

PCCO SUMMARY		
Original Parcel ID Number(s):		
Development Type:	Commercial	
Subject to PCCO? Y/N	Yes	
If NO, why?	Click for Dropdown --	
Watershed:	Six Mile	
Disturbed Area (ac):	4.26 acres	
Site Area (ac):	DA#1	DA#2
Total on-site Drainage Area (ac):	8.9 acres	
Existing Built-upon-area (SF):	0.0 SF	
Existing BUA to be removed (SF):	0.0 SF	
Existing BUA to remain (SF):	0.0 SF	
Proposed New BUA (SF):	130,680 SF	
Proposed % BUA:	33.70%	
Density (High / Low)	Low	
Total Post-Project BUA for site:	3.0 acres	
Development or Redevelopment?	Development	
Natural Area Required (ac):	1 acre	
Natural Area Provided (ac):	4.79 acres	
Total stream buffer protected on-site (ac):	1.2 acres	
Transit Station Area? Y/N	No	
Distressed Business District? Y/N	No	
Mitigation Type (if applicable)	1-YR VOL / 10-YR Peak	
Natural Area mitigation? Y/N	No	
Buffer Mitigation? Y/N	No	
Total Phosphorous Mitigation? Y/N	No	

24 HOUR CONTACT:
DAVID HALL
HALL ENGINEERING, INC.
GREENVILLE, SC 29601
(864)370-6600

GOVERNING AGENCIES

STORMWATER
CHARLOTTE-MECKLENBURG STORMWATER SERVICES
600 EAST FOURTH ST.
CHARLOTTE, NC 28202
704-336-7924

WATER & SEWER
CMUD WATER-SEWER SERVICES
5100 BROOKSHIRE BOULEVARD
CHARLOTTE, NC 28216

ENVIRONMENTAL HEALTH
MECKLENBURG COUNTY, NC
HAL MARSHAL SERVICES CENTER
700 NORTH TRYON ST.
CHARLOTTE, NC 28202

POWER
DUKE POWER COMPANY
1-800-600-DUKE

PLAN/GRADING APPROVAL
CHARLOTTE LAND DEVELOPMENT SERVICES
600 EAST FOURTH ST.
CHARLOTTE, NC 28202
704-336-4556
ATTN: MR. BRENDAN SMITH, PE

GAS
PIEDMONT NATURAL GAS
1-800-752-7504

DEPT. OF TRANSPORTATION
NCDOT HIGHWAY DIVISION 10
716 W Main St.
Albemarle, NC 28801
704-983-4400

OWNER / DEVELOPER
CROSLAND SOUTHEAST
201 SOUTH COLLEGE ST.
SUITE 1300
Charlotte, NC 28244
704-561-5200
Contact: SHAY BAIRD

SURVEYOR
LDSI
223 N. GRAHAM ST.
Charlotte, NC 28202
704-376-7777
Contact: SETH MARTIN, PLS

ENGINEER
Hall Engineering, Inc.
P.O. Box 8160
Greenville, SC 29604
864-370-1560
Contact: William David Hall, P.E.

DRAWING LIST

NO.	TITLE	LATEST REVISION
SITWORK		
C-1	COVER SHEET	1-23-2012
S-1	TOPOGRAPHIC SURVEY	1-23-2012
CV-1	SITE PLAN-LOT LAYOUT	1-23-2012
CV-2	SITE STAKEOUT PLAN	1-23-2012
CV-3	EROSION PREVENTION AND SEDIMENT CONTROL PLAN	1-23-2012
CV-4	SITE GRADING PLAN	1-23-2012
CV-5	STORM DRAINAGE WATERSHED MAP	1-23-2012
CV-6	STORMWATER POND	1-23-2012
CV-7	SITE UTILITY PLAN	1-23-2012
CV-8	SITWORK DETAILS	1-23-2012
CV-9	SITWORK DETAILS	1-23-2012
CV-10	SITWORK DETAILS	1-23-2012

