

TAX PARCEL ID:	131-032-16
SITE AREA:	1.4 ACRES TO R/W (1.57 ACRES GROSS)
ZONING:	R-22 MF
EXISTING USE:	LOW INCOME MULTI-FAMILY
PROPOSED USE:	30 LOW INCOME MULTI-FAMILY UNITS FOR RENT (16 EXISTING UNITS, 14 UNITS TO BE CONSTRUCTED)
DENSITY:	21.43 DUA TO R/W (19.1 DUA GROSS)
SETBACK:	30'
SIDE YARD:	10'
REAR YARD:	40'
MINIMUM BUILDING SEPARATION:	16'
MAX BUILDING HEIGHT ALLOWED:	40'
EXISTING BUILDING HEIGHT:	22'
NEW BUILDINGS HEIGHT PROPOSED:	36'
REQUIRED PARKING:	30 SPACES (1 PER UNIT)
PROPOSED PARKING:	23 REGULAR SPACES 1 VAN ACCESSIBLE SPACE <u>7 COMPACT SPACES</u> 31 TOTAL SPACES

REQUIRED BICYCLE PARKING:	N/A
REQUIRED TRASH COLLECTION:	8 C.Y. CONTAINER PER 30 UNITS
PROPOSED TRASH COLLECTION:	8 C.Y. CONTAINER
REQUIRED RECYCLE COLLECTION:	(1) 144 S.F. STATIONS
PROVIDED RECYCLE COLLECTION:	(1) 144 S.F. STATIONS
OPEN SPACE REQUIRED:	40% = 24,384 SF
OPEN SPACE PROVIDED:	25,600 SF
EXISTING IMPERVIOUS AREA:	33,947 S.F.
EXISTING IMPERVIOUS AREA TO BE REMOVED:	11,539 S.F.
PROPOSED NEW IMPERVIOUS AREA:	13,521 S.F.
PCCO:	N/A (NEW IMPERVIOUS AREA LESS THAN 20,000 S.F.)

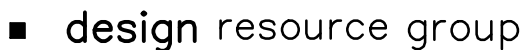
Original Parcel ID Number(s):	131-032-16	
Development Type:	Multi-Family	
Subject to PCCO? Y/N	No	
If NO, why?	Below BUA/Disturbance Thresholds	
Watershed:	Central Catawba	
Disturbed Area (ac):	0.702	
Site Area (ac):	1.3995	
	DA#1	DA#2
Total on-site Drainage Area (ac):	1.399	
Existing Built-upon-area (SF):	33947	
Existing BUA to be removed (SF):	11539	
Existing BUA to remain (SF):	22408	
Proposed New BUA (SF):	13521	
Proposed % BUA:	35.08991385	
Density (High / Low)	High	
Total Post-Project BUA for site:	35929	
Development or Redevelopment?	Redevelopment	
Natural Area Required (ac):		
Natural Area provided, total (ac):		
Undisturbed Treed Natural Area Preserved (ac):	0	
Total stream buffer protected on-site (ac):	N/A	
Transit Station Area? Y/N	N	
Distressed Business District? Y/N	N	
Mitigation Type (if applicable)	N/A	
Natural Area mitigation? Y/N	N	
Buffer Mitigation? Y/N	N	
Total Phosphorous Mitigation? Y/N	N	

THE PROJECT, INCLUDING THE PROPOSED BUILDING AND THE MODIFICATIONS TO THE EXISTING SITE FEATURES, IS ANTICIPATED TO BE COMPLETE BY JULY, 2013. SOME VARIATION IN THIS SCHEDULE MAY OCCUR.

ALL PROPOSED SITE UTILITIES SHALL BE LOCATED UNDERGROUND. EXISTING OVERHEAD POWER LINES SHALL REMAIN.

THE BACK FLOW PREVENTORS PROPOSED FOR THE NEW BUILDING SHALL BE ABOVE GROUND AND SCREENED FROM PUBLIC VIEW.

By Brent Wilkinson 10/24/12



- landscape architecture
- civil engineering
- urban design
- land planning
- traffic engineering
- transportation planning

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PROJECT #: 004-040  
DRAWN BY: BG  
CHECKED BY: JG

## AUGUST 15, 2012

REVISIONS:  
1. 9/21/12 PER CMPC COMMENTS

## C2.0