



Two Bank of America Plaza  
101 South Tryon Street

- ☐ 10 Pope Ave., Executive Park  
Hilton Head, South Carolina 29928  
843/785-6801
- ☐ 2530 Meridian Parkway Suite 3  
Durham, North Carolina 27713  
919/806-4399
- ☐ 155 East Boardwalk Suite #401  
Fort Collins, Colorado 80525  
970/232-3125

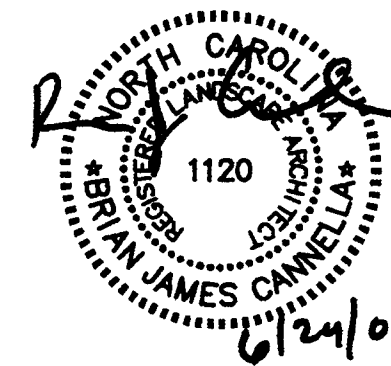
**I T E** 2 3  
W. Morehead  
St. Louis, Mo.

Charlotte, NC  
Landscape Architecture

Site Plan  
Civil Engineer

**www.sitesolutions.com**  
Telephone- 704

Facsimile- 704 -  
CADD# 2



**cms**  
Charlotte-Mecklenburg Schools

ELMEADE  
MIDDLE SCHOOL

20 BELMEADE DRIVE  
CARLOTTE, NORTH CAROLINA

MARK	DATE	DESCRIPTION
BID	2/18/08	BID SET
CD	11/28/07	100% CONSTRUCTION DOCUMENTS

PROJECT NO: FWA 2291.03

AWN BY: JER

APPROVED BY: BJC

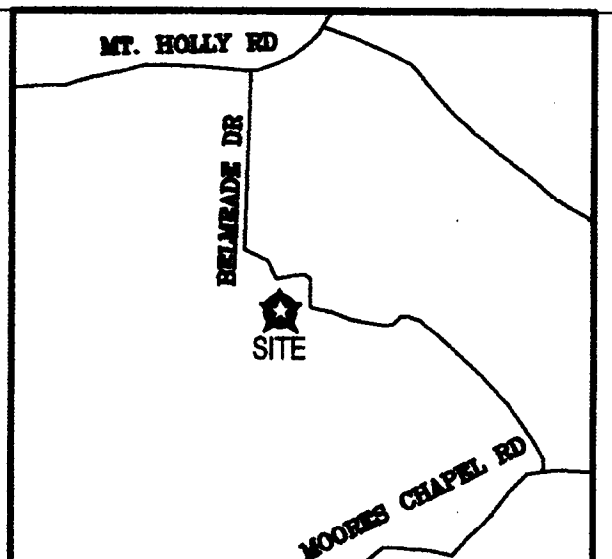
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HEET TITLE

OVERALL  
SITE  
PLAN

HEET NUMBER

# C100



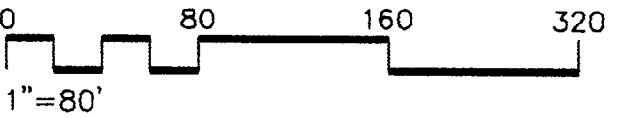
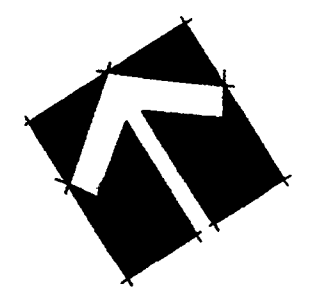
### Vicinity Map - NTE

