

SITE DATA

OWNER	GATEWAY COMMUNITIES, LLC
DATE	08/10/2012/08/10/2012
PH	TAX MAP NUMBER
DATA	08/10/2012/08/10/2012
ACREAGE	0.454
OWNER	UR-3(CD)
PROPOSED USE	MULTI-FAMILY-APARTMENTS
PROPOSED UNITS	20
PROPOSED UNITS	14' FROM BOC (N. DAV.)
FRONT SETBACK	20' FROM PL. LINE (N. DAV.)
SIDE YARD	5'
REAR YARD	10'
MAXIMUM FLOOR AREA RATIO	2.0
PROPOSED FLOOR AREA RATIO	2.0
MAXIMUM BUILDING HEIGHT	PER SECTION 9.4.06
MINIMUM PARKING SPACES (1.0/UNIT)	20
PROPOSED PARKING SPACES	20
PROP. COMPACT SPACES (25% MAX)	4
PROPOSED 10' PARKING SPACES	1
MINIMUM 10' VAN SPACES	1
PROPOSED 10' VAN SPACES	1
MIN. SHORT-TERM BICYCLE SPACES	2
PROPOSED BICYCLE SPACES	2
NET IMPROVEMENT AREA	5001.92/0.12 AC.
PARKING LOTS/SIDEWALKS	7814.92/0.17 AC.
BUILDINGS	7018.92/0.16 AC.
TOTAL	10896.92/0.34 AC.

PARCEL ADDRESSES:
3514 N. DAVIDSON STREET
3521 WARP STREET

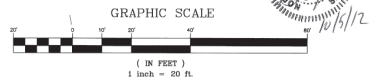
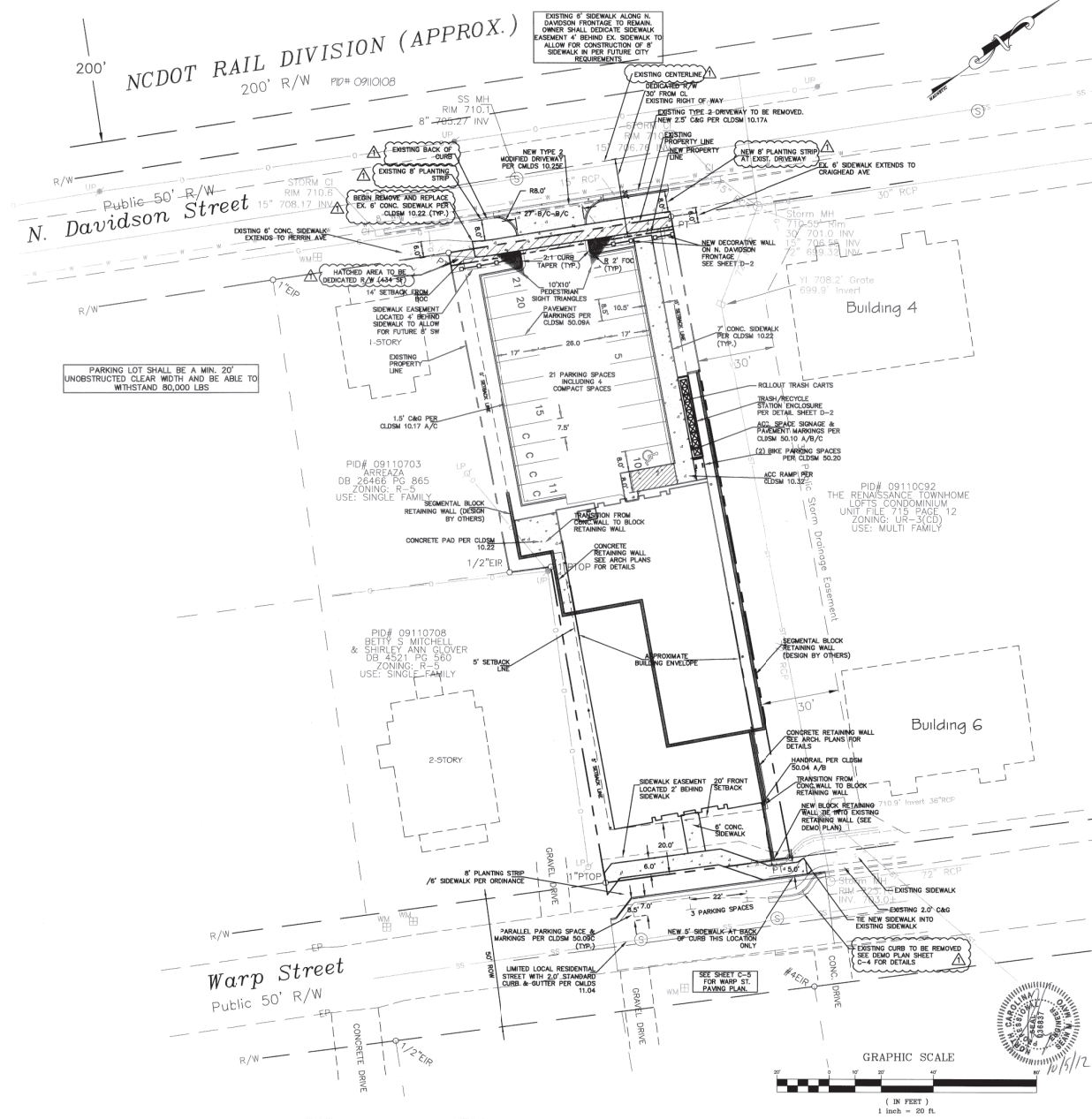
PARCEL IS ZONED UR-3(CD) PER
REZONING PETITION 2012-009

SEE SHEET C-3 FOR ALL
PROJECT NOTES.

**PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL**
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By Brent Wilkinson 11/2/12

SITE LEGEND

—	SIGNAGE	—	PROPERTY LINE
—	YARD LIGHTS	—	RIGHT-OF-WAY LINE
—	LIGHT POLE	—	LOT LINE
—	POWER POLE	—	EASEMENT LINE
—	TRAFFIC DIRECTIONAL ARROW	—	CENTERLINE
—	HANDICAP PARKING STALL	—	CONCRETE
—	HANDICAP RAMPS	—	PAINT STRIPING
—	PHASE LINE	—	FENCE



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**GATEWAY COMMUNITIES
NODA 20 APARTMENTS
SITE PLAN**

PROJECT:	10/4/12 PER CITY/COUNTY REVIEW
DATE:	07-05-12
CHD:	JD
DRAWN:	SMM
SCALE:	1"=20"
PROJECT NUMBER:	GW-001
SHEET:	C-2