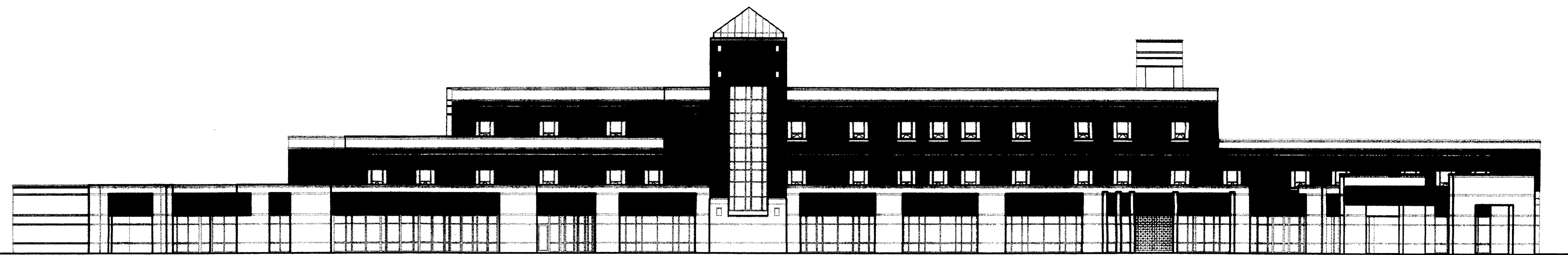


Presbyterian HOSPITAL

EAST CAMPUS

MECKLENBURG COUNTY, NC



Project Number: H-0767
DHSR Project #HL-7874

VOLUME I
CON #F-7648-06

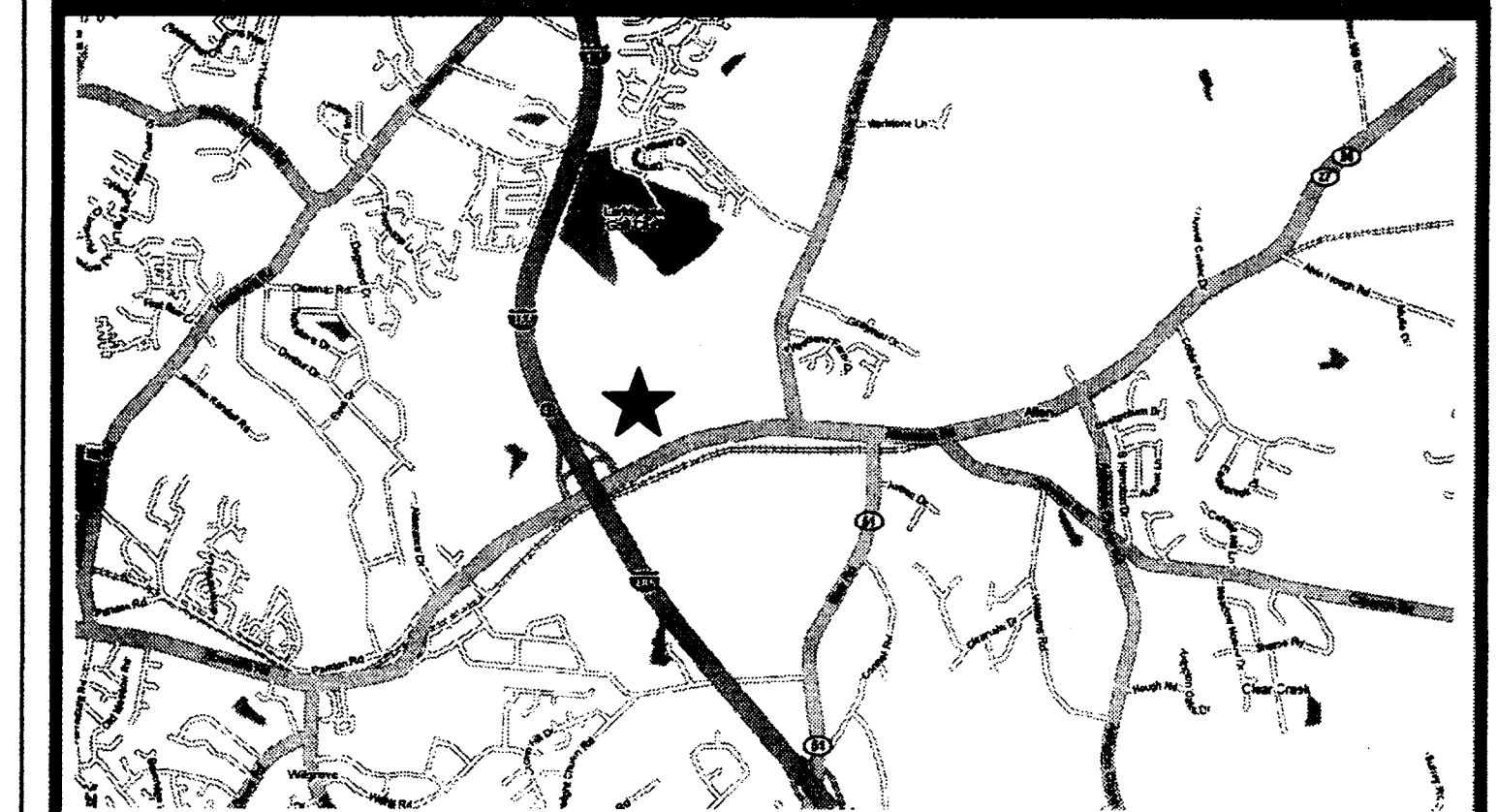
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and INTERIORS:**
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and FIRE PROTECTION:**
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KITCHEN CONSULTANT:
ROBERT RIPPE & ASSOC., INC.
6117 Blue Circle Dr. suite # 100
Minneapolis, MN 55343-9108
952-933-0313 FAX 952-933-9661



Meck. Co., North Carolina

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Presbyterian HOSPITAL
EAST CAMPUS
MECKLENBURG COUNTY, NC

CIVIL

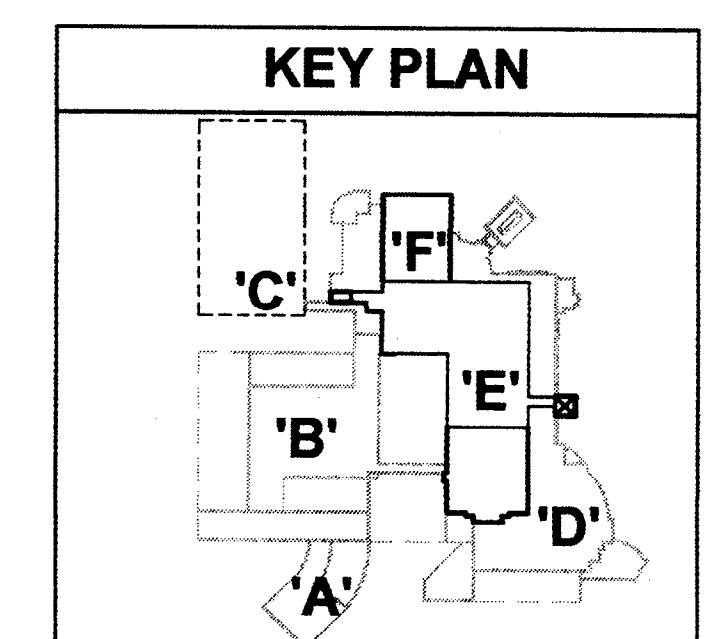
TECHNICAL DATA SHEET
SITE PLAN
OFFSITE TRANSPORTATION IMPROVEMENTS PLAN
BUILDINGS A & B CONCEPTUAL BUILDING ELEVATIONS
SITE SURVEY
L 1.1 INITIAL CLEARING DEMOLITION PLAN
L 1.2 FINAL CLEARING DEMOLITION PLAN
L 2.0 OVERALL SITE PLAN
L 2.1 SITE PLAN SOUTH
L 2.2 SITE PLAN NORTH
L 2.3 SITE PLAN ENLARGEMENTS
L 2.3A INTERSECTIONS TURNING TEMPLATES
DAS COMPONENT DRAINAGE AREA PLAN
L 3.0 STORM WATER MANAGEMENT PLAN
L 3.1 INITIAL EROSION CONTROL PLAN SOUTH
L 3.2 INITIAL EROSION CONTROL PLAN NORTH
L 3.3 MASS GRADING EROSION CONTROL PLAN SOUTH
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L 3.7 FINAL EROSION CONTROL PLAN SOUTH
L 3.8 FINAL EROSION CONTROL PLAN NORTH
L 3.9 GRADING STORM DRAINAGE PLAN SOUTH
L 3.10 GRADING STORM DRAINAGE PLAN WEST
L 3.11 GRADING STORM DRAINAGE PLAN NORTH
L 3.12 GRADING STORM DRAINAGE PLAN EAST
1 of 6 CMJ COVER SHEET
2 of 6 CMJ PERMIT SHEET
3 of 6 HEALTHCARE LOOP DRIVE (EX 55MH TO 55MH NO. 7)
4 of 6 HEALTHCARE LOOP DRIVE (55MH NO. 7 TO 55MH NO. 13)
5 of 6 HEALTHCARE LOOP DRIVE (55MH NO. 11 TO 55MH 15)
6 of 6 PRESBYTERIAN HOSPITAL DRIVE
L 4.1 UTILITY PLAN SOUTH
L 4.2 UTILITY PLAN NORTH
L 4.3 SANITARY SEWER PROFILES
L 5.1 PRESBYTERIAN HOSPITAL DRIVE PLAN & PROFILES
L 5.2 PRESBYTERIAN PARKWAY ISD PLAN & PROFILES
L 5.2A PRESBYTERIAN HOSPITAL TEMPORARY DRIVE ISD PLAN & PROFILE
L 5.3 PRESBYTERIAN HOSPITAL DRIVE ISD PLAN & PROFILE
L 5.4 HEALTHCARE LOOP DRIVE PROFILES - PRIVATE
L 5.5 HEALTHCARE LOOP DRIVE PROFILES - PRIVATE
L 5.6 PRESBYTERIAN HOSPITAL DRIVE OFFSITE PLAN & PROFILES
L 5.6 EC PRESBYTERIAN HOSPITAL DR. & PRESBYTERIAN PKWY. EROSION CONTROL PLAN
L 5.7 PRESBYTERIAN PARKWAY PLAN & PROFILES
L 5.8 PRESBYTERIAN HOSPITAL DRIVE & PRESBYTERIAN PARKWAY PAVEMENT MARKING PLAN
L 6.1 PRESBYTERIAN HOSPITAL DRIVE CROSS-SECTIONS
L 6.2 PRESBYTERIAN HOSPITAL DRIVE CROSS-SECTIONS
L 6.3 PRESBYTERIAN HOSPITAL DRIVE CROSS-SECTIONS
L 6.4 PRESBYTERIAN HOSPITAL DRIVE CROSS-SECTIONS
L 6.5 PRESBYTERIAN HOSPITAL DRIVE CROSS-SECTIONS
L 6.6 PRESBYTERIAN HOSPITAL DRIVE CROSS-SECTIONS
L 6.7 PRESBYTERIAN HOSPITAL DRIVE CROSS-SECTIONS
L 6.8 PRESBYTERIAN HOSPITAL DRIVE CROSS-SECTIONS
L 6.9 PRESBYTERIAN HOSPITAL DRIVE CROSS-SECTIONS