LSS  
 APPROVED FOR  
 CONSTRUCTION  
 CMPC  
 8/7/2008

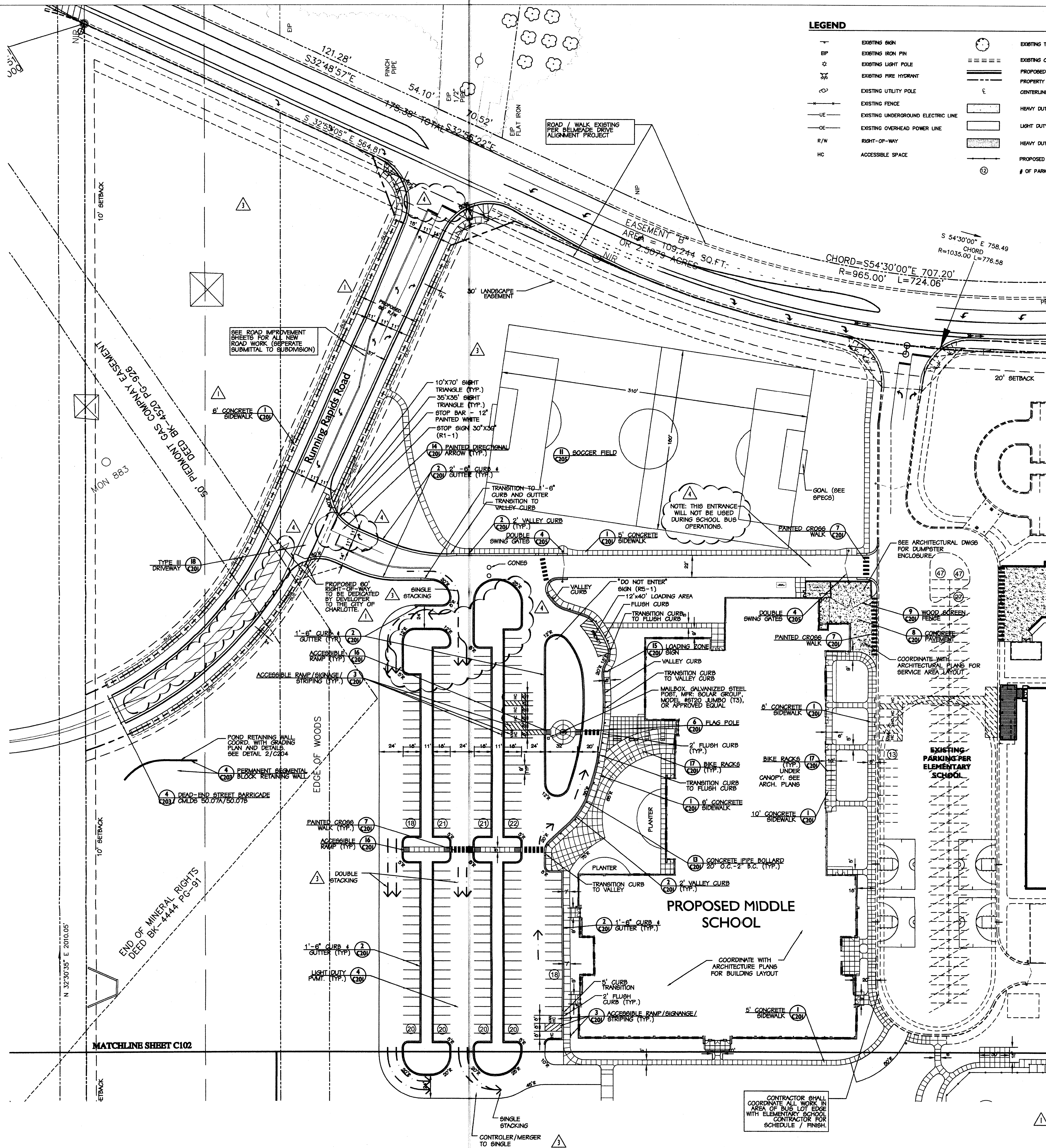
**SEE ENLARGEMENT  
SHEETS FOR ALL  
SITE LAYOUT  
INFORMATION**



BEFORE YOU DIG CALL  
1-800-632-4949  
N.C. ONE CALL CENTER  
IT'S THE LAW







**LEGEND**

—	EXISTING SIGN	○	EXISTING TREE TO REMAIN
—	EXISTING IRON PIN	—	EXISTING CURB AND GUTTER
—	EXISTING LIGHT POLE	—	PROPOSED CURB AND GUTTER
—	EXISTING FIRE HYDRANT	—	PROPERTY LINE
—	EXISTING UTILITY POLE	—	CENTERLINE
—	EXISTING FENCE	—	HEAVY DUTY CONCRETE PAVING
—	EXISTING UNDERGROUND ELECTRIC LINE	—	LIGHT DUTY ASPHALT PAVING
—	EXISTING OVERHEAD POWER LINE	—	HEAVY DUTY ASPHALT PAVING
—	RIGHT-OF-WAY	—	PROPOSED CHAIN LINK FENCE
—	ACCESSIBLE SPACE	—	# OF PARKING SPACES

