

# STAKING AND MATERIALS LEGEND:

SYMBOL	DETAIL
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	PROPOSED HANDICAP SIGNS CLDS #50.10A CLDS #50.10B CLDS #50.10C
	PROPOSED SIDEWALK CLDS #10.22
	PROPOSED HANDICAP RAMP CLDS #10.32A CLDS #10.32B
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	PROPOSED PRECAST CONCRETE WHEEL STOPS AT DEPRESSED CURB -/-
	DEPRESSED CURB AND GUTTER -/-
	PROPOSED CARD BOARD DUMPSTER 3/C10.1
	PROPOSED RECYCLE CENTER 4/C10.1
	PROPOSED COMPACTOR 1-3/C10.0
	FIRE DEPARTMENT CONNECTION -/-
	INTERIOR BIKE RACK-3 PER LOCATION 16/C10.0
	PERVIOUS GRASS PAVER 12/C10.1

## SITE DATA:

(Phase II)

PIN: 199-511-08, 199-511-10  
 OWNER: Charter Properties, Inc.  
 ADDRESS: 1520 South Boulevard, Suite 215  
 Charlotte, NC 28203  
 TELEPHONE NUMBER: (704) 377-4172  
 ZONING PETITION #: 2005-149  
 ZONING: R-17 MFCD  
 JURISDICTION: City of Charlotte  
 PROPOSED USE: 270 Units Residential Units (Apartments)  
 336 Existing Apt. Units in Phase I

ACCESSIBLE UNITS:  
 Required Type A: 5% of 270=13.5=14  
 Provided Type A: 14  
 Provided Type B: (Remaining none "A" Ground units)  
 92-14=78

BUILDING HEIGHT(feet):  
 Club House: 31'-0"  
 Building I: 47'-0"  
 Building II: 47'-0"  
 Building III: 47'-0"

LOT SIZE: (OVERALL DEVELOPMENT) 43.2 Acres Total  
 Right of way: 4.32 Acres Total  
 Little Gem Lane 0.82 Acres  
 Steelcroft Parkway 3.08 Acres  
 Steelcroft Creek Road 0.421 Acres  
 Phase I 26.40 Acres  
 Phase II 12.34 Acres  
 Steelcroft Office LLC Land Conveyed 0.14 Acres

DENSITY: Phase II :21.88 Du/Ac  
 Overall Development 14.03 Du/Ac (see rezoning)  
 OPEN SPACE: (Phase I and II Combined)  
 Required: 45%=17.43 Acres (Phase I & II)  
 Provided: 15.40 Acres (Phase I)  
 4.80 Acres (Phase II)

TREE SAVE AREA: (Phase I and II Combined)  
 Required: 52%=20.20 Acres (Phase I & II)  
 Provided: 10%=3.87 Acres (Phase I & II)  
 4.22 Acres (Phase I)  
 0 Acres (Phase II)  
 10.9%=4.22 Acres (Phase I & II)

YARD REQUIREMENTS:  
 Setback (front): 15 FT (PER SECTION 9.303 -19F)  
 \*From Right-of-Way: 10 FT  
 \*Side Yard: 10 FT  
 \*Rear Yard: 10 FT  
 \*See General Note # 15  
 Building Separation: 16 FT