L 6.10 PRESBYTERIAN PARKWAY CROSS-SECTIONS
L 6.11 PRESBYTERIAN PARKWAY CROSS-SECTIONS
L 6.12 PRESBYTERIAN PARKWAY CROSS-SECTIONS
L 6.13 PRESBYTERIAN PARKWAY CROSS-SECTIONS
L 6.14 WALL PROFILES
L 7.0 OVERALL LANDSCAPE PLAN
L 7.1 LANDSCAPE PLAN SOUTH
L 7.2 LANDSCAPE PLAN NORTH
L 7.3 LANDSCAPE DETAILS
L 7.4 ENHANCED LANDSCAPE PLAN
L 8.1 SITE CONSTRUCTION DETAILS
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L 8.3 SITE CONSTRUCTION DETAILS
L 8.4 SITE CONSTRUCTION DETAILS
L 8.5 SITE CONSTRUCTION DETAILS
L 9.1 BMP DETAILS
L 9.2 BMP DETAILS
S 1.0 STRUCTURAL DETAILS

NC HIGHWAY 24/27 ROADWAY IMPROVEMENTS

SHEET 1
SHEET 1-A
SHEET 2 THRU 2-B
SHEET 3 THRU 5
SHEET 6 THRU 8
SHEET EC-1 THRU EC-3
SHEET FM-1 THRU FM-5
SHEET X-1 THRU X-23
TITLE SHEET
STANDARD SYMBOLS
TYPICAL SECTIONS
PAVEMENT REMOVAL PLANS
ROADWAY AND DRAINAGE PLANS
EROSION CONTROL PLANS
PAVEMENT MARKING PLANS
CROSS-SECTIONS