- SITE NOTES**
- DIMENSIONS AND COORDINATE POINTS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
  - ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
  - ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDINGS WITH WORK.
  - PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL REGULATORY AUTHORITIES.
  - THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
  - GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
  - DO NOT SCALE DRAWING FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
  - ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2003 EDITION AS AMENDED.
  - ALL PAVEMENT MARKINGS SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
  - CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
  - CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO THE IN SMOOTHLY TO PROPOSED PAVEMENT AT DRIVEWAY ENTRANCES.
  - REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
  - LAND DEVELOPMENT INSPECTOR TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
  - COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
  - ALL ROAD IMPROVEMENTS AT BELMEADE ROAD TO BE COORDINATED WITH ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
  - THE (CITY OF CHARLOTTE) ENGINEERING DEPARTMENT HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR THEM.
  - THE ENGINEER WILL PROVIDE THE CONTRACTOR WITH AN ELECTRONIC FILE OF THESE DRAWINGS UPON REQUEST.
  - ALL NON-STANDARD ITEMS IN THE PUBLIC RIGHT OF WAY WILL NEED AN ENCROACHMENT AGREEMENT W/ NC DOT BEFORE THEY CAN BE APPROVED OR INSTALLED. APPROVAL OF THIS PLAN SET DOES NOT APPROVE ANY NON-STANDARD ITEMS IN THE RIGHT-OF-WAY. PLEASE CONTACT (704) 336-6800, FOR FURTHER INFORMATION.
  - IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED OR BLOCK-OFF FOR ANY STAGING, CONSTRUCTION, OR DEMOLITION FOR A PERIOD OF LESS THAN THIRTY (30) DAYS THEN A RIGHT-OF-WAY USE PERMIT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCKED-OFF. PLEASE CONTACT PAT MORGAN, 704-336-3008 OR BOB STALEY, 704-432-1562, FOR FURTHER INFORMATION.
  - CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
  - ALL DEVELOPMENT CREATING A TOTAL OF 30,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1976 WILL REQUIRE STORM DRAINAGE DETENTION.
  - TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704) 336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 6" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704) 336-6882 FOR REQUIRED PERMITS.
  - THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION, GUS JORDI (704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
  - ALL SCHOOL SIGNAGE WILL BE APPROVED AND PERMITTED BY ARCHITECT.
  - PARKING LOT AND BUS LOT ARE DESIGNED TO ALLOW FIRE TRUCK ACCESS TO COVER THE BUILDING. PAVEMENT DESIGN WILL ACCOMMODATE AN 80,000 POUND FIRE TRUCK.
  - SITE PLAN DOES NOT CALL FOR THE USE OF A HEAVY DUTY ASPHALT PAVING SECTION ON THE SITE PARKING LOT. HEAVY DUTY PAVING IS NOT REQUIRED. PAVEMENT SECTION FOR RUNNING RAPIDS IS PER PLAN.

**NOTE:**  
MIDDLE SCHOOL CONTRACTOR SHALL INCLUDE IN BID/CONTRACT TO INSTALL 1500 LF OF 6" CHAIN LINK TEMPORARY CONSTRUCTION FENCE TO PROVIDE SEPARATION FROM THE ELEMENTARY SCHOOL ONCE THE SCHOOL IS OPEN AUGUST 2008. TO BE PLACED AS DIRECTED BY OWNER/ARCHITECT.

1200 Student Middle School  
27 Buses will serve the School  
2,003 LF Stacking Distance Required  
2,003 (+) LF Stacking Provided Internally

**ZONING CODE SUMMARY**

PROJECT NAME: Belmeade Middle School  
OWNER: CMS  
PLANS PREPARED BY: SITE SOLUTIONS  
ZONING: M-X-3 2005-77  
JURISDICTION: CHARLOTTE/MECKLENBURG  
PROPOSED USE: MIDDLE SCHOOL  
BUILDING HEIGHT: 36'  
BUILDING COVERAGE: 89,650 SQ. FT.  
LOT SIZE: 50.00 AC.

PIN: 053-281-03  
PHONE # 704-521-9880  
PETITION #: 07-39

STORIES: 2  
GROSS FLOOR AREA: 87,385 Sq. Ft.