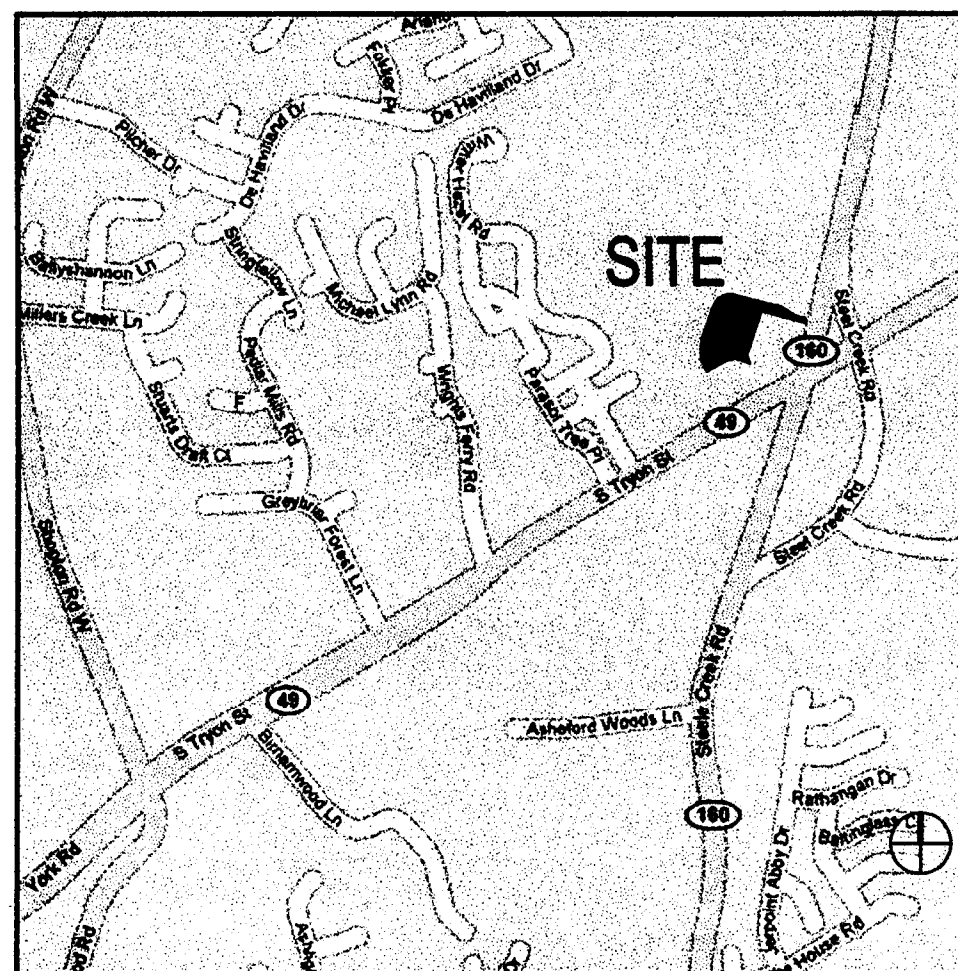
PARKING DATA:  
 Required:(1.50 per unit) 270\*1.5=405  
 Provided: 435 Total  
 Surface Parking: 352  
 Street Parking: 54  
 Garage Parking: 29  
 Handicap Parking: 7+2 Van Accessible  
 Required: (CLDS 50.10A)  
 Provided: 2 Garage, 2 Van Accessible, 13 Standard  
 1 Van at Club House  
 14 for Type "A" units  
 2 for Type "B" units

SOLID WASTE/RECYCLING STATION REQUIREMENTS  
 Solid Waste:  
 Required: 8 cu.yd. Compactor Per 90 Units  
 270 Units=24 cu. yd.  
 Provided: 30 cu. yd. Compactor  
 Required: 241-320 Units Req. 4 x 144 sf.  
 Recycle Stations  
 Provided: 4 Recycling Stations  
 (4 x 144 = 576 sf)

BKE PARKING  
 Required: 1 Per 20 Units  
 270/20=13.5=14  
 Provided: 75 (25 sets of 3) Located in Stairwell  
 All are Covered Spaces. See Architectural plans  
 See 16/C10.0 for Detail

