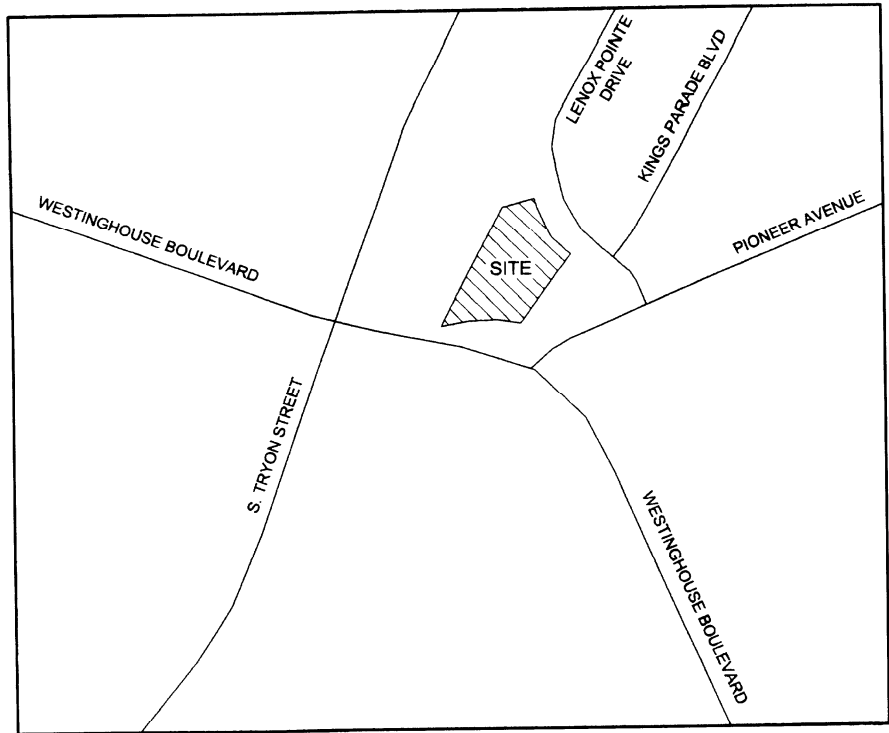




VICINITY MAP
N.T.S.

NOW OR FORMERLY
CENTRAL STEELE CREEK
PRESBYTERIAN CHURCH, INC.
DEED BK. 5779, PG. 893
ID #20309110
MECKLENBURG CO. REGISTRY
CURRENT ZONING: I-1
CURRENT USE: GOVT-INST

NOW OR FORMERLY
COLONIAL REALTY LTD. PARTNERSHIP
DEED BK. 19907, PG. 281
MAP BK. 49, PG. 413
ID #20309106
MECKLENBURG CO. REGISTRY
CURRENT ZONING: MUDD-O
CURRENT USE: MULTI-FAMILY

3 - 8 CY DUMPSTERS AND
2 - 144 SF RECYCLING AREAS

NOW OR FORMERLY
B.Y. HOLDINGS, LLC
DEED BK. 11247, PG. 703
MAP BK. 51, PG. 960
ID #20309111
MECKLENBURG CO. REGISTRY
CURRENT ZONING: CC
CURRENT USE: MULTI-FAMILY

NOW OR FORMERLY
B.Y. HOLDINGS, LLC
DEED BK. 11247, PG. 703
MAP BK. 51, PG. 960
ID #20309111
MECKLENBURG CO. REGISTRY
CURRENT ZONING: CC
CURRENT USE: MULTI-FAMILY

EX. DETENTION EASEMENT
BOOK: 27178, PAGE: 548-557

NOW OR FORMERLY
AGOURI, INC.
DEED BK. 7491, PG. 179
MAP BK. 28, PG. 146
ID #20309125
MECKLENBURG CO. REGISTRY
CURRENT ZONING: I-2
CURRENT USE: COMMERCIAL

