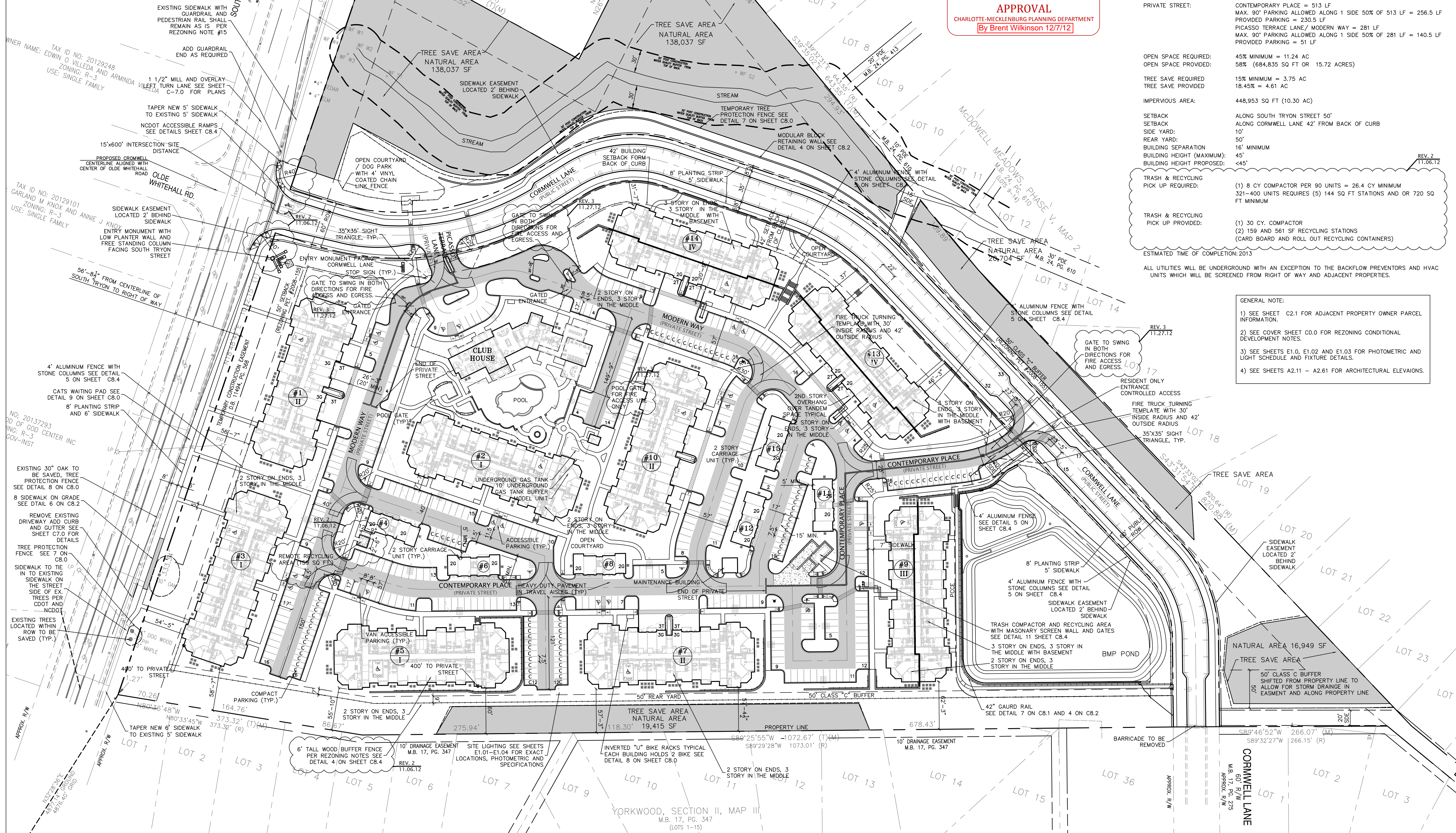


VICINITY MAP  
NOT TO SCALE



FIRE NOTES

BUILDING CONSTRUCTION:

APARTMENTS: VA  
CLUBHOUSE: VB  
CARRIAGE (TYPE 5): VB  
APARTMENTS: 13-R SPRINKLERED SYSTEM  
CLUBHOUSE: (6,021 SQ FT)  
CARRIAGE: 13-R SYSTEM (1,538 SQ. FT. 2ND FLOOR)

BUILDING AREAS:

BLDG. TYPE I: TOTAL: 33,818 SQ. FT.  
#2,3 AND 5 FIRST FLOOR: 12,914 SQ. FT.  
SECOND FLOOR: 12,914 SQ. FT.  
THIRD FLOOR: 7,990 SQ. FT.  
BLDG. TYPE II: TOTAL: 29,908 SQ. FT.  
#1,7 AND 10 FIRST FLOOR: 10,204 SQ. FT.  
SECOND FLOOR: 12,314 SQ. FT.  
THIRD FLOOR: 7,390 SQ. FT.  
BLDG. TYPE III: TOTAL: 40,888 SQ. FT.  
#9 BASEMENT: 6,386 SQ. FT.  
FIRST FLOOR: 13,142 SQ. FT.  
SECOND FLOOR: 13,142 SQ. FT.  
THIRD FLOOR: 8,218 SQ. FT.  
BLDG. TYPE IV: TOTAL: 36,248 SQ. FT.  
#13 AND 14 BASEMENT: 6,154 SQ. FT.  
FIRST FLOOR: 10,614 SQ. FT.  
SECOND FLOOR: 12,090 SQ. FT.  
THIRD FLOOR: 7,390 SQ. FT.