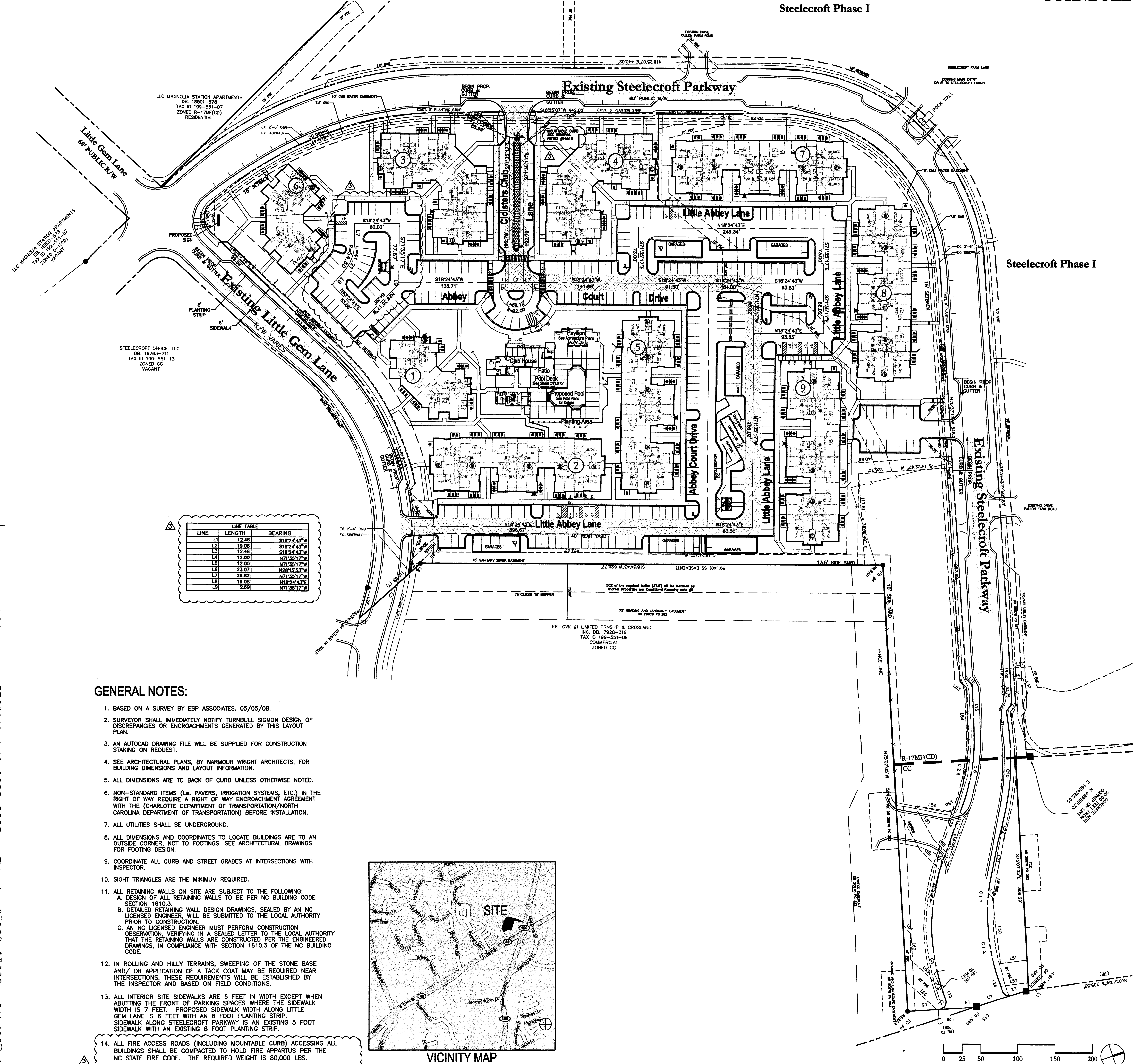
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- SURVEYOR SHALL IMMEDIATELY NOTIFY TURNBULL SIGMON DESIGN OF DISCREPANCIES OR ENCROACHMENTS GENERATED BY THIS LAYOUT PLAN.
- AN AUTOCAD DRAWING FILE WILL BE SUPPLIED FOR CONSTRUCTION STAKING ON REQUEST.
- SEE ARCHITECTURAL PLANS, BY NARMOUR WRIGHT ARCHITECTS, FOR BUILDING DIMENSIONS AND LAYOUT INFORMATION.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- NON-STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT OF WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- ALL UTILITIES SHALL BE UNDERGROUND.
- ALL DIMENSIONS AND COORDINATES TO LOCATE BUILDINGS ARE TO AN OUTSIDE CORNER, NOT TO FOOTINGS. SEE ARCHITECTURAL DRAWINGS FOR FOOTING DESIGN.
- COORDINATE ALL CURB AND STREET GRADES AT INTERSECTIONS WITH INSPECTOR.
- SIGHT TRIANGLES ARE THE MINIMUM REQUIRED.
- ALL RETAINING WALLS ON SITE ARE SUBJECT TO THE FOLLOWING:  
 A. DESIGN OF ALL RETAINING WALLS TO BE PER NC BUILDING CODE SECTION 1610.3.  
 B. DETAILED RETAINING WALL DESIGN DRAWINGS, SEALED BY AN NC LICENSED ENGINEER, WILL BE SUBMITTED TO THE LOCAL AUTHORITY PRIOR TO CONSTRUCTION.  
 C. AN NC LICENSED ENGINEER MUST PERFORM CONSTRUCTION OBSERVATION, VERIFYING IN A SEALED LETTER TO THE LOCAL AUTHORITY THAT THE RETAINING WALLS ARE CONSTRUCTED PER THE ENGINEERED DRAWINGS, IN COMPLIANCE WITH SECTION 1610.3 OF THE NC BUILDING CODE.
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- ALL FIRE ACCESS ROADS (INCLUDING MOUNTABLE CURB) ACCESSING ALL BUILDINGS SHALL BE COMPACTED TO HOLD FIRE APPARATUS PER THE NC STATE FIRE CODE. THE REQUIRED WEIGHT IS 80,000 LBS.
- CONTRACTOR TO SUBMIT PAVEMENT DESIGN FOR FIRE ACCESS ROADS (REFER TO NOTE #14) TO ENGINEER FOR APPROVAL.