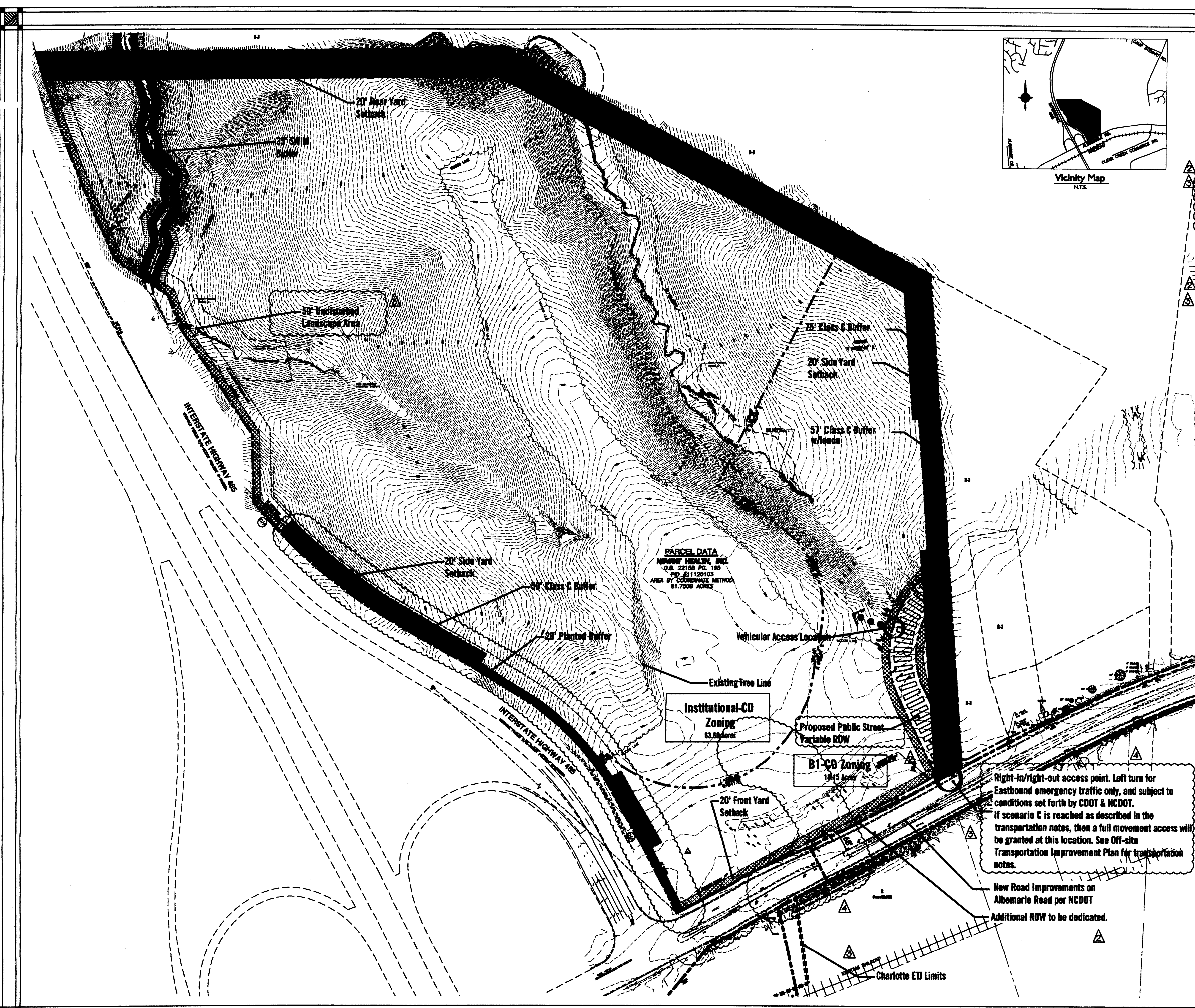
APPROVED FOR
CONSTRUCTION
G M P C



H0767 Project Number
ES/ GO/ SA Drawn By
Date
Revisions

COVER SHEET

CS-1



- ### Presbyterian Hospital-Albemarle Road Site Technical Notes
- Development of the site will be controlled by the standards depicted on this site plan and by the standards of the Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of proposed buildings and uses on the site, but the exact configuration, placement, and size of individual site elements may be altered or modified within the limits prescribed by the ordinance during the design development and construction phases in accordance with Section 5.2 of the Zoning Ordinance.
 - Access to the site will be provided by driveway connections to a new public street that will connect to Albemarle Rd. as generally depicted on this site. Transportation improvements, if any are needed as determined by a Traffic Impact Analysis, will be incorporated into the site development process as the various portions of the site are developed. The petitioner will construct pedestrian facilities that connect the buildings on the site to the public sidewalk network and to each other. 6' planting strips and 6' sidewalks will be constructed on all public streets. Pedestrian lighting will be provided in the pedestrian areas within the site. In addition, the Petitioner will construct a pedestrian/bicycle connection from the Petitioner's site to the property that adjoins the rear of the site as part of overall connectivity in the area at such time as that adjoining site is developed and that there is a specific connecting need for such connectivity depicted on the site plan.
 - The proposed use of the property will be for the development of the site to accommodate hospital and hospital related uses, including parking and service areas, and associated supporting services, such as a private helicopter landing pad, and facilities such as retail uses and medical office uses. The total floor area for the various buildings and uses is specified on the site plan, but the Petitioner may shift floor area between buildings as long as the floor area is added to the retail component and the total amount of floor area that may be shifted between buildings will not exceed a total of 25,000 sq. ft.
 - All dumpsters will be screened with solid enclosures and gates.
 - The proposed development will comply with all applicable Ordinance requirements for signage, screening, and landscaping.
 - Parking will be provided which meets or exceeds the requirements of the Ordinance.
 - The hospital proposed for this site will not exceed 110' in height, exclusive of parapets, elevator, communications and utility facilities. Smaller buildings shown on the site plan will have clear glass on public street frontages and will have 14' solid architectural. In addition, any utility or service areas that are located on any side of the building that faces any public street will be fully screened from view. Further, if any motors, junction boxes, or similar utilities are placed on the public street frontage of buildings, they will be adequately screened. Sidewalk will be installed along the loop road as generally depicted on the site plan as the loop road is developed.
 - Stormwater facilities will be designed to meet the post construction ordinance.
 - The petitioner will install or preserve a landscaped edge along the property boundary along the I-485 frontage. The minimum width of this buffer will be 50' but may vary in the vicinity of buildings, retaining walls, or the proposed helicopter landing site. In those cases, the minimum dimension may be reduced to 20'. The landscape area that is disturbed as part of the development, as generally depicted on the site plan, will be planted to meet Class 'C' standards, but the arrangement of the plant materials may be modified in the narrower areas and in particular, in the area of the private helicopter landing site to provide for adequate clearance and visibility for flight operations. The remaining area along the I-485 frontage will remain undisturbed and no additional planting will be required in the undisturbed areas.
 - Any right of way that is required to accommodate transportation improvements on Albemarle Rd. identified in the Traffic Impact Study, and for other public construction related to the development of the site, will be acquired, dedicated, and conveyed to the appropriate transportation authority.
 - The Petitioner understands that other standard development requirements imposed by other city ordinances, such as those that regulate streets, sidewalks, trees, and site development, may apply to the development of this site. These are not zoning regulations, are not administered by the Zoning Administrator, and are not separate zoning conditions imposed by this site plan. Unless specifically noted in the conditions for this site plan, these other standard development requirements will be applied to the development of this site as defined by those other city ordinances.
 - Throughout this Rezoning Petition, the terms "Owner", "Owners", "Petitioner" or "Petitioners", shall, with respect to the Site, be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the owner or owners of the Site who may be involved in its development from time to time.
- January 23, 2008, Initial submission
Revised per staff comments March 21, 2008
Revised per staff comments April 25, 2008
Revised per Zoning Committee approval May 13, 2008

APPROVED BY CITY COUNCIL
MAY 19 2008

Site Data

Tax Parcel No.-11120103
Site Area-61.7509 Acres
Existing Zoning-R-3
Proposed Zoning-INST(CB) & B1(CB)

Legend

- Setbacks and Yards
- Landscape Buffer
- Vehicular Access Points

1" = 120'

Presbyterian Hospital East Campus

Public Use
Presbyterian HEALTHCARE

Conditional Use Rezoning

Project Number: 2005-0001
Drawn By: [Signature]
Designed By: [Signature]
Date: 1/25/08

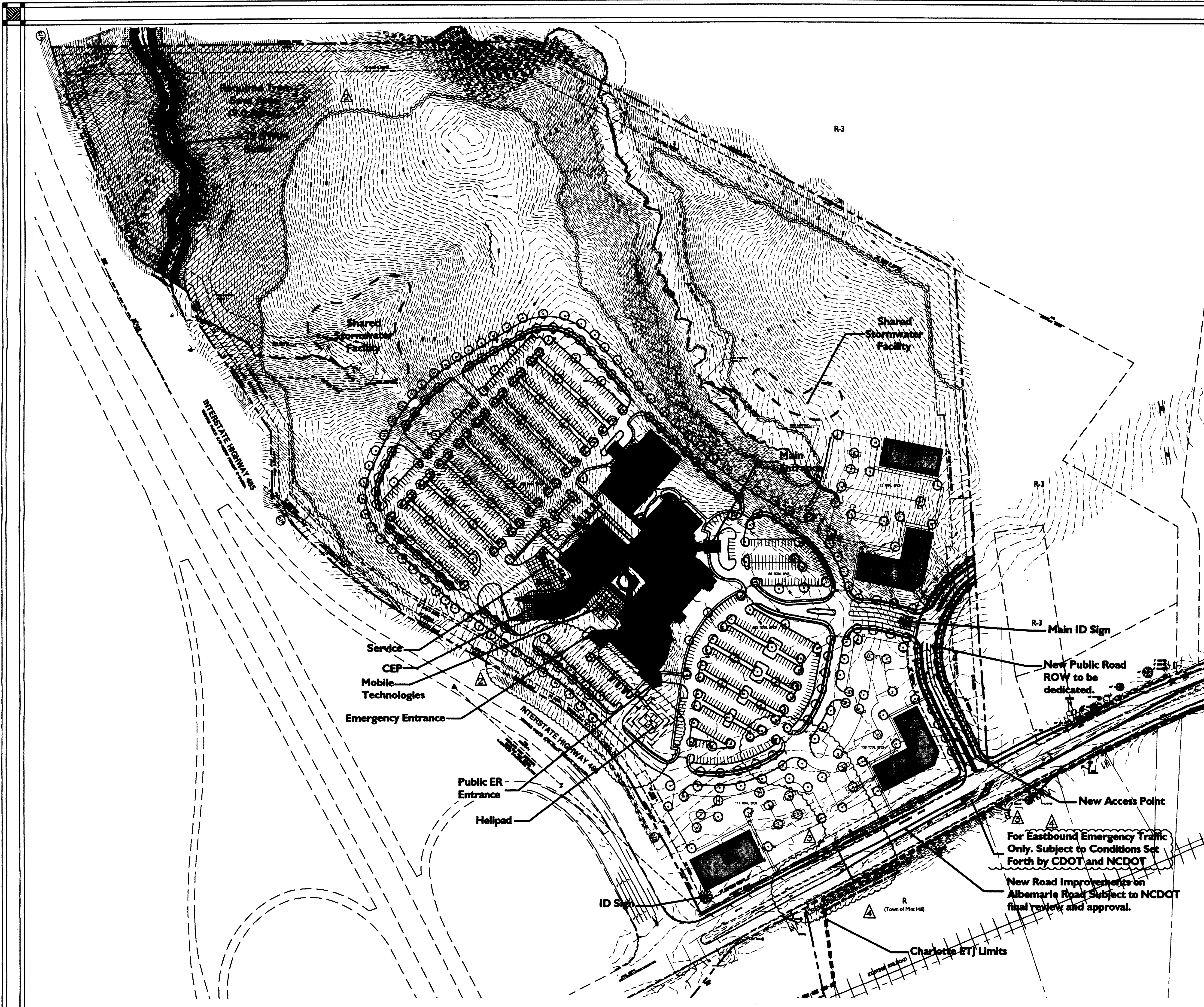
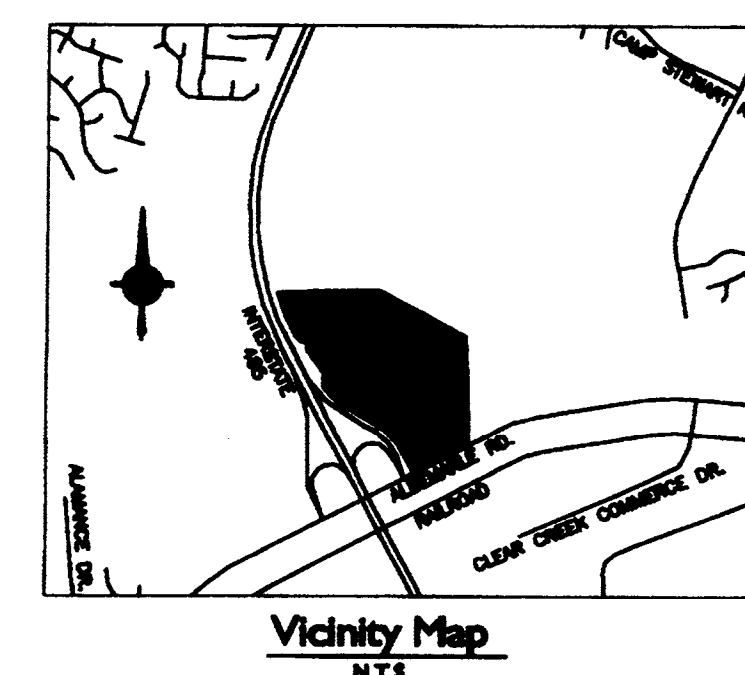
Technical Data Sheet

Item	Value
Area	61.7509 Acres
Permit	2005-0001
Setback	4.25, 2008
Permit	4.25, 2008
Review	4.25, 2008

Right-in/right-out access point. Left turn for Eastbound emergency traffic only, and subject to conditions set forth by CDOT & NCDOT. If scenario C is reached as described in the transportation notes, then a full movement access will be granted at this location. See Off-site Transportation Improvement Plan for transportation notes.