ARDREY KELL ROADWORK

CV-11	ARDREY KELL DEMOLITION PLAN	1-23-2012
CV-12	ARDREY KELL LAYOUT PLAN	1-23-2012
CV-13	ARDREY KELL STRIPING PLAN	1-23-2012
CV-14	TURNING MOVEMENTS PLAN	1-23-2012
CV-15	ARDREY KELL GRADING/TYPICAL CROSS SECTIONS	1-23-2012
CV-16	AERIAL OF ROAD CONSTRUCTION ZONE	1-23-2012
CV-16a	TRAFFIC CONTROL PLAN	1-23-2012
CV-16b	TRAFFIC CONTROL PLAN	1-23-2012
CV-16c	ATRAFFIC CONTROL PLAN	1-23-2012
CV-16d	TRAFFIC CONTROL PLAN	1-23-2012
CV-17	TRAFFIC CONTROL DETAILS	1-23-2012
CV-18	TRAFFIC CONTROL DETAILS	1-23-2012
CV-19	TRAFFIC CONTROL DETAILS	1-23-2012
CV-20	ARDEY KELL CROSS SECTIONS	1-23-2012
CV-21	ARDEY KELL CROSS SECTIONS	1-23-2012
CV-22	ARDEY KELL CROSS SECTIONS	1-23-2012
CV-23	ARDEY KELL CROSS SECTIONS	1-23-2012
CV-24	ARDEY KELL CROSS SECTIONS	1-23-2012
CV-25	ARDREY KELL DETAILS	1-23-2012
CV-26	ARDREY KELL DETAILS	1-23-2012
CV-27	ARDREY KELL DETAILS	1-23-2012
CV-28	ARDREY KELL DETAILS	1-23-2012
CV-29	ARDREY KELL DETAILS	1-23-2012
CV-30	LANDSCAPE PLAN	1-23-2012

REZONING PETITION (5 SHEETS)

Site Development Plans

for

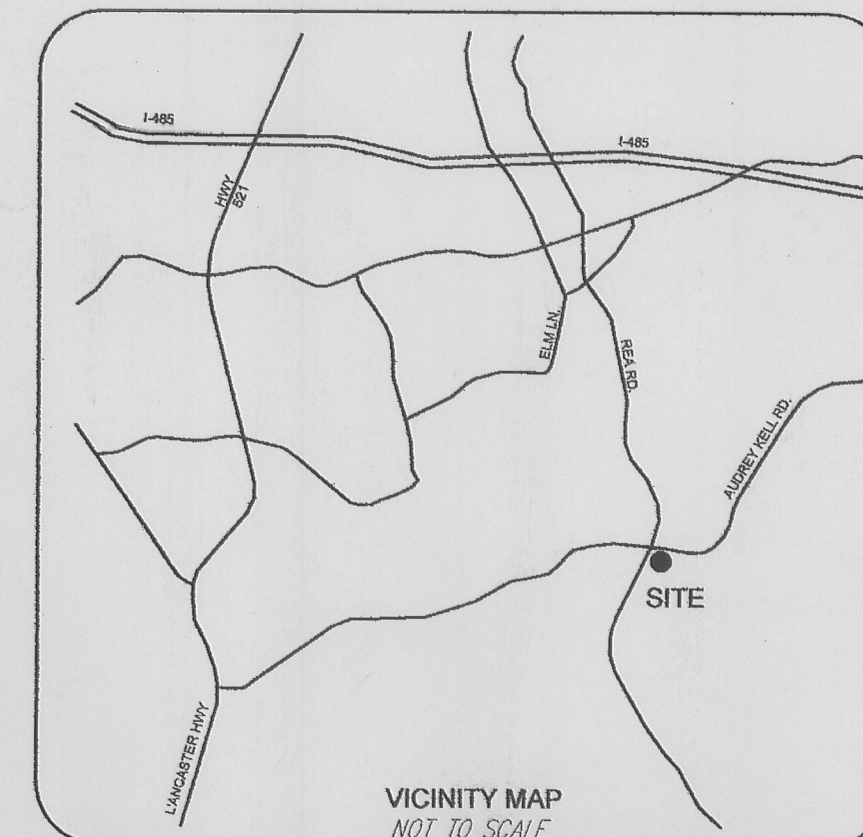
Blakeney Southeast Quadrant

Rea Rd. and Ardrey Kell Rd.

Charlotte, Mecklenburg County, NC

(Parcel ID. 22940198)

A DEVELOPMENT BY



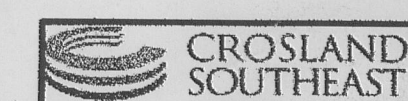
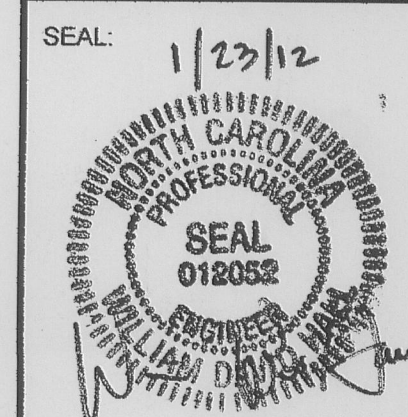
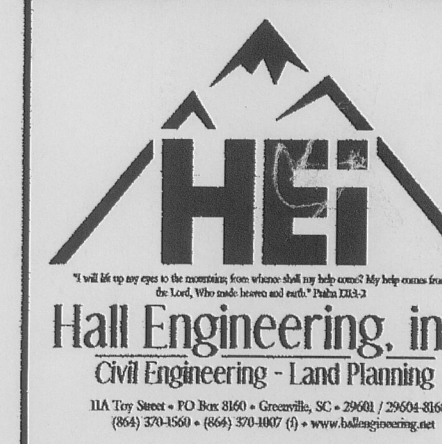
SITE NOTES