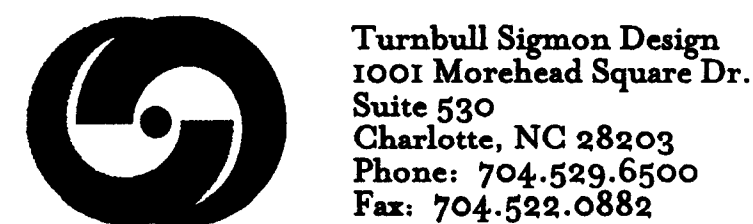


VICINITY MAP  
SCALE NTS

## Steelcroft Phase I



## TURNBULL • SIGMON DESIGN



LAND DEVELOPMENT DESIGN SERVICES



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## Charter Properties Inc.

1520 SOUTH BLVD.  
 CHARLOTTE, NC 28203  
 704-377-4172

## The Cloisters at Steelcroft Phase II

CITY OF CHARLOTTE  
 NORTH CAROLINA

## Overall Site Plan

PRELIMINARY  
 MULTI-FAMILY SUBMITTAL  
 APPROVAL  
 Charlotte-Mecklenburg Planning Department 4/11/08

PROJECT NUMBER: 07-084

DRAWN BY: JKG

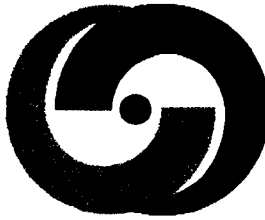
DESIGNED BY: BCS

ISSUE DATE: 05/08/08

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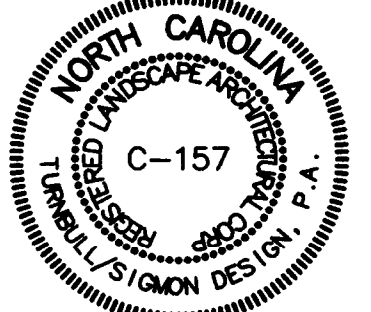
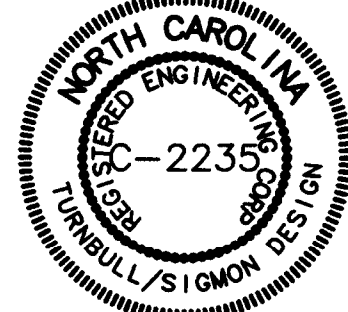
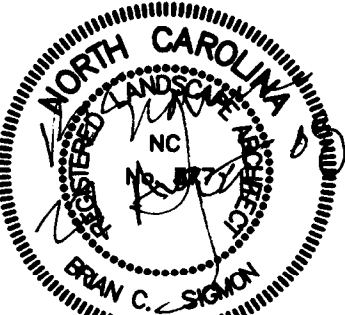
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Turnbull Sigmon Design  
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Suite 530  
Charlotte, NC 28203  
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Fax: 704.522.0882

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## The Cloisters at Steelecroft Phase II

CITY OF CHARLOTTE  
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### 30 Scale Site Layout Plan