New Road Improvements on Albemarle Road per NCDOT

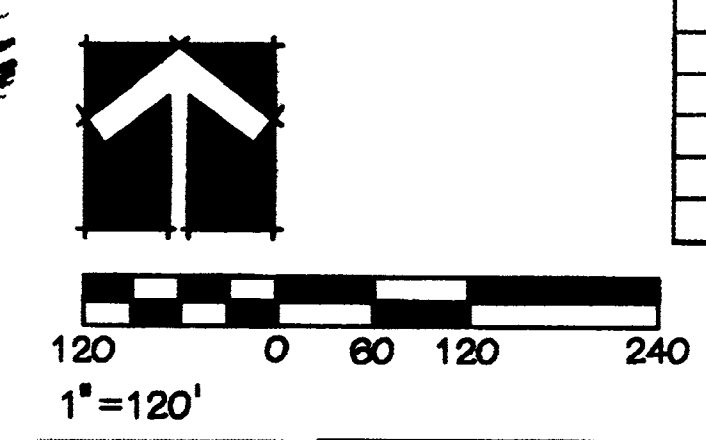
Additional ROW to be dedicated.



Site Data

Tax Parcel No.-11120103
Site Area-81.7500 Acres
Existing Zoning-R-3
Proposed Zoning-INST(CD) & B1(CD)

Development Summary		
Bldg.	Use	Sq.Ft.
A	Hospital	
	50 Beds-Phase One	240,000
	Future 50 Additional Beds	120,000
	TOTAL 100 Bed Hospital	360,000
B	Medical Office	75,000
C	Medical Office	15,000
D	Retail/Commercial	20,000
E	Medical Office	25,000
F	Medical Office	25,000
	Total	520,000



Presbyterian Hospital East Campus

Tax Parcel #9 - 11120103
Existing Zoning R3
Proposed Zoning INST(CD) & B1(CD)
Rezoning Petition # 2006-022

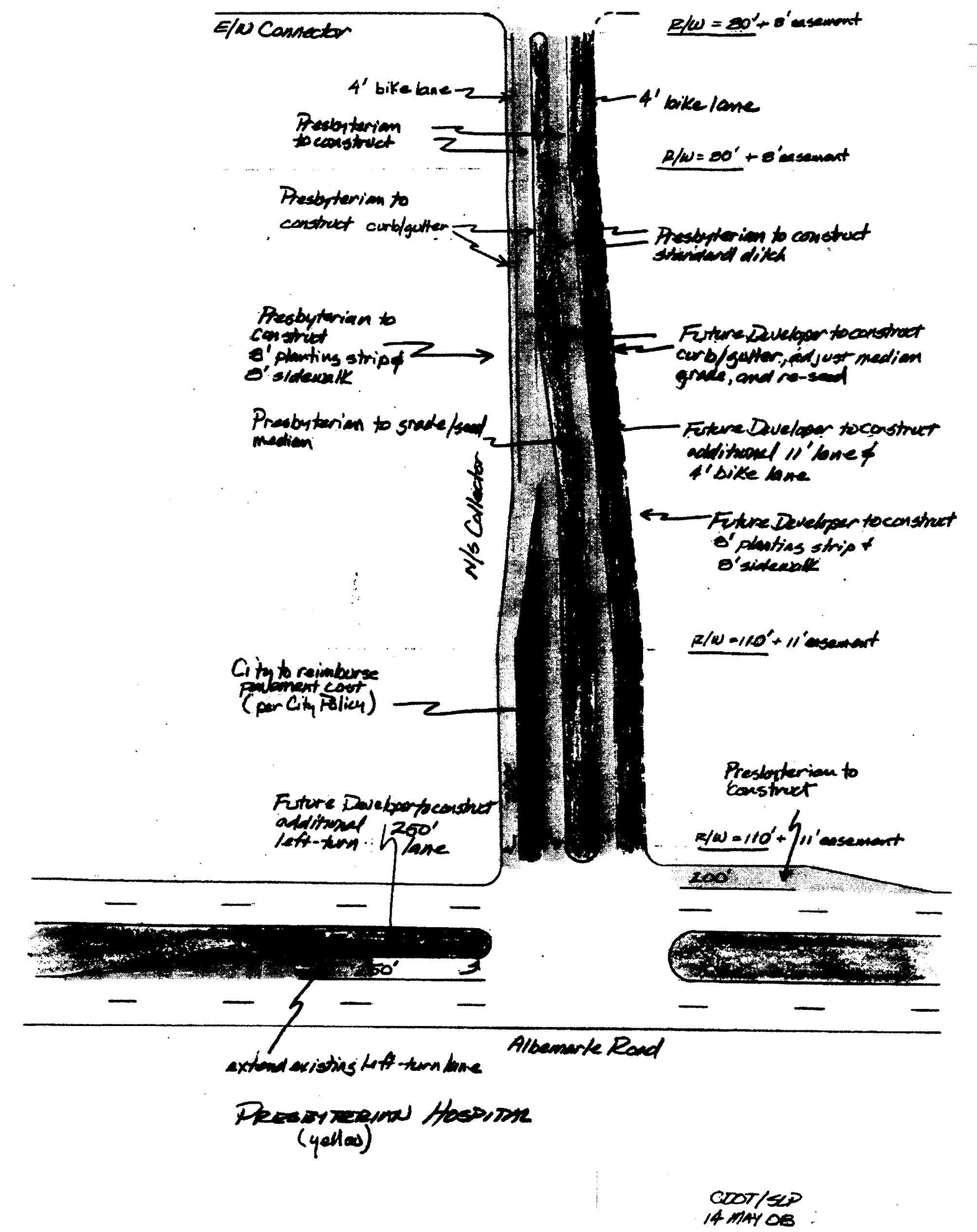
Position:
Presbyterian HEALTHCARE

Conditional Use Rezoning

Project Number: 2065
Owner: Site Services
Designer: Site Services
Date: 1/2008

Site Plan

Revisions	
1. Self Comments	3/21/2008
2. Self Comments	4/23/2008
3. Self Comments	5/13/2008
4. Review Emergency Road	6/26/2008

[illegible]

A. The Petitioner shall design, source/obtain all necessary right-of-way and temporary construction easements, and construct the Permanent Off-Site Improvements ("PSSI" - being: (a) the east-west connector road from the hospital property to its intersection with a proposed north-south major collector road; (b) the proposed north-south major collector road from its intersection with the east-west connector road to Albemarle Road (including the design (but not the acquisition or construction) of the centerline portion of the portion of the north-south major collector road beyond its intersection with the east-west connector road for a distance of 300'); and (c) signalization of the north-south major collector road at its intersection, all in accordance with and as approved by CEQA and MCDOT). In consideration with the obligation to construct the improvements listed above, the Petitioner will use good faith efforts to acquire the right-of-way and easements necessary for the proposed improvements. These good faith efforts will commence immediately upon the approval of the rezoning to accommodate the Hospital site.

- B. In the event that, despite demonstrated good faith efforts, the Petitioner is unable to secure/obtain (or establish a contractual right to) all of the right-of-way and temporary construction easements necessary to construct the PSOI within 90 days after approval of the preliminary subdivision plans as provided for in A above, Petitioner may ask the City of Charlotte to secure/obtain the right-of-way and temporary construction easements that Petitioner has not been able to secure/obtain. Such request may be made no later than 90 days after approval of the preliminary subdivision plans as provided for in A above and shall specify the right-of-way and temporary construction easements that Petitioner has not been able to secure/obtain. If Petitioner asks the City to do so, the City City of Charlotte Petitioner shall be required to reimburse the City for the cost of the City's efforts to secure/obtain the right-of-way and temporary construction easements. In the event that the City chooses to secure/obtain the remaining right-of-way and temporary construction easements, Petitioner shall reimburse the City for all land costs incurred to do so; provided, however, Petitioner shall not be required to reimburse the City for any land costs that are in excess of fair market value (as determined by an IMA appraiser mutually selected by the Petitioner and City or through a court proceeding). If the City notifies the Petitioner that it does not intend to secure/obtain the remaining right-of-way and temporary construction easements, or fails to secure/obtain the remaining right-of-way and temporary construction easements within 120 days after notifying Petitioner of its decision not to, the Petitioner will be relieved of its obligation to reimburse the City for the cost of the City's preceding sentence, if the only reason that the City has failed to secure/obtain the remaining right-of-way and temporary construction easements is due to the pendency of a legal proceeding, the Petitioner shall not be relieved of its obligations under Section A above unless the City fails to secure/obtain the remaining right-of-way and temporary construction easements as the conclusion of the legal proceeding.

