detail - "A" Lots

- THIS DETAIL GENERALLY APPLIES FOR TYPICAL "A" LOT DRAINAGE PATTERNING (REAR TO FRONT) ONLY.
- DRAINAGE SWALE ELEVATIONS BASED ON FINISHED PAD ELEVATION OF DOWNSTREAM LOT (SWALE IS CENTERED BETWEEN LOTS. USE LOWER PAD ELEVATION).
- THIS PLAN IS INTENDED TO DRAIN THE LOT, BUT NOT ESTABLISHED NOR IMPLIES MEETING THE BUILDING FOUNDATION DRAINAGE REQUIREMENTS SET FORTH IN THE INTERNATIONAL RESIDENTIAL CODE AS ADOPTED BY GOVERNING AGENCY (VERIFY YEAR OF CODE).
- BUILDER SHALL BE RESPONSIBLE FOR MEETING THE BUILDING FOUNDATION DRAINAGE REQUIREMENTS UPON CONSTRUCTION OF THE BUILDINGS.
- VARIATIONS MAY EXIST IN ATYPICAL CONDITIONS OR CONDITIONS VARYING FROM TYPICAL DETAIL.

GRAPHIC SCALE



TREE PROTECTION NOTES FOR SUBDIVISION:

- TREE PROTECTION FENCE/BARRICADES MUST MEET OR EXCEED TREE ORDINANCE REQUIREMENTS.
- TREE PROTECTION FENCE/BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLADDING/GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER AN INSPECTION BY URBAN FORESTRY.
- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITIES ALLOWED IN TREE SAVE AREAS.
- VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
- ALL TREES ON PUBLIC PROPERTY ARE PROTECTED BY ORDINANCE AND REMOVAL MUST BE APPROVED BY THE CITY ARBORIST @ (704) 336-4262.
- SHOW TREE PROTECTION FENCE AT LEAST 5 FEET BEYOND THE DRIPLINE OF THE DESIGNATED TREE SAVE AREA(S) WHENEVER POSSIBLE AT NO LESS THAN THE LOCATIONS SHOWN ON
- TREE SAVE FENCING MAY BE REMOVED/OMITTED UPON ALL COMPLETED AND BUILT-OUT PORTIONS OF THE DEVELOPMENT (EXAMPLE: OCCUPIED HOME LOTS).
- TREE PROTECTION FENCE MAY BE TEMPORARILY REMOVED AND REPLACED FOR APPROVED UTILITY/STORM DRAINAGE WORK AND INSTALLATION OF ANY REQUIRED LANDSCAPE PLANTINGS.
- COORDINATE ALL ACTIVITIES WITHIN THE TREE SAVE LIMITS WITH THE URBAN FORESTRY SPECIALIST,