PROJECT NUMBER: 07-084

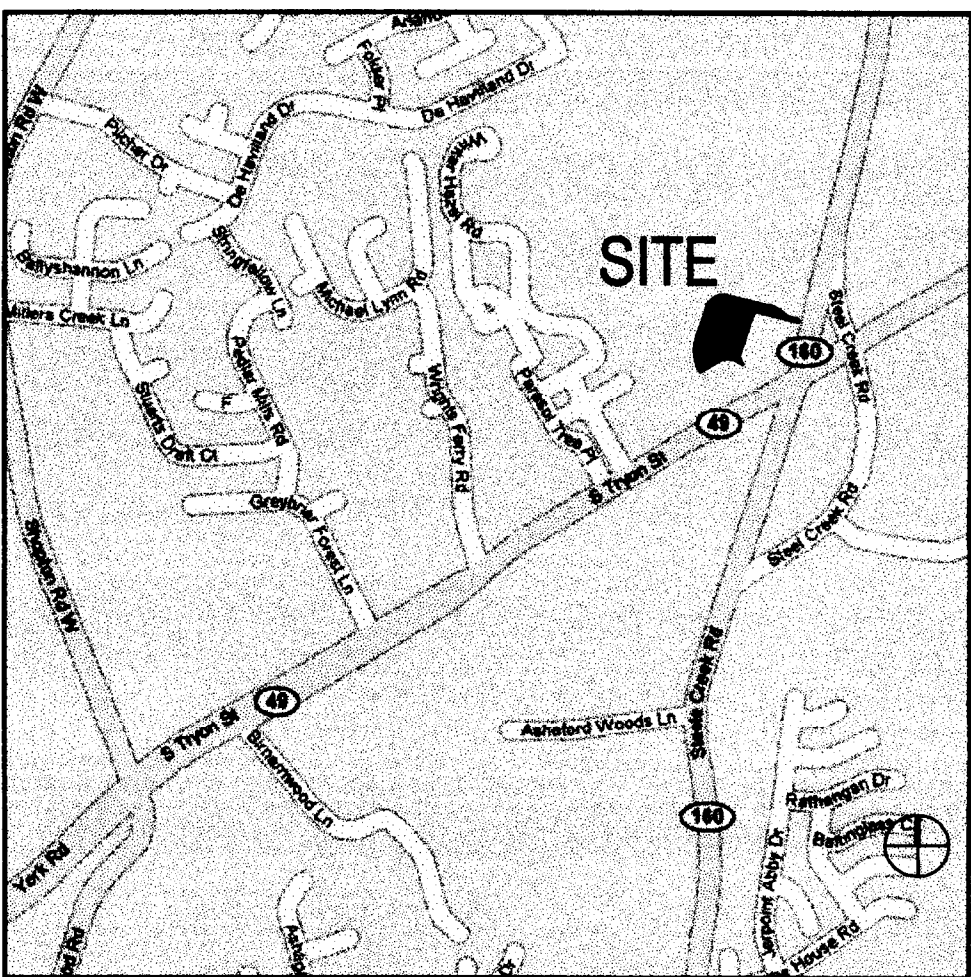
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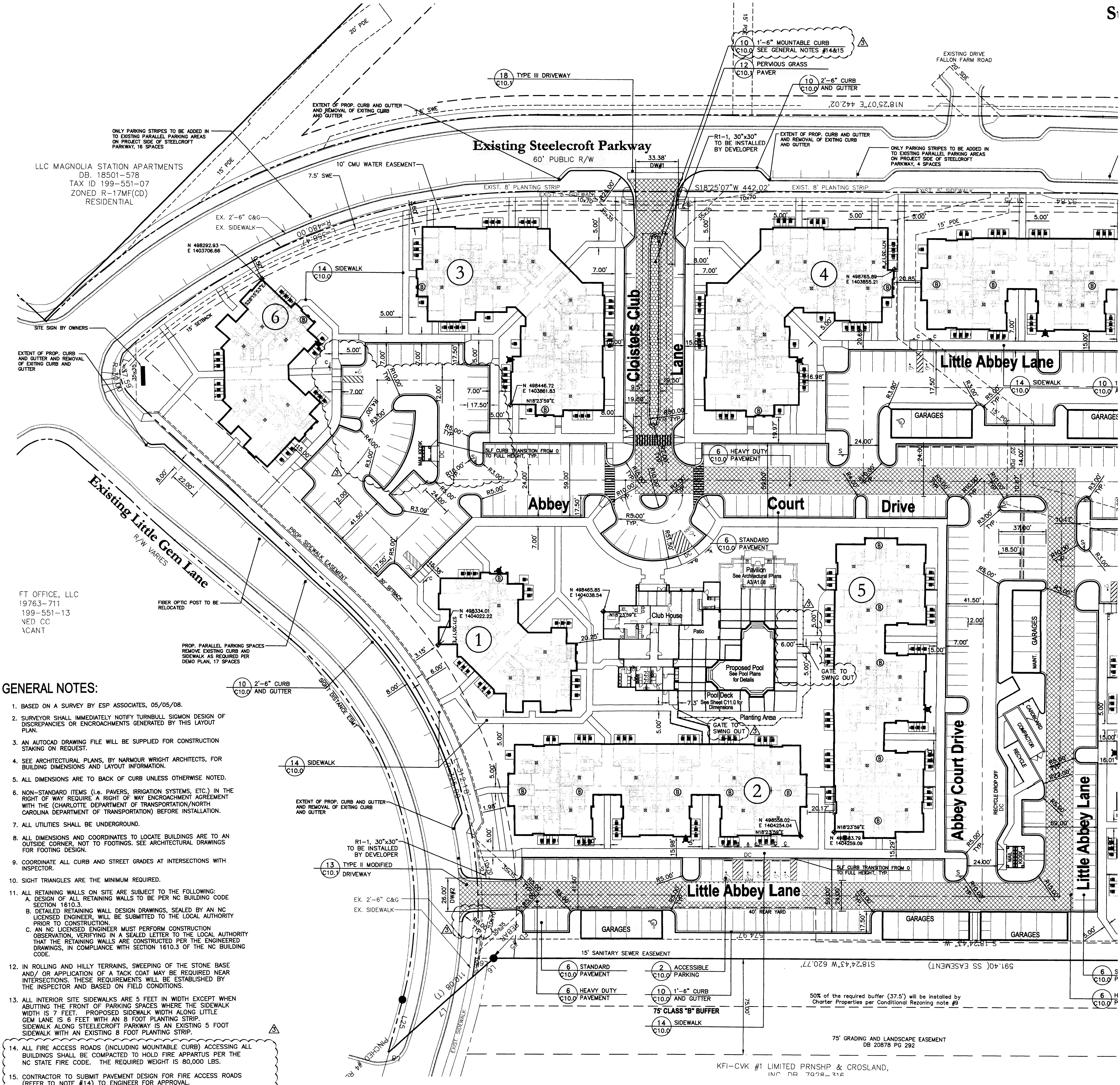
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VICINITY MAP  
