

## General Notes:

- Coordinate all curb and street grades in intersection with Inspector.
- All road improvements along Hillendale Drive are to be coordinated with the City of Charlotte Engineering Department prior to construction.
- Developer will provide street signs per CLDSM# 50.05 (9" signs only)
- Sight triangles shown are the minimum required.
- In rolling and hilly terrains, sweeping of the stone base and/or application of a tack coat may be required near intersections. These requirements will be established by the Inspector and based on field conditions.
- Approval of this plan is not an authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the affected property owners.
- In order to ensure proper drainage, keep a minimum of 0.5% slope on the curb
- Subsurface drainage facilities may be required in the street right-of-way if deemed necessary by the Inspector.
- Curb and gutter shown on plans along may be adjusted based upon field staking by City Engineering. Associated storm drainage may also require modification based upon field conditions.
- The purpose of the storm drainage easement (SDE) is to provide storm water conveyance. Buildings are not permitted in the easement area. Any other objects which impede storm water flow or system maintenance are also prohibited.
- The developer shall maintain each stream, creek, or backwash channel in an unobstructed state and shall remove from the channel and banks of the stream all debris, logs, timber, junk and other accumulations.
- "As-built" drawings and plans of the storm drainage system, including designed ditches, must be submitted prior to subdivision final inspection to the City/County Engineering Department in accordance with the City/County Subdivision Ordinance.
- Non-standard items (ie: pavers, irrigation systems, etc.) in the right-of-way require a Right-of-Way Encroachment Agreement with the (Charlotte Department of Transportation/North Carolina Department of Transportation) before installation.
- Prior to plat recordation, Offsite R/W and/or construction easements are required to be obtained according to the guidelines of the "Offsite R/W Acquisition Process". These needed R/W and construction limits are clearly shown on the roadway improvement plan.
- The Developer shall contact the Charlotte Department of Transportation (Gus Jorji, 704-336-7086) to identify any conflicts with traffic signalization equipment. 60- 90 days will be required to coordinate relocation. Developer shall be responsible for all related relocation cost and/or any repair cost caused by the contractor/developer.
- Certification and Street cut permits are required for utility cuts on City streets. Allow 7 days processing for permit. For information contact Charlotte Department of Transportation (704-336-4025) or visit <http://www.charmeck.org/Departments/Transportation/Street+Maintenance/Home.htm>
- Per Section 18-175(e) of City Code and Section 10.0 of the City's Post Construction Controls Administrative Manual, all required Natural Areas and/or Post Construction Controls easements (PCCes) must be recorded prior to the issuance of the Certificate of Occupancy.
- There shall be no demolition landfills on site.
- Direct vehicular access from lots 2 through 6 to Sardis Road is prohibited.
- Per Section 12-308 of the City Zoning Ordinance, requires landscape screening on residential reverse frontage lots to provide a visual screen between the use and the street which will not provide direct vehicular access.
- In the event that homes on lots 2 through 6 face the private alley, the 50' setback shall apply. If the lots face Sardis Road the 30' setback shall apply.

Maximum Building Coverage for Detached Dwellings	
Single Family Lot Size (Sq. Ft.)	Maximum Building Coverage (%)
Up to 4,000	50
4,001 to 6,500	45
6,501 to 8,500	40
8,501 to 15,000	35
15,001 or greater	30

(Petition No. 2007-70, § 9.205(1)(b), 06/18/07)