In the event that the Petitioner is relieved of its obligations under Section A above, the Petitioner shall design and construct a public street on the Petitioner's site that will provide full access to the Petitioner's site until such time as the improvements defined above are in place, said street connecting to Alhambra Rd. at an intersection designed and approved by NCDOT and CBOT, and designed to connect to future streets that may be constructed that will provide alternate access to the Petitioner's site. The signalization for that intersection will be determined by the appropriate analysis to be reviewed by NCDOT and CBOT. Upon completion of the Hospital and the temporary intersection, and assuming all other requirements for a Certificate of Occupancy have been satisfied, the City will not object to the issuance of a Certificate of Occupancy for the Hospital.



6. In the event that Petitioner has completed construction of the Hospital but has not yet completed construction of the P&SI, and Petitioner has not been relieved of its obligation to construct the P&SI as provided in Section B above, then, assuming all other requirements for a Certificate of Occupancy have been satisfied, the City will not object to the issuance of a Certificate of Occupancy for the Hospital if Petitioner:

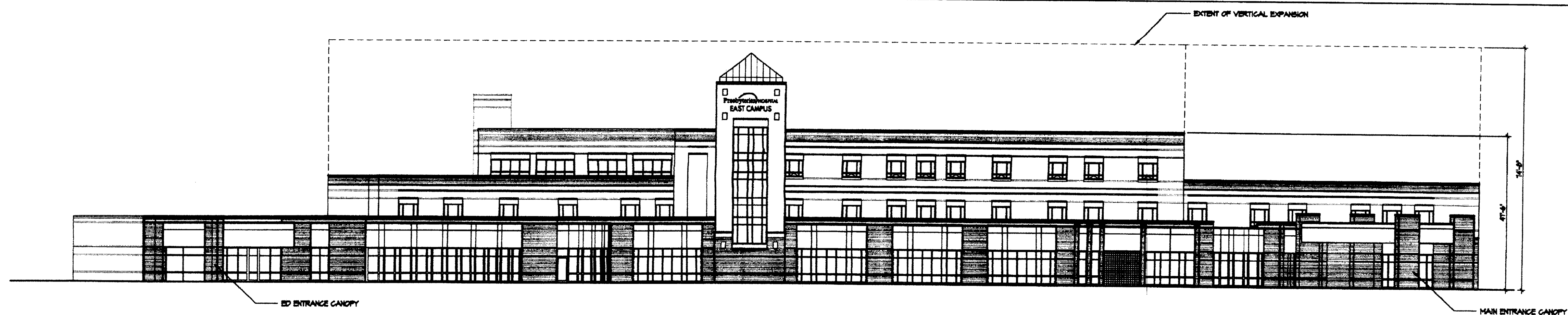
- (I) Posts a performance bond for the east-west connector road (nonmilitary 87' right-of-way laid out by 74 of right-of-way to accommodate left turn lanes at the intersection with the north-south major collector road and at the Hospital's main entrance) and the north-south major collector road (generally in performance with the current Concept Plan prepared by CDDT and dated May 14, 2006 which shows a 110' right-of-way for the intersection of Hospital Road and the east-west connector road) in accordance with the east-west connector road, the "Bonded Improvements") in an amount determined by the City using the methodology used for determining bond amounts for streets in the context of final subdivision plat approval, which would be called by the City within twenty-four (24) months after the date of: (a) the date on which the City within twenty-four (24) months after the latter of: (a) the date on which all necessary right-of-way and temporary construction easements have been secured; and (b) the date of issuance of the Certificate of Occupancy, and which bond may only be otherwise used to fund the cost of construction of the east-west connector road. The City agrees that the City will not be required to post a bond has not collected the bond within twelve (12) months after the date on the bond could have been first called, and

- (ii) Constructs a temporary full access (whether signalized or not) intersection from Albemarle Road directly onto the Hospital site in accordance with plans approved by the City and NCDOT.

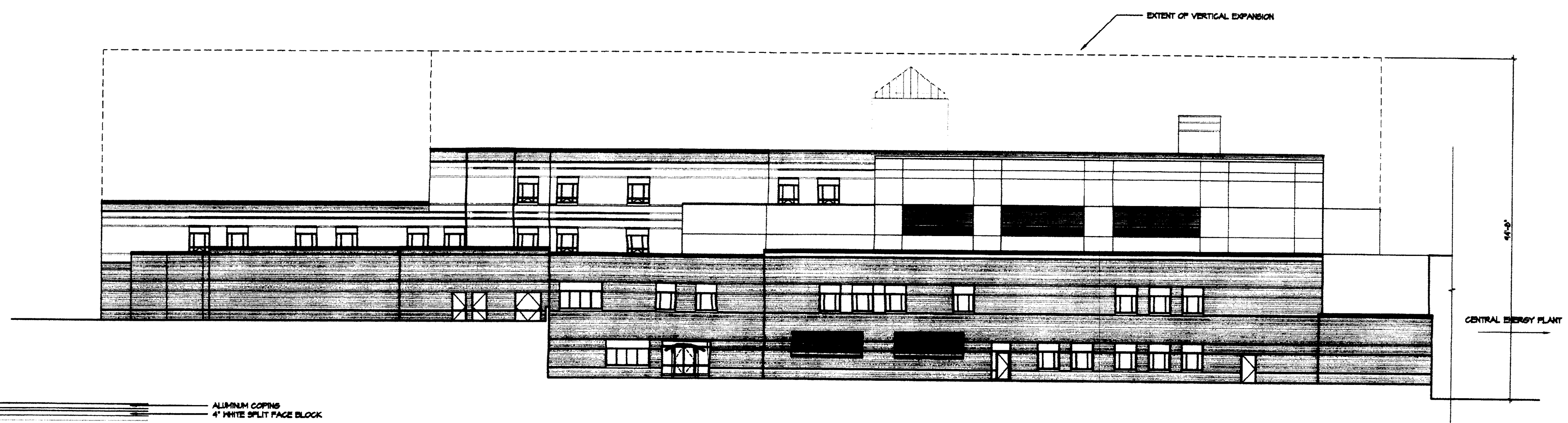
In the event that Petitioner constructs a temporary full access (whether signalized or not) intersection pursuant to Section B above, upon completion and opening of the POSI as defined in Section A above, if directed by CDOT, Petitioner shall, at its own cost and expense, remove, eliminate, or modify the temporary full access intersection in accordance with plans specified by MCDOT and CDOT.