**YARD REQUIREMENTS:**  
Setback (Front): 20'  
Side Yard (L): 10'  
Rear Yard: 50'

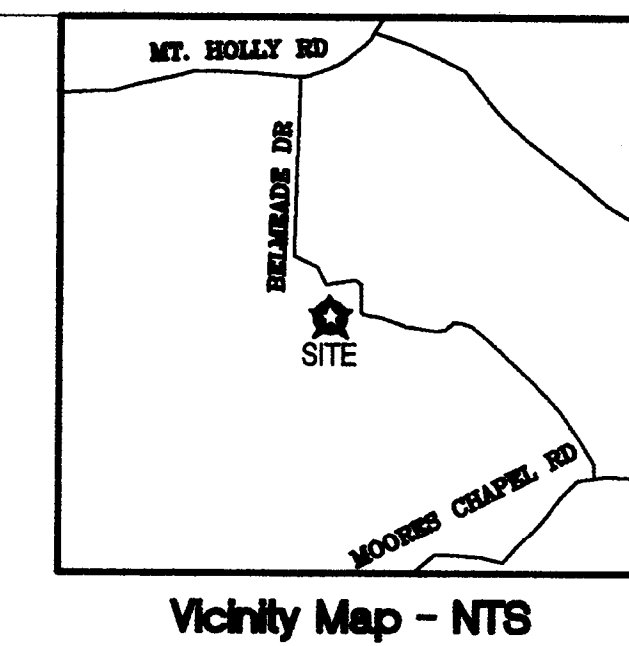
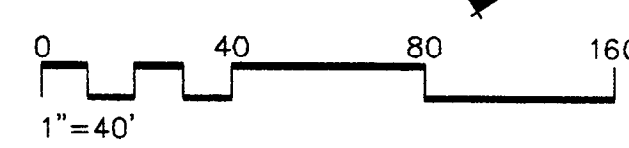
**REQUIRED BUFFERS:**  
Front: (YES) Yes  
Side (L): (NO) Yes  
Rear: (NO) Yes  
Side (R): (NO) Yes

**REQUIRED SCREENING:**  
Front: (YES) Yes  
Side (L): (NO) Yes  
Rear: (NO) Yes  
Side (R): (NO) Yes

IMPERVIOUS AREA: 200,585 SF

**PARKING DATA:**  
1 space per classroom required: 56 Classrooms=56 Spaces  
Required: 56 Provided: 180 Handicap: 6 PROVIDED Compact: NA  
Bicycle Spaces Required: 64

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**ARCHITECTS**

Two Bank of America Plaza  
101 South Tryon Street  
Charlotte, North Carolina 28280  
704.332.7004

10 Pope Ave. Executive Park  
Hilton Head, South Carolina 29938  
843.785.6801

2530 Meridian Parkway Suite 300  
Durham, North Carolina 27713  
919.805.4399

155 East Boardwalk Suite #400  
Fort Collins, Colorado 80525  
970.232.3125

**SITE SOLUTIONS**

W. Morehead Street  
Charlotte, NC 28202  
Landscape Architecture

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Facsimile: 704-521-89  
CAD# 29108

**cms**  
Charlotte-Mecklenburg Schools

**BELMEADE MIDDLE SCHOOL**  
1520 BELMEADE DRIVE  
CHARLOTTE, NORTH CAROLINA

MARK	DATE	DESCRIPTION
4	06/16/08	Per NCDOT / CITY Review
3	04/28/08	Per NCDOT / CITY Review
A1	03/7/08	ADDENDUM #1
BID	2/18/08	BID SET
1	2/8/08	Code Review
CD	11/28/07	100% CONSTRUCTION DOCUMENTS

PROJECT NO: FWA 2291.03

DRAWN BY: JER  
APPROVED BY: BJC

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SHEET TITLE  
**SITE PLAN**

SHEET NUMBER  
**C101**



## ARCHITECTS

Two Bank of America Plaza  
101 South Tryon Street  
Charlotte, North Carolina 28280  
704/332-7004

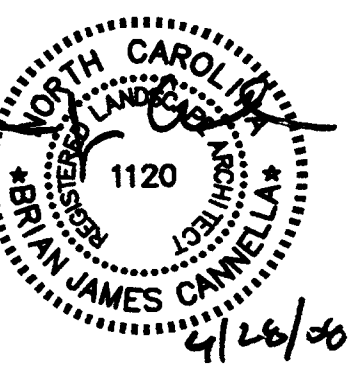
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155 East Boardwalk Suite #400  
Fort Collins, Colorado 80525  
970|232-3125

**ITE SOLUTIONS**

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W. Morehead  
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Civil Engineer  
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Telephone: 704-333-1100  
Facsimile: 704-333-1101  
CADD# 259



**cms**  
Charlotte-Mecklenburg Schools

**ELMEADE  
MIDDLE SCHOOL**  
20 BELMEADE DRIVE  
CHARLOTTE, NORTH CAROLINA

MARK	DATE	DESCRIP
CBD	03/7/08	CBD-
BID	2/18/08	BID SET
CD	11/28/07	100% CONSTR DOCUME

PROJECT NO: FWA 2291.4

DRAWN BY: JER  
APPROVED BY: BJC

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SHEET TITLE

## SITE PLAN

SHEET NUMBER

# C102

