

TREE SAVE CALCULATIONS:

GROSS TOTAL SITE	= 37.91 AC
PROPOSED PUBLIC STREET R/W AREA	= 6.18 AC
NET TOTAL SITE AREA	= 31.73 AC
PERCENT TREE SAVE AREA REQUIRED	= 3.17 AC (10.00%)
PERCENT TREE SAVE AREA PROPOSED	= 5.44 AC (17.14%)

SITE NOTES

1. ZONING REQUIREMENTS-PARCEL 05519101, 30.08 AC	
CURRENT ZONING	MX-2 LLMPA (2005-121)
LOT REQUIREMENTS TO MEET R-6:	
MINIMUM LOT AREA	4,500 SFT
MINIMUM LOT WIDTH	40 FT
MAXIMUM HEIGHT	40 FT
MAXIMUM DENSITY (DWELLINGS/ACRE)	6.0
MINIMUM OPEN SPACE	10%
MAXIMUM IMPERVIOUS COVERAGE	70% (SEE WATERSHED CALCS)
PER HIGH DENSITY OPTION	
SETBACKS:	
FRONT YARD	20 FT
SIDE YARD	5 FT
REAR YARD	30 FT
2. ZONING REQUIREMENTS-PARCELS 05512112, 05512129, 7.62 AC	
CURRENT ZONING	R-4 LLMPA
LOT REQUIREMENTS TO MEET R-4:	
MINIMUM LOT AREA	6,000 SFT
MINIMUM LOT WIDTH	50 FT
MAXIMUM HEIGHT	40 FT
MAXIMUM DENSITY (DWELLINGS/ACRE)	4.0
MINIMUM OPEN SPACE	10%
MAXIMUM BLDG. COVERAGE	45%
MAXIMUM IMPERVIOUS COVERAGE	70% (SEE WATERSHED CALCS)
PER HIGH DENSITY OPTION	
SETBACKS:	
FRONT YARD	20 FT
SIDE YARD	5 FT
REAR YARD	30 FT
3. SUMMARY OF LAND:	
TOTAL ACRES	= 37.91 ACRES
TOTAL LOTS	= 129
PROPOSED DENSITY	= 3.40 (129/37.91)
PROPOSED OPEN SPACE	= 36.1%

WATERSHED CALCULATIONS:

WATERSHED DEVELOPMENT OPTION	= LLMPA
IMPERVIOUS AREA SITE (ROADS AND WALKS)	= HIGH DENSITY
IMPERVIOUS AREA FUTURE (HOMES AND DRIVES)	= 4.17 AC
PROJECTED IMPERVIOUS BUILTOUT (BMP DESIGNED)	= 8.16 AC
MAXIMUM IMPERVIOUS LOT BUILTOUT (52' LOT)	= 32.5%
MAXIMUM IMPERVIOUS LOT BUILTOUT (41' LOT)	= 2060 SQFT
DEVELOPER / OWNER:	
MANN PROPERTIES	
CONTACT: BEN KUHN	
6100 FAIRVIEW ROAD, SUITE 770	
CHARLOTTE, NC 28210	
(O) (704) 831-2494 (X) (704) 831-2499	

REVISIONS

1	REVISED PER CITY COMMENTS 10/30/07
2	REVISED PER CITY COMMENTS 12/20/07
3	REVISED PER CITY COMMENTS 01/25/08
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MOORES CHAPEL VILLAGE PHASE 2
9400 KENDALL DRIVE, MECKLENBURG COUNTY
MANN PROPERTIES
6100 FAIRVIEW ROAD, SUITE 770
CHARLOTTE, NORTH CAROLINA 28210
OVERALL SITE LAYOUT

Designed By: BJK
Drawn By: BJK
Checked By: Date:
Plot:
1"=100'
Scale:
8/22/07
Date:
0770019.1A
Job No.:
Sheet No.:
CS101

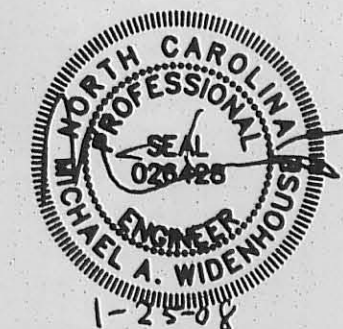
LEGEND

EXISTING	PROPOSED
MONUMENT FOUND	MONUMENT SET
NAIL FOUND	NAIL SET
IRON FOUND	IRON SET
LIGHT POLE	GUY ANCHOR
UTILITY POLE	CLEANOUT
VALVE (WATER & GAS)	STORM SEWER MANHOLE
SANITARY SEWER MANHOLE	CATCH BASIN
FIRE HYDRANT	TRANSFORMER
UTILITY RISER	MAIL BOX
ELECTRIC METER	GAS METER
SIGN	SOIL BORING
ELECTRIC	TELEPHONE
CABLE TV	FIBER OPTIC
GAS LINE	EXISTING WATER LINE
PROPOSED WATER LINE	EXISTING STORM SEWER
PROPOSED STORM SEWER	PROPOSED SANITARY SEWER
PROPOSED SANITARY SEWER	