- Coordinate all curb and street grades in intersection with Inspector.
- All road improvements for Ardrey Kell are to be coordinated with the City of Charlotte Engineering Department prior to construction.
- Developer will provide street signs per CLDSM# 50.05 (9" signs only)
- Sight triangles shown are the minimum required.
- Direct vehicular access to REA and Ardrey Kell from lots 1-3 is prohibited.
- In rolling and hilly terrain, sweeping of the stone base and/or application of a tack coat may be required near intersections. These requirements will be established by the Inspector and based on field conditions.
- In rolling and hilly terrain, sweeping of the stone base and/or application of a tack coat may be required near intersections. These requirements will be established by the Inspector and based on field conditions.
- Approval of this plan is not an authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the affected property owners.
- In order to ensure proper drainage, keep a minimum of 0.5% slope on the curb.
- Subsurface drainage facilities may be required in the street right-of-way if deemed necessary by the inspector.
- Curb and gutter shown on plans along Ardrey Kell may be adjusted based upon field staking by City Engineering. Associated storm drainage may also require modification based upon field conditions.
- The purpose of the storm drainage easement (SDE) is to provide storm water conveyance. Buildings are not permitted in the easement area. Any other objects which impede storm water flow or system maintenance area also prohibited.
- High-density polyethylene (HDPE) storm drainage pipe installed within existing or proposed public street right-of-way must be approved by the City's Inspector prior to any backfill being placed. Backfill material must be approved by the City Inspector prior to placement of the material within the public street right-of-way.
- The developer shall maintain each stream, creek, and or backwash channel in an unobstructed state and shall remove from the channel and banks of the stream all debris, logs, timber, junk and other accumulations.
- Any building within the 100+1 Stormwater Elevation Line is subject to the restrictions of the (City of Charlotte/Mecklenburg County) Subdivision Ordinance, Section 7.200.8.
- Any construction or use within the Future Conditions Flood Fringe Line is subject to the restrictions imposed by the Floodway Regulations of the City of Charlotte and Mecklenburg County.
- All openings (e.g., doors, windows, vents) in structures built on Lot 3 should be located a minimum of one foot above the adjacent finished ground surface (applies to lots which may experience significant overland flow not considered in the 100+1 flood analysis)

- PE sealed shop drawings for retaining wall must be submitted to City Engineer prior to construction. See Ardrey Kell drawings for location.
- "As-built" drawings and plans of the storm drainage system, including designed ditches, must be submitted prior to subdivision final inspection to the City/County Engineering Department in accordance with the City/County Subdivision Ordinance.
- Prior to installation, PE sealed shop drawings for underground detention systems must be furnished to City of Charlotte Engineering for approval.
- Prior to CO, surveyor sealed as-built drawings of underground detention systems must be provided.
- Non-standard items (ie: pavers, irrigation systems, etc.) in the right-of-way require a Right-of-Way Encroachment Agreement with the (Charlotte Department of Transportation/North Carolina Department of Transportation) before installation.
- Prior to plat recordation. Offsite R/W and/or construction easements are required to be obtained according to the guidelines of the "offsite R/W Acquisition Process". These needed R/W and construction limits are clearly shown on the roadway improvement plan.
- The Developer shall contact the Charlotte Department of Transportation (Gus Jorti, 704-336-7086) to identify any conflicts with traffic signalization equipment. 60-90 days will be required to coordinate relocation. Developer shall be responsible for all related relocation cost and/or any repair cost caused by the contractor/developer.
- Certification and Street cut permits are required for utility cuts on City streets. Allow 7 days processing for permit. For information contact Charlotte Department of Transportation (704-336-4025) or visit <http://www.charmeck.org/Departments/Transportation/Street+Maintenance/Home.htm>
- Per Section 18-175(c) of City Code and Section 10.0 of the City's Post Construction Controls Administrative Manual, all required Natural Areas and/or Post Construction Controls easements (PCCEs) must be recorded prior to the issuance of the Certificate of Occupancy.
- All disturbed areas must received paving or be seeded within 14 calendar days.

REVISIONS

DATE	DESCRIPTION
8-25-11	For Review and Approval
10-25-11	Revisions per Engineering
11-11-11	Revisions per Review
11-11-11	Revisions per 2nd Review



Hall Engineering, Inc.

JAN 26 2012

Date Printed

COVER SHEET

BLAKENEY
SOUTHEAST QUADRANT
CHARLOTTE, NC

DRAWING SCALE:
NTS
JOB ORIGINATION
DATE: 12-28-10
PERMIT SET
ISSUE DATE:
BID SET
ISSUE DATE:
HALL ENGINEERING
JOB NUMBER: 1008
DRAWING NUMBER:

C-1

APPROVED FOR
CONSTRUCTION
C M P C
2/29/2012
JH