PCCO Summary Table				
Jurisdiction	Watershed District	Structural Water Quality SWQ	Buffers	Volume & Peak Control
Mecklenburg County	Central Catawba	>24% BUA requires 85% TSS removal for runoff from lot a 10 foot zone adjacent to base. If this zone is disturbed, it must be revegetated and the buffer stabilized with approved bioengineering techniques. 35 ft. (2 zones) buffer on intermittent and perennial streams draining >50 and <300 acres. 50 ft. (2 zones) buffer on streams draining >300 and <640 acres. 100 ft. + entire floodplain on streams draining >640 acres. All buffers delineated by GIS	>24% BUA requires 85% TSS removal for runoff from lot a 10 foot zone adjacent to base. If this zone is disturbed, it must be revegetated and the buffer stabilized with approved bioengineering techniques. 35 ft. (2 zones) buffer on intermittent and perennial streams draining >50 and <300 acres. 50 ft. (2 zones) buffer on streams draining >300 and <640 acres. 100 ft. + entire floodplain on streams draining >640 acres. All buffers delineated by GIS	Volume (Commercial & Residential): >24% BUA control entire volume for 1-yr, 24-hr storm. >24% BUA perform a downstream flood analysis to determine whether peak control is needed and if so, for what level of storm frequency (i.e., 10, 25, 50 or 100-yr, 6-hr) Q <sub>95</sub> . If a downstream analysis is not performed control the peak for the 10-yr and 25-yr, 6-hr storms. >24% BUA = 25% open space. >24% and <50% BUA = 17.5% open space. >50% BUA = 10% open space.

PCCO SUMMARY	
Original Parcel ID Number(s):	213-033-04
Development Type:	Single-Family
Subject to PCCO? Y/N	N
If NO, why?	Below BUA/Disturbance Thresholds
Watershed:	Central Catawba
Disturbed Area (ac):	2.75
Site Area (ac):	3.61
Total on-site Drainage Area (ac):	3.61
Existing Built-upon-area (SF):	1710
Existing BUA to be removed (SF):	1710
Existing BUA to remain (SF):	0
Proposed New BUA (SF):	37897
Proposed % BUA:	24
Density (High / Low):	Low
Total Post-Project BUA for site:	37897
Development or Redevelopment?	Development
Natural Area Required (ac):	0.9
Natural Area provided, total (ac):	0.91
Undisturbed Treated NA Preserved (ac):	0.36
Total stream buffer protected on-site (ac):	0
Transit Station Area? Y/N	No
Distressed Business District? Y/N	No
Mitigation Type (if applicable):	N/A
Natural Area mitigation? Y/N	Y
Buffer Mitigation? Y/N	N
Total Phosphorous Mitigation? Y/N	N

## Impervious Area Calculation:

Total Site Area .....	3.61 Ac.
Total Impervious Area Allowed.....	0.87 Ac. (24% Site Area)
Private Road.....	0.20 Ac. (8,648 sf)
Site Impervious Area Allowed Minus Private Road.....	0.67 Ac.
Maximum Impervious Area Per Lot.....	0.067 Ac. (2918.50 sf)

Notes:

- Impervious calculations do not include existing impervious area between Sardis Road R/W dedication line and existing Sardis Road centerline.
- Proposed 5' wide sidewalk and entrance drive along Hillendale Drive was also not included in these calculations.

## Treesave/Natural Area Calculation:

Total Site Area .....	3.61 Ac.
Total Treesave Required.....	0.36 Ac. (15,681 sf, 10% Site Area)
Total Treesave Provided.....	0.36 Ac. (15,710 sf, 10% Site Area)
Total Natural Area Required.....	0.90 Ac. (39,204 sf, 25% Site Area)
Total Natural Area Provided.....	
Natural Area.....	0.88 Ac. (38,240 sf)
Natural Area Within Utility Easements (25% Credit).....	0.035 Ac. (1,502 sf, Total Area 6,007)
Total .....	0.91 Ac. (39,742 sf, 25.0% Site Area)