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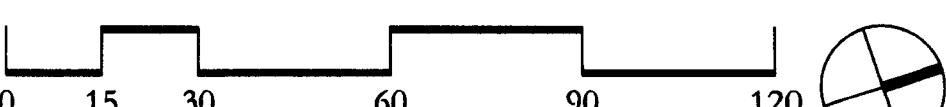
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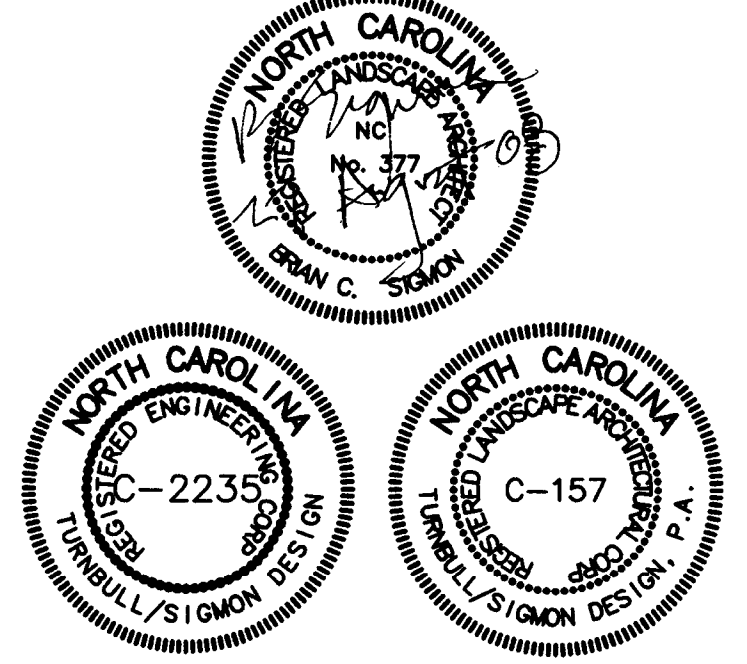