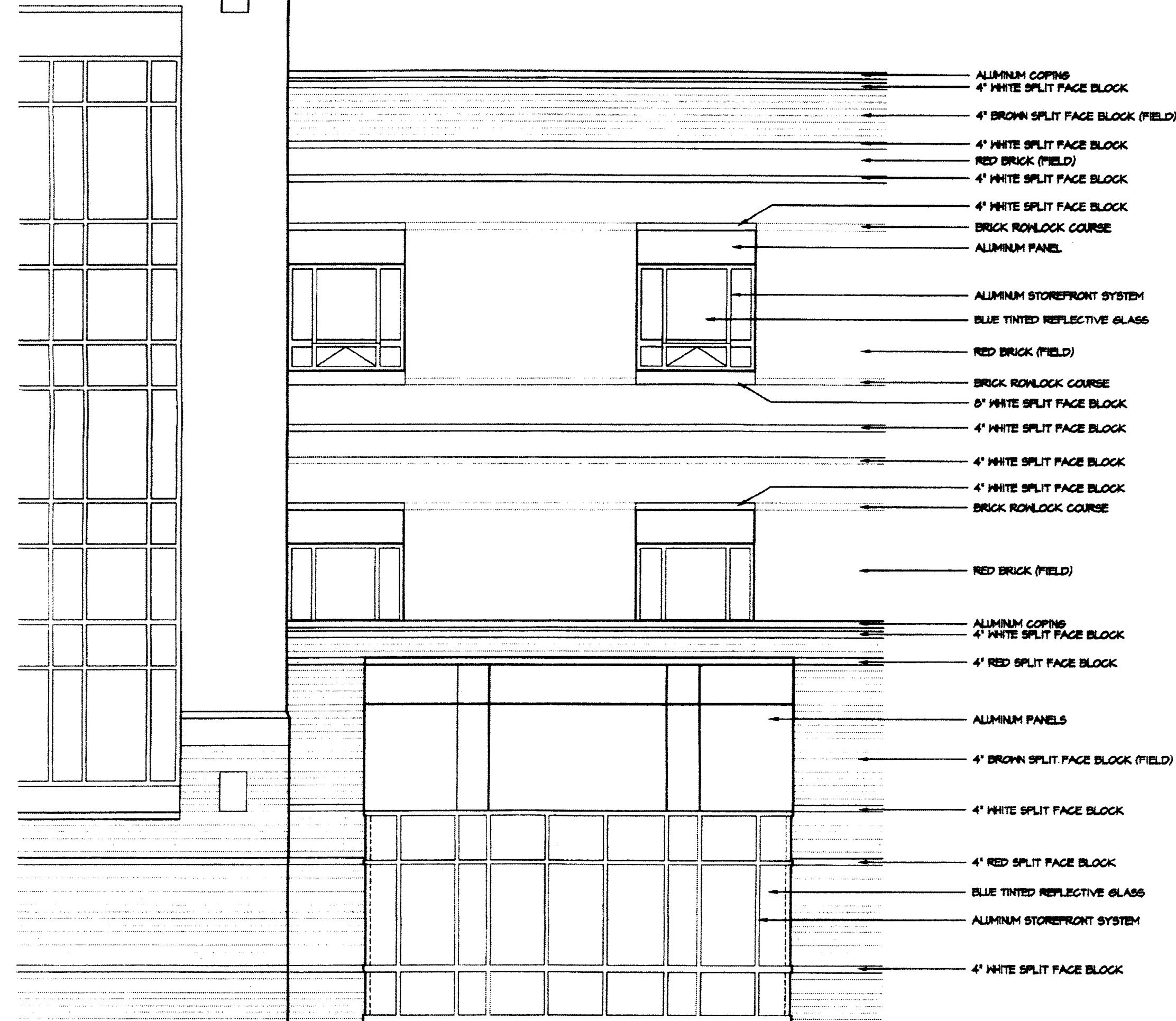
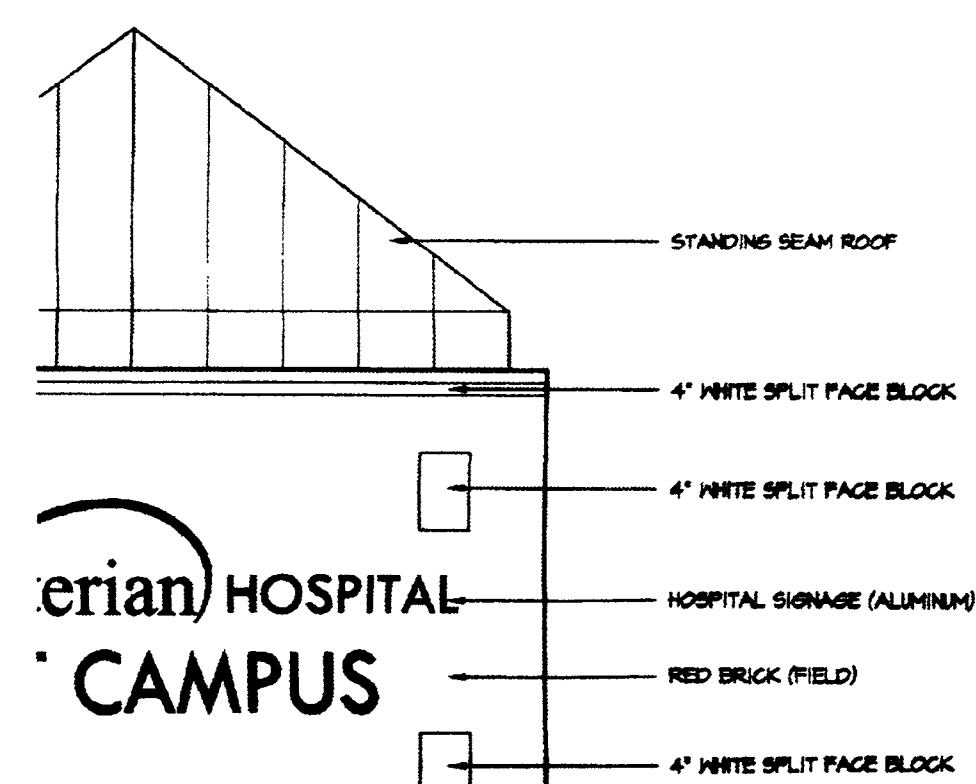
	<h1>Presbyterian Hospital East Campus</h1>	
	Tax Parcel #1: 11120103 Existing Zoning: R3 Proposed Zoning: INST(CD) & B1(CD)	Positioner:  Presbyterian HEALTHCARE
	<h2>Conditional Use Rezoning</h2>	
	Project Number: Drawn By: Designed By: Date:	2845, Site Solutions, Site Solutions, 1/25/08,
	<h2>Off-site Transportation Improvement Plan</h2>	
Revisions A New Street	5/13/2008	



FRONT HOSPITAL ELEVATION
SCALE: 1/8"=1'-0"



REAR HOSPITAL ELEVATION
SCALE: 1/8"=1'-0"



ENLARGED ELEVATION
SCALE: 1/4"=1'-0"



MEDICAL OFFICE BUILDING ELEVATION
SCALE: 1/8"=1'-0"

**McCULLOCH
ENGLAND
ASSOCIATES
ARCHITECTS**

Presbyterian Hospital East Campus

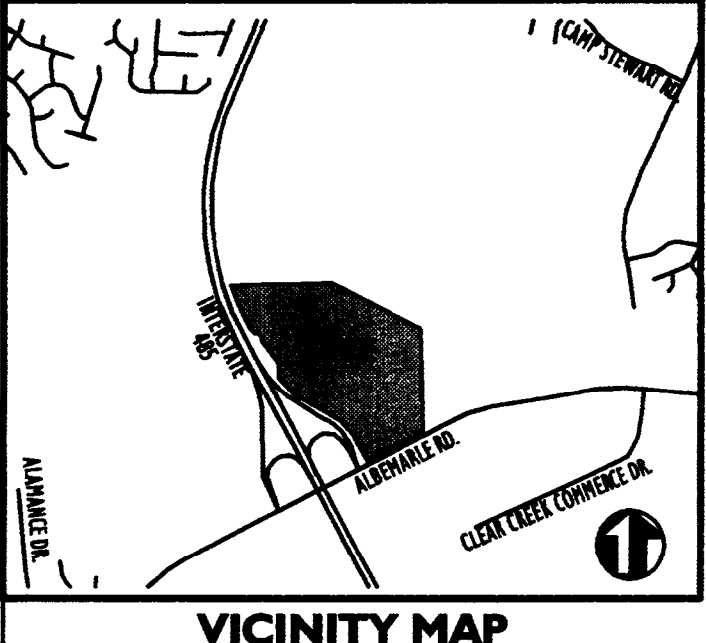
Tax Parcel #s - 11120103
Existing Zoning: R3
Proposed Zoning: RST(CD) & B(CD)
Petitioner:
Presbyterian HEALTHCARE

Conditional Use Rezoning

Project Number: 2865
Drawn By: Site Services
Designed By: Site Services
Date: 1/25/08

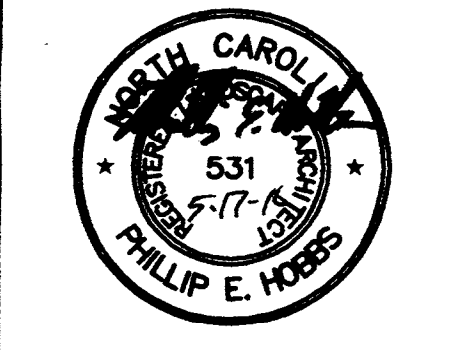
Bldgs. A & B Conceptual Building Elevations

Revisions
Staff Comments: 3/24/2008
Pre-architectural drawing: 5/13/2008



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Civil Engineering
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CADD: 3845



12325 ALBEMARLE ROAD

**Presbyterian HOSPITAL
EAST CAMPUS**
MECKLENBURG COUNTY, NC

H0767 Project Number
CC/PJ Drawn By
August 19, 2008 Date
Revisions
1. Shift N.S. collector per CDOT 11.5.08
2. Albemarle Rd design 11.23.09
3. Added note/Parking calc
4. Albemarle Rd design per Ranney Kamp 05.17.10