TAX ID# 213-033-02  
AUTUMN LEAVES, LLC  
DB 24321, DP 828  
HILLDALE DR

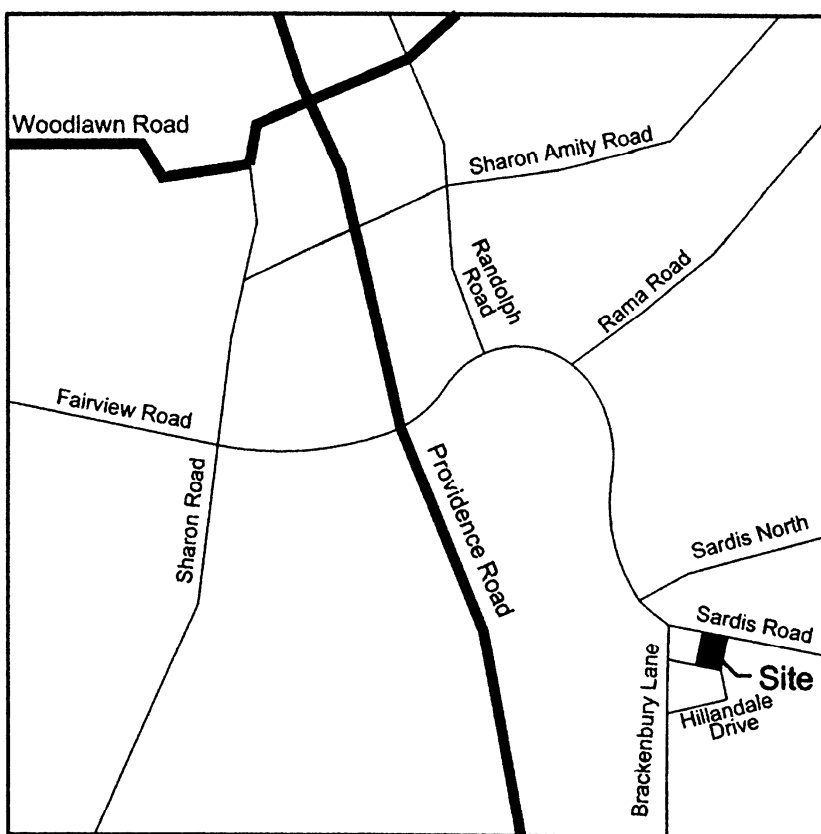
TAX ID# 213-033-33  
AUTUMN LEAVES, LLC  
DB 24321, DP 828  
HILLDALE DR

## Development Data:

Tax Parcel #.....	213-033-04
Address.....	8724 Sardis Road
Gross Site Area.....	3.61 Ac.
Zoning Jurisdiction.....	City of Charlotte
Permitted Number of Lots (Base Zoning).....	R-3
Proposed Number of Lots.....	10
Total Density Proposed.....	2.77 Du/Ac (10 Units/3.61 Ac)
Minimum Lot Size.....	12,000 SF
Minimum Lots Width.....	70'
Minimum Front Setback.....	42' (BOC)
Minimum Rear Yard.....	45'
Minimum Side Yard.....	6'

Line Table		
Line #	Length	Direction
L1	88.187	S10° 15' 50.66"E
L2	95.131	S6° 27' 39.11"E
L3	161.716	S84° 37' 26.00"W
L4	6.778	N72° 59' 21.45"W

