

### GENERAL NOTES:

- BOUNDARY, EXISTING UTILITIES, AND OTHER EXISTING FEATURES WITHIN PROPOSED PARCELS TAKEN FROM BOUNDARY AND TOPO SURVEY BY JAMES MAUNEY & ASSOCIATES, PA, DATED 12/16/08. ADDITIONAL OFF-SITE BASE DATA TAKEN FROM CAD INFORMATION FROM THE ORIGINALLY-APPROVED SUBDIVISION PROVIDED BY SITE SOLUTIONS PA.
- COORDINATE: ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- ALL ROAD IMPROVEMENTS ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER WILL PROVIDE STREET SIGNS PER OLDSEPM 50.05 (9" SIGNS ONLY).
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- DIRECT VEHICULAR ACCESS TO SAM NEELY ROAD FROM LOT 2 IS NOT PROVIDED BY THIS PLAN IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- IF REQUIRED, FUTURE CURB AND GUTTER ALONG SAM NEELY AND/OR STEELE CREEK ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- THE PURPOSE OF ANY STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- ANY BUILDING WITHIN THE 100'-1' STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE SUBDIVISION ORDINANCE, SECTION 7.200.8.
- ANY CONSTRUCTION OR USE WITHIN FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
- ALL OPENINGS (E.G. DOORS, WINDOWS, VENTS) IN STRUCTURES SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND NOT CONSIDERED IN A 100'-1' FLOOD ANALYSIS).
- P.E. SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- PRIOR TO INSTALLATION, P.E. SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION MUST BE SUBMITTED TO CITY ENGINEER.
- PRIOR TO CO. SURVEYOR SEALED AS-BUILT DRAWINGS OF UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED.
- PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS FOR PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4225) OR VISIT [HTTP://WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREET-MAINTENANCE/HOME.HTM](http://www.charmeck.org/departments/transportation/street-maintenance/home.htm)
- PER SECTION 18-175(a) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST-CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCCES) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- LOT DIMENSIONS ARE APPROXIMATE. REFERENCE RECORD PLAT FOR EXACT DIMENSIONS.
- APPROXIMATE TIME OF COMPLETION OF INFRASTRUCTURE: 12 MONTHS

### SITE DEVELOPMENT DATA

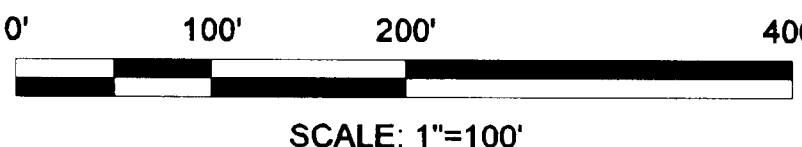
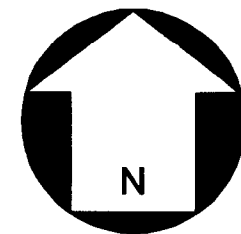
TAX PARCEL NOS.	20142101 & 20142108
DEVELOPERS:	VIRKLER REALTY, LLC & TEXAS PIPE & SUPPLY CO., LTD
ZONING:	I-1 & I-2
MINIMUM LOT WIDTH:	50'
MINIMUM SETBACK:	20'
MINIMUM SIDE YARD:	0' OR 5'
MINIMUM REAR YARD:	10'
MINIMUM LOT AREA:	8,000 SF
JURISDICTION:	CITY OF CHARLOTTE
AREA:	44.45 AC