SITE NOTES

- DIMENSIONS AND COORDINATE POINTS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
- ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
- ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO START.
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL REGULATORY AUTHORITIES.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
- DO NOT SCALE DRAWINGS FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2000 EDITION AS AMENDED.
- ALL PAVEMENT MARKINGS SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO BE IN SMOOTHLY TO PROPOSED PAVEMENT AT DRIVEWAY ENTRANCES.
- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
- LAND DEVELOPMENT INSPECTOR TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
- COORDINATE ALL CURB AND STREET GRADINGS IN INTERSECTION WITH INSPECTOR.
- ALL ROAD IMPROVEMENTS AT ALBEMARLE RD. TO BE COORDINATED WITH ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- THE ENGINEER WILL PROVIDE THE CONTRACTOR WITH AN ELECTRONIC FILE OF THESE DRAWINGS UPON REQUEST.
- ALL NON-STANDARD ITEMS IN THE PUBLIC RIGHT-OF-WAY WILL NEED AN ENCROACHMENT AGREEMENT W/ CDOT BEFORE THEY CAN BE APPROVED OR INSTALLED. APPROVAL OF THIS PLAN SET DOES NOT APPROVE ANY NON-STANDARD ITEMS IN THE RIGHT-OF-WAY. PLEASE CONTACT LANA FORBANY, 704.336-2552, FOR FURTHER INFORMATION.
- IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED OR BLOCKED-OFF FOR ANY SPACING, CONSTRUCTION, OR EXCAVATION FOR A PERIOD OF GREATER THAN THIRTY (30) DAYS THEN A RIGHT-OF-WAY USE PERMIT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCKED-OFF. PLEASE CONTACT LANA FORBANY, 704.336-2552, FOR FURTHER INFORMATION.
- IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED OR BLOCKED-OFF FOR ANY SPACING, CONSTRUCTION, OR EXCAVATION FOR A PERIOD OF GREATER THAN THIRTY (30) DAYS THEN A RIGHT-OF-WAY USE PERMIT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCKED-OFF. PLEASE CONTACT LANA FORBANY, 704.336-2552, FOR FURTHER INFORMATION.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CALSD 850.00.
- DEVELOPER WILL PROVIDE STOP SIGNS, (R1-1) 24"x24", 30"x30", SEE PLAN FOR LOCATIONS.
- NOTE: TRAVELERS SHOWN ARE THE MINIMUM REQUIRED.
- IN ROLLING AND HILLY TERRAINS, SLOPES OF THE STONE BASE AND/OR APPLICATION OF A TUCK COAT MAY BE REQUIRED WHERE INTERSECTIONS. THESE REQUIREMENTS WILL BE DETERMINED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- NON-STANDARD ITEMS (e.g. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.05% SLOPE ON THE CURB.
- SURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- THE PURPOSE OF THE STORM DRAINAGE (SOD) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR CONSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWATER CHANNEL IN AN UNOCCUPIED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- ANY BUILDING WITHIN THE 100'-10' SLOPE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.0.
- ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS COMMUNITY ENCROACHMENT (0.1') FLOODWAY ENCROACHMENT AREAS IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY ENCROACHMENT REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
- FE SHOWN SHOT DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- CURB AND GUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED UPON FIELD SLOPING BY CITY ENGINEERS. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE ADJUSTMENT BASED UPON FIELD CONDITIONS. PRIOR TO PLAT RECORDED, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE REQUIRED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- CONDUCT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
- TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY OF CHARLOTTE AT (704)336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT-OF-WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE BUFFER ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704) 336-1850 FOR REQUIRED PERMITS.
- BEFORE YOU DIG, STOP. CALL THE NO-DIG-CALL CENTER AT 1-800-832-4040. IT'S THE LAW.
- COORDINATE ALL CURB AND STREET GRADINGS IN INTERSECTION WITH INSPECTOR.
- ALL ROAD IMPROVEMENTS AT ALBEMARLE ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPT PRIOR TO CONSTRUCTION.
- THE HEAVY DUTY PAVEMENT SHOWN ON THIS PLAN IS DESIGN TO WITHSTAND A 50,000 LBS LOAD AND BASED ON FIELD CONDITIONS.

S.W.I.M. STREAM BUFFER NOTES:

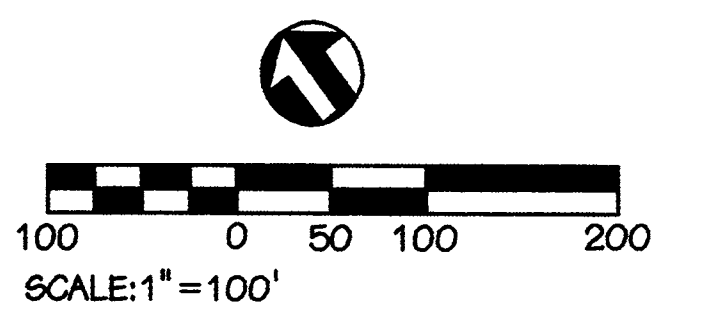
- THE S.W.I.M. BUFFER IS MEASURED HORIZONTALLY ON A LINE PERPENDICULAR TO THE SURFACE WATER, LANDWARD FROM THE TOP OF THE BANK ON EACH SIDE OF THE STREAM.
- THE STREAM SIDE ZONE OF THE BUFFER MUST BE LEFT COMPLETELY UNDISTURBED. IN THE MANAGED USE ZONE, A LIMITED NUMBER OF TREES CAN BE REMOVED PROVIDED THAT THE TREE DENSITY REMAINING IS A MINIMUM OF 6 HEALTHY TREES OF A MIN. 6" CALIPER PER 1,000 SQ. FT. REMOVAL OF EXISTING VEGETATION MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO ROOTS OF REMAINING TREES.
- GRADING AND OTHER LAND DISTURBING ACTIVITIES ARE ALLOWED ONLY IN THE UPLAND ZONE; HOWEVER, THESE ACTIVITIES MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF REMAINING TREES, GRASS OR OTHER SUITABLE GROUND COVER CAN BE APPLIED TO THE UPLAND ZONE.
- NO OCCUPIED STRUCTURES CAN BE PLACED IN ANY OF THE THREE (3) BUFFER ZONES. NON BUILDINGS FOR STORAGE CAN BE PLACED IN THE UPLAND ZONES PROVIDED THEY DO NOT EXCEED 150 SQUARE FEET.
- ENGINEERED OR IMPROVED CHANNELS AND PIPED STORM WATER ARE NOT ALLOWED IN OR THROUGH THE BUFFER. TEMPORARY SEDIMENT BASINS CANNOT BE PLACED IN THE STREAM SIDE OR MANAGED USE ZONES. DRAINAGE AREAS WILL BE ASSIGNED TO ALLOW WATER TO SHEET FLOW ACROSS THE BUFFER TO FILTER OUT POLLUTANTS. PULSED, ENERGY DISSIPATORS, DIVERSION DEVICES OR WETLAND FLOW WILL BE USED. DESIGN DETAILS FOR THESE DEVICES CAN BE OBTAINED FROM CHARLOTTE MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
- THE OUTSIDE BOUNDARY OF THE BUFFER MUST BE CLEARLY MARKED WITH ORANGE PLASTIC FENCING PRIOR TO ANY LAND DISTURBING ACTIVITIES (GRADING, TREE CUTTING OR STUMPING, ETC.) AT THE SITE.
- THE OUTSIDE BOUNDARY OF THE STREAM BUFFER MUST BE PERMANENTLY MARKED WITH AN IRON PIN OR OTHER ACCEPTABLE PROPERTY CORNER MARKER AT STREET CROSSINGS.
- ANY ACTIVITY IN THE BUFFER WILL COMPLY WITH S.W.I.M. STREAM BUFFER SECTION OF THE LAND DEVELOPMENT STANDARDS MANUAL.
- ALL SUB-CONTRACTORS OF THE LAND DEVELOPER AND HOME BUILDER WILL BE NOTIFIED OF THE BUFFER REGULATIONS PRIOR TO DEVELOPMENT.

