

- A. TOPOGRAPHIC SURVEY AND BOUNDARY SURVEY PREPARED BY GEOSCIENCE GROUP, INC.
- B. OWNER(SEE BELOW)
- C. ARCHITECT
J DAVIS ARCHITECTS
510 Glenwood Avenue, Suite 201 | Raleigh, NC 27603
T: (919) 835-1500 | F: (919) 835-1510
- D. ALL CONCRETE SIDEWALKS SHALL BE FULL 4" THICK 3600 PSI CONCRETE WITH 1" DEEP GROOVE CONTROL JOINTS AT INTERVALS INDICATED ON SITE PLAN. PROVIDE EXPANSION JOINTS ADJACENT TO ALL RIGID STRUCTURES. EXPANSION JOINT SPACING SHALL NOT EXCEED 30'.
- E. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- F. CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO COMMENCEMENT OF WORK.
- G. ALL DISTANCES AND DATA SHALL BE CHECKED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. IN CASE OF CONFLICT, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY SO THAT CLARIFICATIONS MAY BE MADE PRIOR TO THE START OF CONSTRUCTION.
- H. THE PROPOSED GRADES AS SHOWN ARE THE FINISH GRADES UNLESS OTHERWISE SHOWN.
- I. THE CONTRACTOR SHALL SUPPLY AND ESTABLISH SURVEY CONTROL, INCLUDING THE HORIZONTAL AND VERTICAL CONTROL POINTS. THE CONTRACTOR SHALL MAINTAIN THIS CONTROL AND PROVIDE ALL BENCHMARKS, STAKES, GRADES, LEVELS, AND LINES NECESSARY FOR CONSTRUCTION.

- J. ALL EXISTING PAVEMENT AND CONCRETE TO BE JOINED SHALL BE SAWCUT.
- K. SIGNAGE SHALL BE INSTALLED BY THE DEVELOPER
- L. HANDICAP REGULATIONS:
a. A HANDICAP PARKING SPACE SHALL HAVE NO GREATER SLOPE THAN 1/4" PER FOOT ACROSS THE SPACE.
b. HANDICAPS ARE TO BE PROVIDED ON HANDICAP RAMPS WITH A DROP OF TWO INCHES OR MORE. MAXIMUM RAMP SLOPE = 8.33%
c. ALL HANDICAP RAMPS AND SPACES WILL COMPLY WITH THE LATEST ADA STANDARDS. MAXIMUM ACCESSIBLE ROUTE SLOPE = 5%
d. ALL CROSS SLOPES ALONG AN ACCESSIBLE ROUTE SHALL NOT EXCEED 1/4" PER FOOT SLOPE.
- M. SEE ARCHITECTURAL PLAN FOR EXACT LOCATION AND SIZE OF WATER, SEWER, AND ROOF DOWNSPOUTS.
- N. SEE ARCHITECTURAL PLAN FOR BUILDING DIMENSIONS, FEATURES, STAIRS AND HANDRAILS, ETC.

NOTE: IF ANY PERCENTAGE OF THE REQUIRED 15% TREE SAVE(SEE SHT.L1.2) IS LOCATED IN THE 50'CLASS C BUFFER ALONG THE EASTERN PROPERTY LINE THAT AREA CANNOT BE REMOVED

ALL UTILITIES SHALL BE UNDERGROUND

SITE PLAN KEYED NOTES

- 1) NEW 1-6" CONC. CURB AND GUTTER(TYP) CMLDS # 10.17A
- 2) NEW ADA COMPLIANT DEPRESSED CURB/ACCESSIBLE RAMP. ACCESSIBLE CURB RAMPS WITHIN NCDOT RIGHT OF WAY MUST BE CONSTRUCTED PER NCDOT DETAIL 84B005 INCLUDING THE ADDITION OF TRUNCATED DOME DETECTABLE WARNING AREA (DEPRESSED CURB SHALL BE USED AT THE ACCESSIBLE PARKING SPACES/USE ACCESSIBLE RAMP AT THE OTHER RAMP LOCATION)
- 3) HEAVY DUTY ASPHALT PAVEMENT SEE DETAIL.
- 4) LIGHT DUTY ASPHALT PAVEMENT SEE DETAIL.
- 5) 4" WIDE WHITE PAINTED PARKING STRIPE. (TYP.)
- 6) ACCESSIBLE PARKING SIGN IN ACCORDANCE WITH APPLICABLE CODES PER CMLDS. 50.01A,B,C SEE DETAIL.
- 7) NEW 7" CONC. SIDEWALK. CMLS 50.09-B
- 8) NEW 5" CONC. SIDEWALK. CMLS 50.09-B
- 9) FLUSH SIDEWALK ADA RAMP, SEE DETAIL
- 10) 5" WIDE PAINTED CROSSWALK

6" HIGH FENCE 0.5' OFF P/L
SEE DETAIL C4.2

DEED BOOK 25786 PAGE 83
W.M. MATTHEWS ET. AL.
ZONED: R3(CD)
PIN: 23113107

Solid Waste: Require (1) 8 cu. yd. container per each 30 units
or (1) 8 cu. yd. compactor for each 90 units.
PROVIDED: WASTE PICKED UP MIN. 2 TIMES A WEEK BY PRIVATE WASTE SERVICE

Recycling: require one (1) recycling station @ 144 sq. ft. per 80 Units
PROVIDED: 108(SWAK) Units = (1) 196 SF RECYCLING STATION (See arch. plan A12.01)
PROVIDED: RECYCLABLES PICKED UP MIN. 2 TIMES A WEEK BY PRIVATE WASTE SERVICE

TRASH COMPACTOR AND
RECYCLE BIN ENCLOSURE
SEE ARCH. PLANS A12.01

3'x5' CONC. PAD
FOR BENCH, TYP.