APPROVED FOR CONSTRUCTION
CMPC
8/21/2008

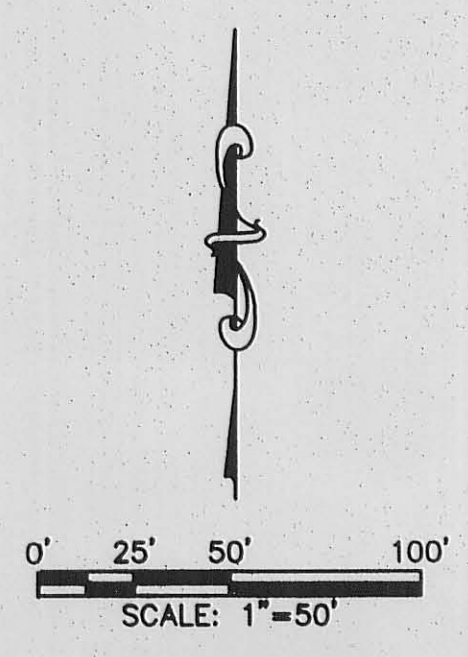
BENCHMARKS

BENCHMARK #1 - CENTERLINE OF KENDALL DRIVE, NAVD 88 ELEVATION=743.85
BENCHMARK #3 - TOP OF NW FLANGE BOLT BY LETTER "A" IN ALBERT, NAVD 88 ELEVATION=750.50



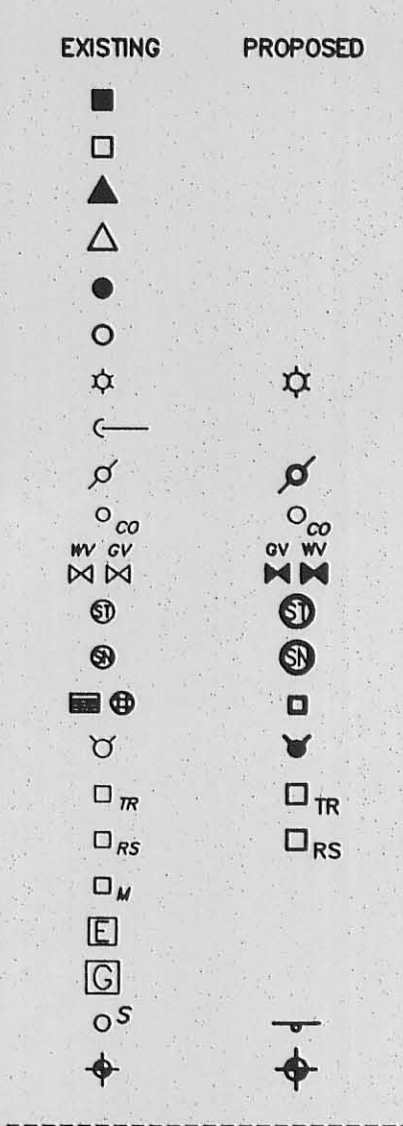


NOTE:
THE STREET SECTIONS FOR THE PROPOSED ROADS ARE AS FOLLOWS:
1. RESIDENTIAL COLLECTOR STREET (SEE DETAIL 7, CDT102) - KENDALL DRIVE (60' R/W)
2. LOCAL RESIDENTIAL STREET (SEE DETAIL 6, CDT102)
- CATTENE COURT (50' R/W)
- NICCOLINE LANE (50' R/W)
- PALATINE LANE (50' R/W)
- LONGNOR STREET (50' R/W)
- SHARPES CIRCLE (50' R/W)
- THORNCROWN STREET (50' R/W)



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- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER

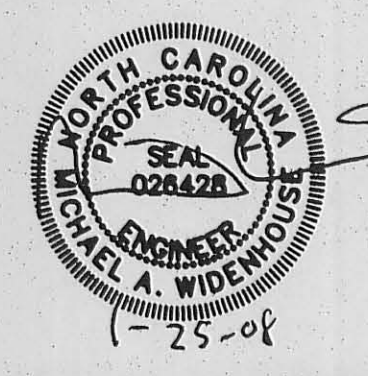


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Engineering • Surveying • Testing
5009 West W.T. Blvd. - Suite E, Charlotte, NC 28269
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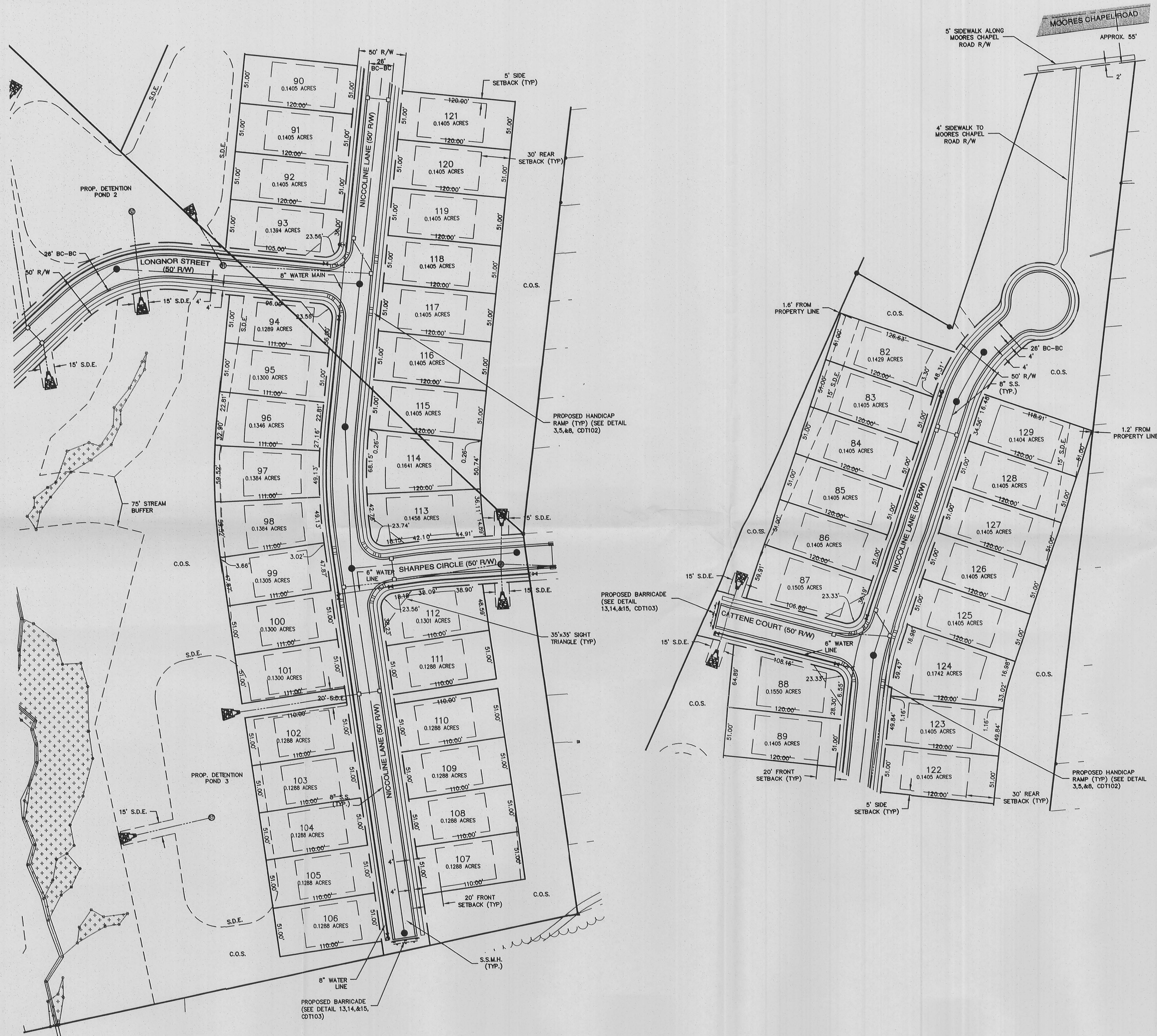
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Drawn By: BJK
Checked By: Date:
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Scale: 8/22/07
Date: 0770019.1A
Job No.:
Sheet No.: **CS102**



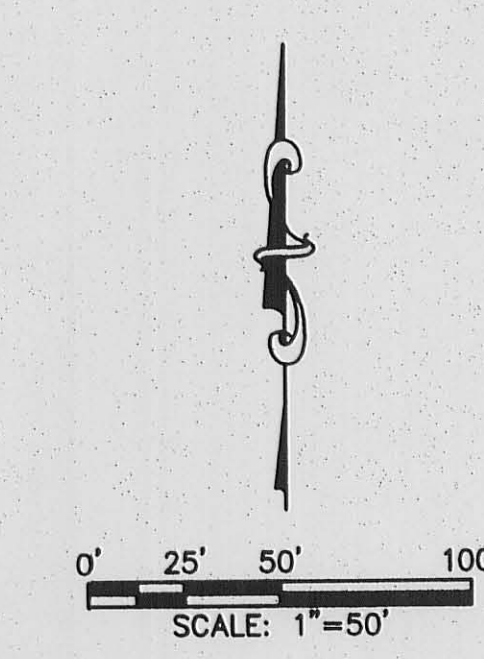
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CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO GRADING.



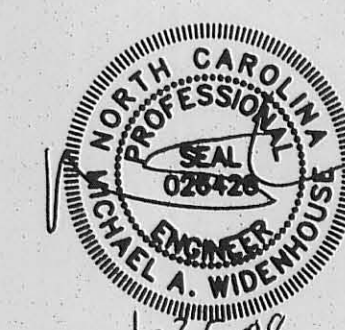
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