### LEGEND

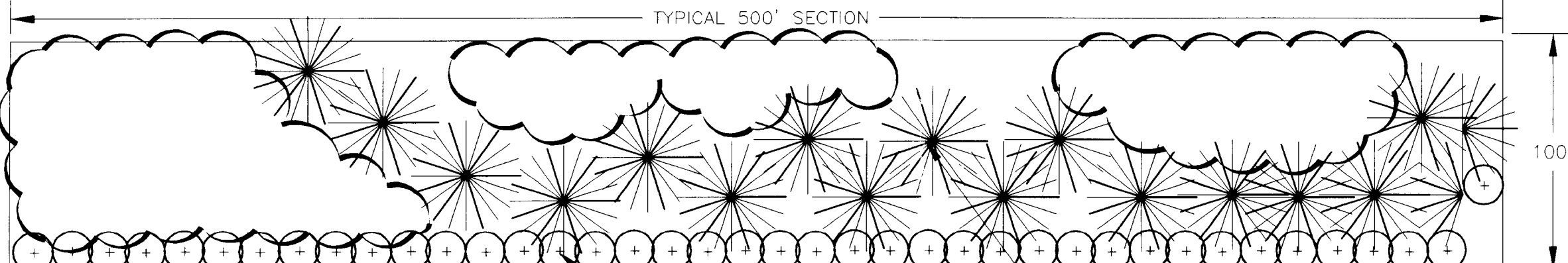
- EXISTING SIGN
- EXISTING IRON PIN
- EXISTING LIGHT POLE
- EXISTING FIRE HYDRANT
- EXISTING UTILITY POLE
- EXISTING FENCE
- EXISTING OVERHEAD POWER LINE
- RIGHT-OF-WAY
- EXISTING CURB AND GUTTER
- PROPERTY LINE
- CENTERLINE
- LIMIT OF PLAT REVISION

APPROVED FOR CONSTRUCTION

CMPC  
JBS 1-20-2011



### CLASS 'A' BUFFER PLANTING



NOTE: BUFFER PLAN AND PLANTINGS ARE SHOWN FOR INFORMATION ONLY. PLANT MATERIAL TO BE SHOWN AS LOTS ARE SUB-DIVIDED.

### 100' CLASS "A" BUFFER

"EXISTING VEGETATION WITHIN BUFFER CONSISTS OF 12 OR MORE 2" CALIPER MIXED HARDWOOD TREES (E.G. PINES, CEDARS, OAKS, AND MAPLES) EVENLY DISTRIBUTED EVERY 100 FEET. MINIMUM OF 25% EVERGREEN AND 40% LARGE MATURING. (SUPPLEMENTAL PLANTINGS NOTED IN AREAS VOID OF REQUIRED VEGETATION.)"

"60 SHRUBS PER 100 LF (500 LF BUFFER A X 60) = 300 SHRUBS PROVIDED"

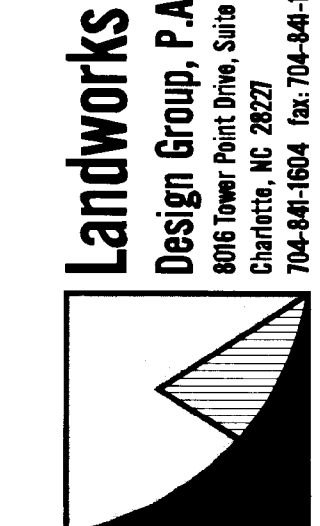
### BUFFER PLANTING REQUIREMENTS

BUFFER A: 500 LINEAR FEET  
TOTAL REQUIRED TREES: 60 (AT LEAST 24 TO LARGE MATURING AND 15 EVERGREEN)

REQUIREMENT SATISFIED BY EXISTING TREES AND SHRUBS TO REMAIN SUPPLEMENTED WITH 17 NEW EVERGREEN TREES AND 300 NEW EVERGREEN SHRUBS.

### NOTE

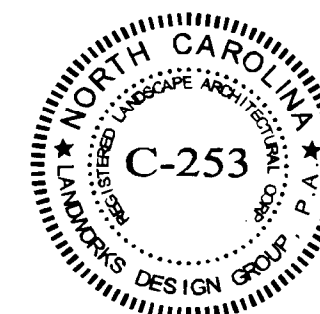
THESE PLANS REQUESTING A PRELIMINARY PLAT REVISION HAVE BEEN PREPARED TO RECONCILE THE ORIGINAL APPROVED 2003 PRELIMINARY PLAT TO PARCELS SOLD AND DEEDED THAT ARE NOT SUBJECT TO THE CITY OF CHARLOTTE SUBDIVISION ORDINANCE. PLEASE SEE DETAIL 1/L-102 FOR A GRAPHICAL REPRESENTATION OF THE CHANGES



STEELE CREEK CORPORATE  
CENTER - REVISION  
SAM NEELY ROAD  
CHARLOTTE, NC

### PRELIMINARY SUBDIVISION PLAN REVISION

seals



Description

By

REVISIONS:  
No. Date

Project Manager:

SSW

Drawn By:

MDL

Checked By:

Date:

12/6/10

Project Number:

10014

Sheet Number:

L-101