10'x50' LOADING AREA

4 SHORT TERM
BICYCLE RACK
CMLD DETAIL 50.21
OR EQUIVALENT
SEE DETAIL SHT.C4.1

NOTE: SEE ARCH. PLANS FOR LONG TERM BIKE(2) STORAGE
LOCATED INSIDE BUILDING

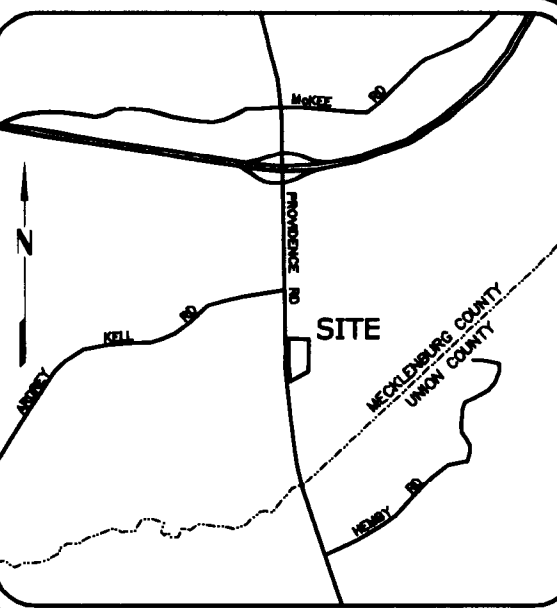
PROPOSED NEW PARCEL
(A PORTION OF MECKLENBURG COUNTY PARCEL ID: 231-131-07)
576,510.88 SQ. FT.
13.235 ACRES

PAVERS THIS
AREA SEE ARCH.
DETAILS

3 SHORT TERM
BICYCLE RACK
CMLD DETAIL 50.21
OR EQUIVALENT
SEE DETAIL SHT.C4.1

DESIGN/BUILD
RETAINING WALL
BY CONTRACTOR,
SEE GRADING PLAN

NOTE: IMPROVEMENTS TO PROVIDENCE ROAD
AND NEW SECTION OF PROVIDENCE COUNTRY
CLUB ROAD APPROVED UNDER PERMIT
#SDRC-2012-00007



MATCH LINE

DESIGN/BUILD
RETAINING WALL
BY CONTRACTOR,
SEE GRADING PLAN

ZONING CODE SUMMARY PROJECT NAME: WALTONWOOD

OWNER:
SINGH DEVELOPMENT L.L.C.

2601 Weston Parkway, Suite 203
Cary, North Carolina 27513
919.677.1700 Phone
919.678.8300 Fax

email: kahm@singhmail.com
USE: INDEPENDENT/DEPENDENT LIVING FACILITY
ZONING: INST.(CD)

Dependent Beds: 80 (MAX ALLOWED 80)
Independent Units: 85 (MAX ALLOWED 100)

REZONING PETITION # : 2011-021
SITE ADDRESS: 11945 PROVIDENCE ROAD

PLANS PREPARED BY: GEOSCIENCE GROUP, INC.
PHONE # (704) 655-0005

JURISDICTION: CITY OF CHARLOTTE, MECKLENBURG CO, NC

PROP. BUILDING SQUARE FOOTAGE: 229,766.6 s.f.
MAX. ALLOWED SQUARE FOOTAGE: 240,000 s.f.

Building height = 50'
Height: Max = 65'
F.A.R. : Max = 0.4

provided: 229,766.6 = 0.40
678.611

LOT SIZE: 13.235 ac

YARD REQUIREMENTS:

Setback (front): 40 ft.

Setback (side): 20 ft.

Side Yard: 20 ft.

Rear Yard: 20 ft.

PARKING DATA:

Dependent Beds: 80 @ 1 space per 3 beds = 27 spaces

Independent Units: 85 @ 1.5 spaces per unit = 128 spaces

Required = 155 spaces (Min. 191 per re-zoning)

Provided = 156 Spaces

Including 8 HC (one being VA)

Bike Parking:

Long-Term: 2 or 1 per 20 employees

proposed 40 employees

Provided: 2

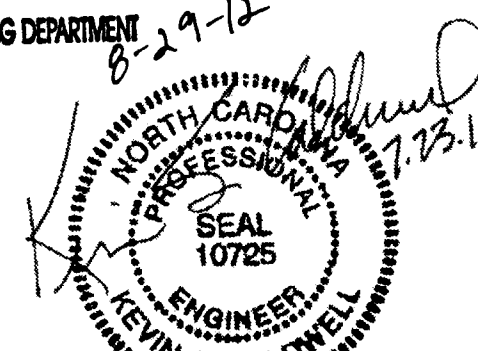
Short-Term: 5% of auto Parking = 10

Provided: 10

PROVIDENCE ROAD - N.C. HIGHWAY 16
VARIABLE PUBLIC RIGHT OF WAY

PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT



SCALE: 1" = 30'

DATE	REVISION
1/23/12	1
1/23/12	2
1/23/12	3
1/23/12	4
1/23/12	5
1/23/12	6
1/23/12	7
1/23/12	8
1/23/12	9
1/23/12	10
1/23/12	11
1/23/12	12
1/23/12	13
1/23/12	14
1/23/12	15
1/23/12	16
1/23/12	17
1/23/12	18
1/23/12	19
1/23/12	20
1/23/12	21
1/23/12	22
1/23/12	23
1/23/12	24
1/23/12	25
1/23/12	26
1/23/12	27
1/23/12	28
1/23/12	29
1/23/12	30

WALTONWOOD
CHARLOTTE, NORTH CAROLINA
11945 PROVIDENCE ROAD

SITE PLAN

C1.1