ZONING CODE SUMMARY

PROJECT NAME: **PRESBYTERIAN HOSPITAL - EAST**
OWNER: **PRESBYTERIAN HOSPITAL/LANA FORBANY** PHONE: **704-710-0775**
PLANS PREPARED BY: **McCulloch England Associates** PHONE: **704-572-2740**
ZONING: **MB(25) / MB(25)** JURISDICTION: **CHARLOTTE ED**
PETITION #: **2008-006** (last of 05-20)
PROPOSED USE: **HOSPITAL** TAX PARCEL #: **11120103**
BUILDINGS HEIGHT: **72** Feet, 110' max. allowed. Stories: **5**
BUILDINGS COVERAGE: **134.400** Sq. Ft. GROSS FLOOR AREA: **301,070** Sq. Ft.
LOT SIZE: **0.7008** Ac. PL: **Acres** LOT TYPE: **RES**
YARD REQUIREMENTS:
Setback (Front): **20** Ft.
Side Yard (L): **20** Ft.
Rear Yard: **20** Ft.
Side Yard (R): **20** Ft.
REQUIRED BUFFERS:
Front: **NO** / **YES** **20** Ft. Rear: **NO** / **YES** **20** Ft.
Side (L): **NO** / **YES** **20** Ft. Side (R): **NO** / **YES** **20** Ft.
Rear Yard: **NO** / **YES** **20** Ft.
REQUIRED SCREENING:
Front: **NO** / **YES** **20** Ft. Rear: **NO** / **YES** **20** Ft.
Side (L): **NO** / **YES** **20** Ft. Side (R): **NO** / **YES** **20** Ft.
Rear Yard: **NO** / **YES** **20** Ft.
PARKING DATA:
HOSPITAL: REQUIRED: 1.2 SPACES PER BED= 50 BEDS= 60 SPACES PROVIDED: 404 SPACES
M.O.B.: REQUIRED: 1 PER 200 SF= 75,000 SF= 375 SPACES PROVIDED: 614 SPACES
DRIVE PARKING: LONG TERM: 1/10,000 SF= HOSPITAL: 25 REQUIRED; M.O.B.: 6 REQUIRED; PROVIDER: HOSPITAL=24; MOB=6
SHORT TERM: 25 REQUIRED VEHICLE PARKING - HOSPITAL: 3 REQUIRED; M.O.B.: 19 REQUIRED; PROVIDER: HOSPITAL=3; MOB=19

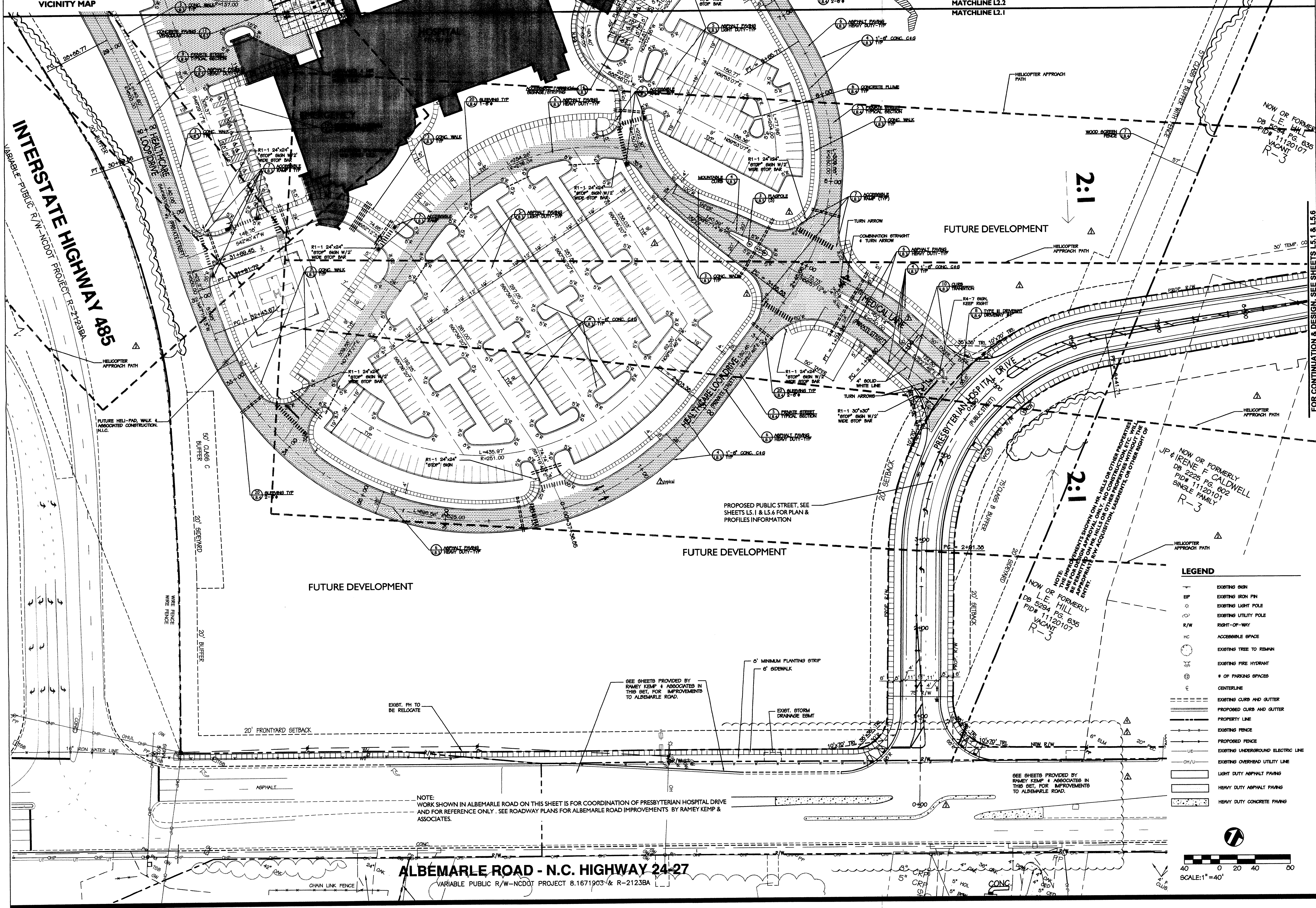
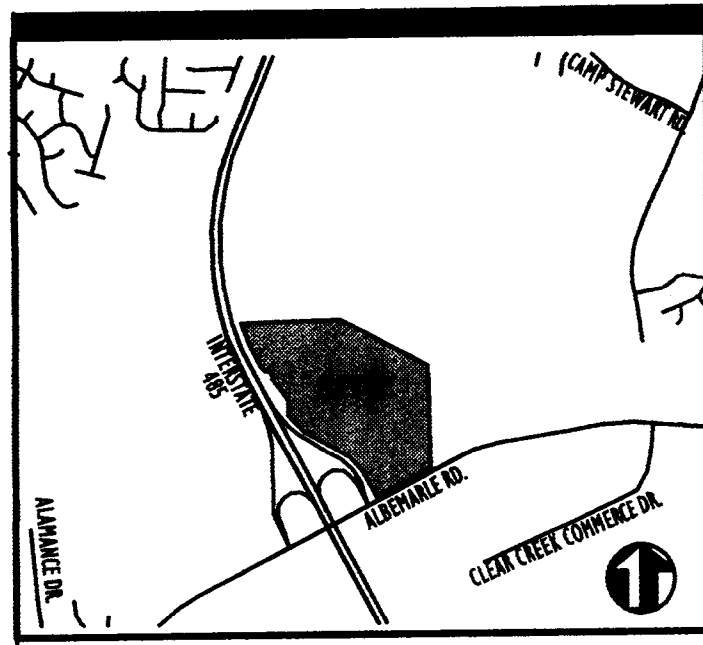
LEGEND

- | | |
|-------------------------|------------------------------------|
| EXISTING SIGN | EXISTING CURB AND GUTTER |
| EXISTING IRON PIN | PROPOSED CURB AND GUTTER |
| EXISTING LIGHT POLE | PROPERTY LINE |
| EXISTING UTILITY POLE | EXISTING FENCE |
| RIGHT-OF-WAY | PROPOSED FENCE |
| ACCESSIBLE SPACE | EXISTING UNDERGROUND ELECTRIC LINE |
| EXISTING TREE TO REMAIN | EXISTING OVERHEAD UTILITY LINE |
| EXISTING FIRE HYDRANT | LIGHT DUTY ASPHALT PAVING |
| # OF PARKING SPACES | HEAVY DUTY ASPHALT PAVING |
| CENTERLINE | HEAVY DUTY CONCRETE PAVING |



OVERALL SITE PLAN

L-2.0



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 Fax: 704-521-9895
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 Fax: 704-521-9895
 CADD: 2863



Presbyterian HOSPITAL
EAST CAMPUS
 MECKLENBURG COUNTY, NC
 12325 ALBEMARLE ROAD

H0767 Project Number
CC/PJ Drawn By
August 19, 2008 Date
 Revisions:
 11.08
 11.23.09
 01.26.10
 05.17.10

LEGEND

EXISTING SIGN	EXISTING IRON PIN	EXISTING LIGHT POLE	EXISTING UTILITY POLE	RIGHT-OF-WAY	ACCESSIBLE SPACE	EXISTING TREE TO REMAIN	EXISTING FIRE HYDRANT	# OF PARKING SPACES	CENTERLINE	EXISTING CURB AND GUTTER	PROPOSED CURB AND GUTTER	PROPERTY LINE	EXISTING FENCE	PROPOSED FENCE	EXISTING UNDERGROUND ELECTRIC LINE	OH/U	EXISTING OVERHEAD UTILITY LINE	LIGHT DUTY ASPHALT PAVING	HEAVY DUTY ASPHALT PAVING	HEAVY DUTY CONCRETE PAVING
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L-2.1