NOTES: SEE WATER PLAN SHEET C5.0 FOR FDC LOCATIONS HYDRANT FLOW TEST FLOW TEST RESULTS

PRELIMINARY PLANNED  
MULTI-FAMILY SUBDIVISION  
APPROVAL  
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
By Brent Wilkinson 12/7/12

SITE DATA

TAX MAP NO: 16715499 AND 16711108  
ZONING: R-17MF (CD)  
REZONING PETITION NO: 2008-155  
SITE AREA: 24.98 ACRES  
PROPOSED USE: APARTMENTS FOR RENT - MULTI-FAMILY RESIDENTIAL  
PROPOSED UNITS: 321 APARTMENTS  
DENSITY: 12.85 D.U./A.

BUILDING USE:

9 MULTI-FAMILY DWELLING UNIT BUILDINGS  
1 CLUBHOUSE  
6 CARRIAGE UNIT BUILDINGS  
1 MAINTENANCE BUILDING

PARKING REQUIRED:

1.5 SPACES PER UNIT (482 SPACES)  
1.73 SPACE PER UNIT  
362 REGULAR SPACES  
14 HANDICAP ACCESSIBLE SPACES  
5 HANDICAP VAN ACCESSIBLE SPACES  
50 GARAGE SPACES  
98 COMPACT SPACES  
26 TANDEM SPACES  
553 TOTAL SPACES

BIKE PARKING REQUIRED:

1 SHORT TERM SPACE/20 UNITS = 17  
NO LONG TERM SPACES REQUIRED  
20 SHORT TERM SPACES (10 RACKS) INVERTED U

BIKE PARKING PROVIDED:

PRIVATE STREET:

CONTEMPORARY PLACE = 513 LF  
MAX. 90' PARKING ALLOWED ALONG 1 SIDE 50% OF 513 LF = 256.5 LF  
PROVIDED PARKING = 230.5 LF  
PICASSO TERRACE LANE/ MODERN WAY = 281 LF  
MAX. 90' PARKING ALLOWED ALONG 1 SIDE 50% OF 281 LF = 140.5 LF  
PROVIDED PARKING = 51 LF

OPEN SPACE REQUIRED:

45% MINIMUM = 11.24 AC  
58% (684,835 SQ FT OR 15.72 ACRES)

TREE SAVE REQUIRED

15% MINIMUM = 3.75 AC  
18.45% = 4.61 AC

IMPERVIOUS AREA:

448,953 SQ FT (10.30 AC)

SETBACK

ALONG SOUTH TRYON STREET 50'

SETBACK

ALONG CORMWELL LANE 42' FROM BACK OF CURB

SIDE YARD:

10'

REAR YARD:

16' MINIMUM

BUILDING SEPARATION

45'

BUILDING HEIGHT (MAXIMUM):

<45'

BUILDING HEIGHT PROPOSED:

(1) 8 CY COMPACTOR PER 90 UNITS = 26.4 CY MINIMUM  
321-400 UNITS REQUIRES (5) 144 SQ FT STATIONS AND OR 720 SQ FT MINIMUM

TRASH & RECYCLING

(1) 30 CY. COMPACTOR  
(2) 159 AND 561 SF RECYCLING STATIONS  
(CARD BOARD AND ROLL OUT RECYCLING CONTAINERS)

ESTIMATED TIME OF COMPLETION: 2013

ALL UTILITIES WILL BE UNDERGROUND WITH AN EXCEPTION TO THE BACKFLOW PREVENTORS AND HVAC UNITS WHICH WILL BE SCREENED FROM RIGHT OF WAY AND ADJACENT PROPERTIES.

GENERAL NOTE:

- 1) SEE SHEET C2.1 FOR ADJACENT PROPERTY OWNER PARCEL INFORMATION.
- 2) SEE COVER SHEET C0.0 FOR REZONING CONDITIONAL DEVELOPMENT NOTES.
- 3) SEE SHEETS E1.0, E1.02 AND E1.03 FOR PHOTOMETRIC AND LIGHT SCHEDULE AND FIXTURE DETAILS.
- 4) SEE SHEETS A2.11 - A2.61 FOR ARCHITECTURAL ELEVATIONS.



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charlotte, nc 28208  
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www.drgroup.com

THE ADDISON AT SOUTH TRYON

CHARLOTTE, NC

CONTRAVEST

237 S. WESTMONTÉ DRIVE, SUITE 140  
ALTA MONTÉ SPRINGS, FL 32714  
407.936.7162

CONSTRUCTION DOCUMENTS



SCALE: 1" = 60'

PROJECT #: 036-018  
DRAWN BY: NB  
CHECKED BY: SK

SITE PLAN

AUGUST 8, 2012

- REVISIONS:
1. 10/03/12 - PER LAND DEVELOPMENT REVIEW COMMENTS
  2. 11/06/12 - PER LAND DEVELOPMENT AND BLDG. STD. REVIEW COMMENTS
  3. 11/27/12 - PER BLDG. STD. REVIEW COMMENTS

C2.0