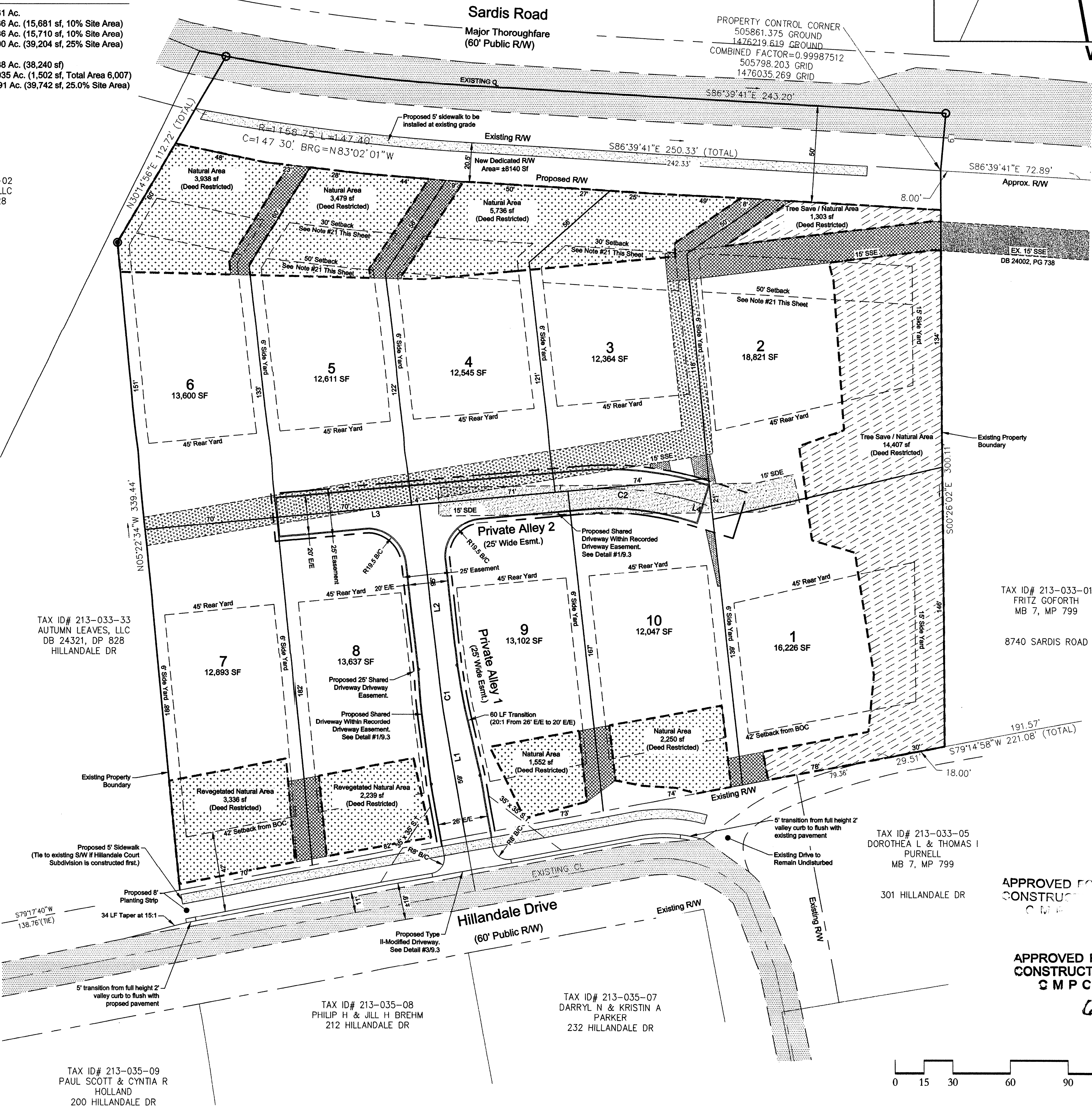
Curve Table			
Curve #	Length	Radius	Delta
C1	20.046	302.000	3.8032
C2	58.609	150.000	22.3868



Vicinity Map  
Not to Scale

## Legend:

SYMBOL	DETAIL
	DTL #4/9.3 - CLDSM #10.17A DTL #5/9.3 - CLDSM #10.17C
	DTL #2/9.3 - CLDSM #10.22
	-/-
	-/-
	-/-
	-/-
	-/-
	-/-



APPROVED FOR  
CONSTRUCTION  
C M P C

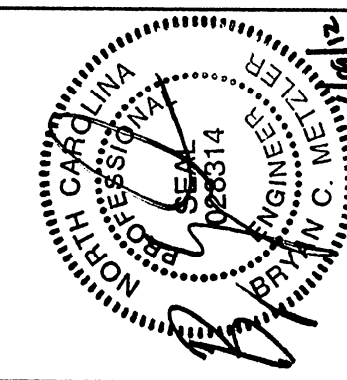
APPROVED FOR  
CONSTRUCTION  
C M P C

6/20/12



R.H. Hagemeyer, Inc.

REVISIONS		DATE	BY	DESCRIPTION
1	Per City of Charlotte Comments	6/19/12	JAM	
2	Per City of Charlotte Comments	5/23/12	JAM	



Hillendale Subdivision  
Charlotte, North Carolina

JOB NO: 7303  
DATE: 4/09/12  
SHEET 3.1

Preliminary Subdivision Plan