PROPERTY OWNER	CHARLOTTE MECKLENBURG HOUSING PARTNERSHIP
PETITION #	2000-146
TAX ID #	203-09-166
ZONING	CC
ACREAGE	4.60 AC
UNITS (SENIOR HOUSING APARTMENTS)	86
BUILDING HEIGHT (40' max.)	55' (SIDE YARDS INCREASED DUE TO EXCESS HEIGHT)
SETBACKS:	
FRONT	WESTINGHOUSE BLVD: 20' BUILDING SETBACK WESTINGHOUSE BLVD: 35' PARKING SETBACK
SIDEYARD	5' AND 12.5' (DUE TO INCREASED BLDG. HEIGHT)
REARYARD	40'

PARKING		
TOTAL PARKING SPACES (REQUIRED)	86 (1.5/UNIT) = 129	
TOTAL PARKING SPACES (PROVIDED)	129	
TOTAL HANDICAP SPACES:	9 VAN ACC	
TOTAL BICYCLE SPACES (REQUIRED)	5 SPACES	
TOTAL BICYCLE SPACES (PROVIDED)	6 SPACES	

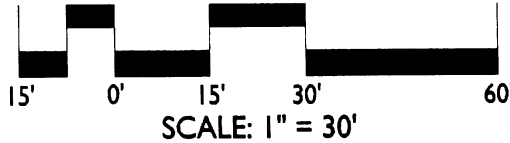
SOLID WASTE	REQUIRED	PROVIDED
SOLID WASTE DISPOSAL	(3) 8 CU.YD. CONTAINER/ 30 UNITS	(3) 8 CU. YD. CONTAINER
RECYCLING	(2) 144 SQ. FT/ PER 81-160 UNITS	(2) 144 SQ. FT.

NOTE:
ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% AND
A MAXIMUM CROSS-SLOPE OF 2%.

OPEN SPACE	
TOTAL SITE AREA	4.60 ACRES
TOTAL OPEN SPACE (ACRES REQUIRED)	1.84 ACRES
TOTAL OPEN SPACE (ACRES PROVIDED)	1.86 ACRES
TOTAL OPEN SPACE (% REQUIRED)	40%
TOTAL OPEN SPACE (% PROVIDED)	40%

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	431.97'	223.82'	221.33'	N 85°30'17" W
C2	5.00'	7.85'	7.07'	N 22°22'32" E
C3	5.00'	7.85'	7.07'	N 67°37'28" W
C4	83.00'	40.51'	40.11'	S 36°36'19" E
C5	90.00'	28.77'	28.65'	N 41°25'42" W

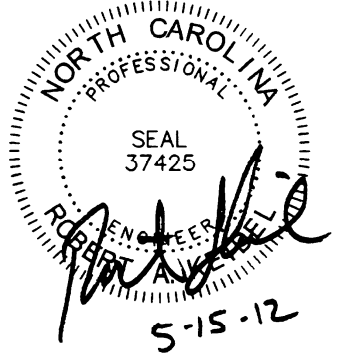
LINE	BEARING	DISTANCE
L1	S 22°37'28" E	30.00'
L2	S 22°37'28" E	32.84'
L3	N 29°29'23" E	39.82'



REVISIONS:
04-03-12 - Rev. Per City and NCDOT Comments
05-15-12 - Rev. Per City and NCDOT Comments
DESIGNED BY: RAK
CHECKED BY: RAK
O.C.BY: RAK
SCALE: 1" = 30'
PROJECT #: 101101216
SHEET #:

DATE: FEBRUARY 7, 2012

Westinghouse Senior Housing
City of Charlotte, Mecklenburg County, North Carolina
The Charlotte Mecklenburg Housing Partnership
SITE PLAN



LandDesign
223 N Graham Street Charlotte, NC 28202
V: 704.333.0325 F: 704.332.2346
www.LandDesign.com

C-2.0