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The Cloisters  
at  
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Phase II

CITY OF CHARLOTTE  
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30 Scale Site  
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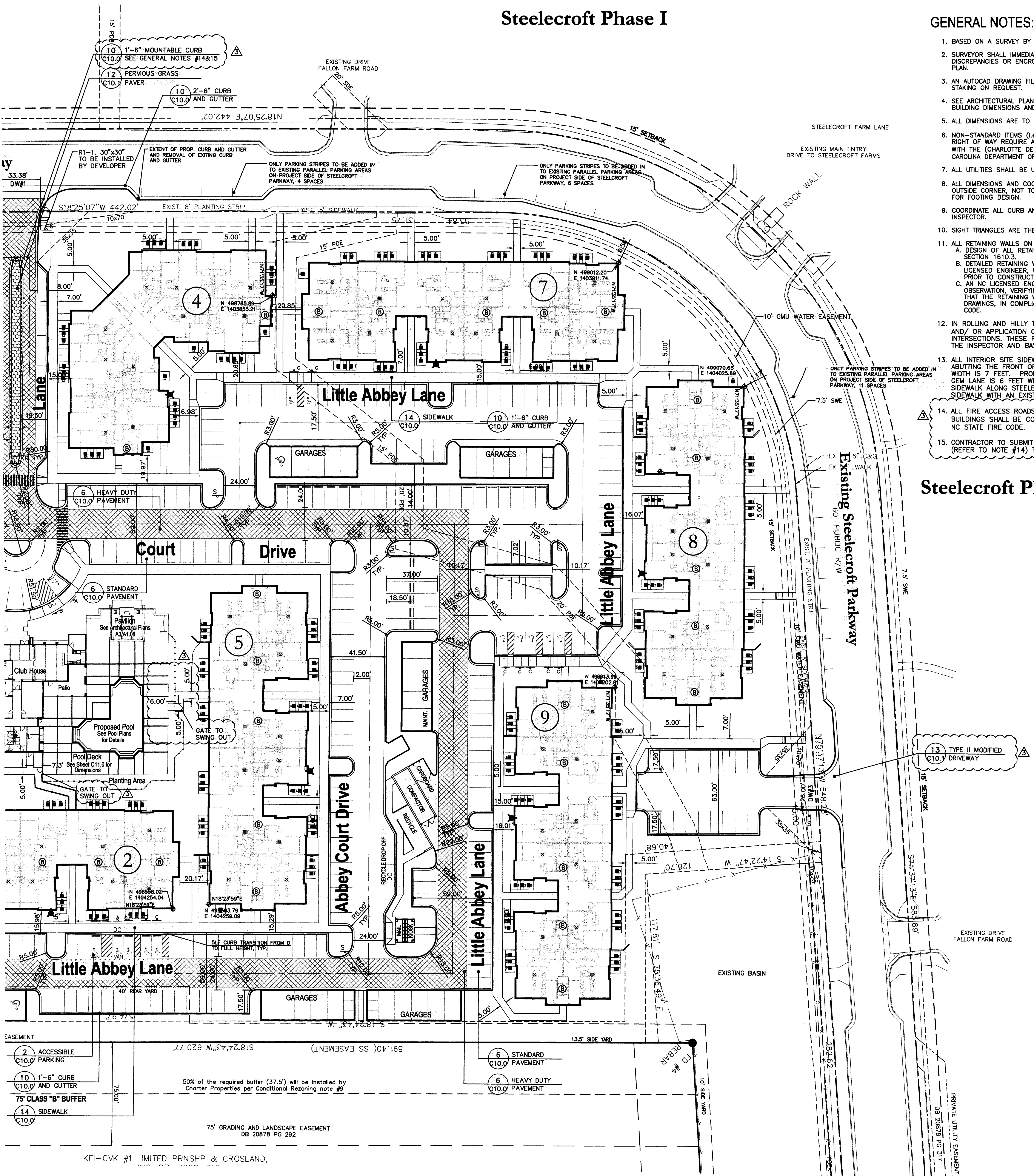
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Steelecroft Phase I

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