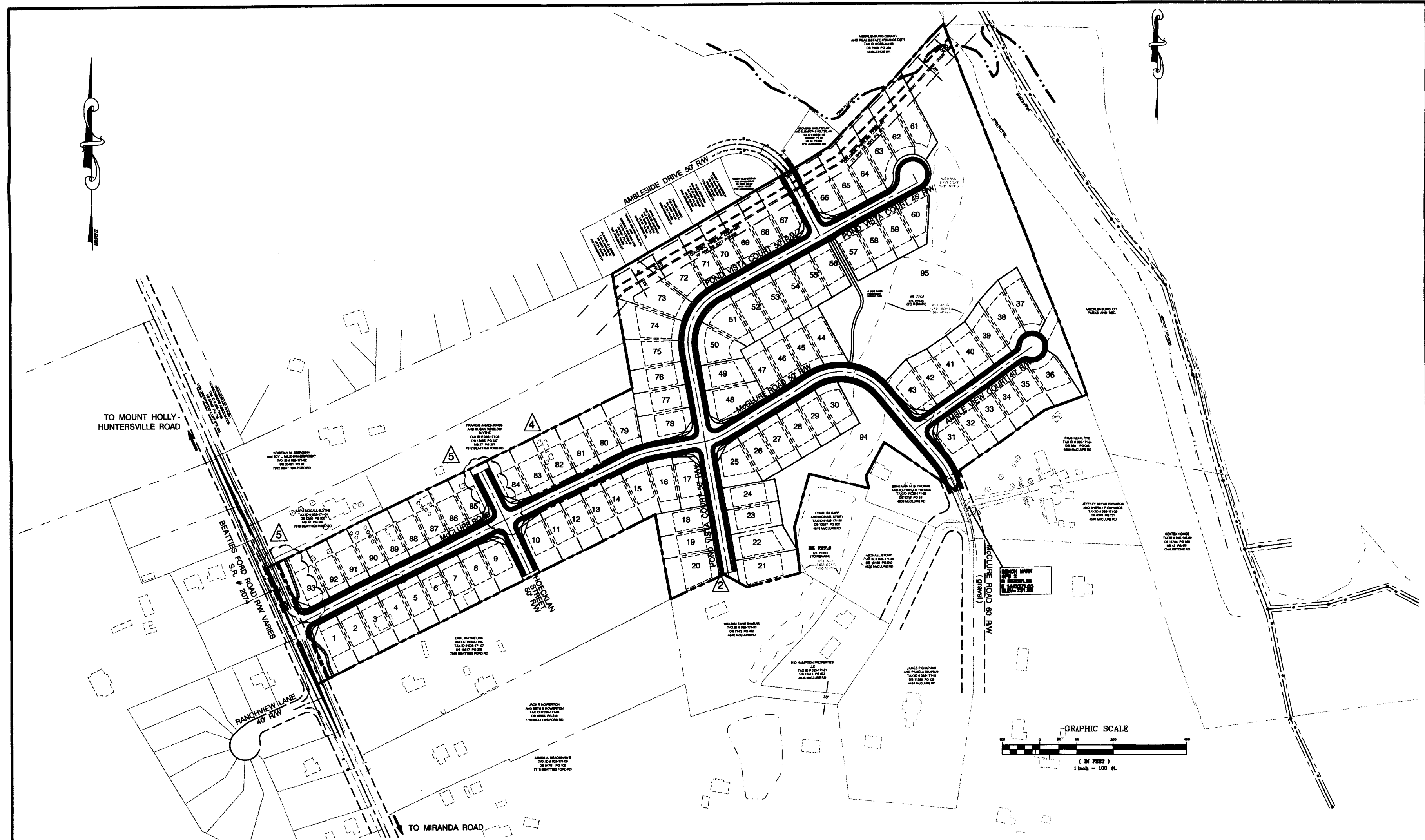


VICINITY MAP 1 inch = 400 feet



LOCATION MAP SCALE: 1 inch = 200 feet

SITE INFORMATION:

1. OWNER/DEVELOPER: McALPINE COMPANIES  
1329 MOREHEAD STREET  
CHARLOTTE, NORTH CAROLINA 28204  
CONTACT: SHANE SEAGLE PHONE: (704) 362-2400  
FAX: (704) 362-2422
2. PIN # 025-171-05 DEED REFERENCE : DEED BOOK 22270 PAGE 508 : 2.68 AC. +/-  
PIN # 025-171-06 DEED REFERENCE : DEED BOOK 20978 PAGE 49 : 11.009 AC. +/-  
PIN # 025-171-41 DEED REFERENCE : DEED BOOK 20978 PAGE 63 : 1.994 AC. +/-  
PIN # 025-171-27 DEED REFERENCE : DEED BOOK 20978 PAGE 59 : 13.423 AC. +/-  
PIN # 025-171-40 DEED REFERENCE : DEED BOOK 20978 PAGE 55 : 2.247 AC. +/-
3. TRACT AREA : .3159 ACRES (Dewberry Survey)
4. BOUNDARY SURVEY INFORMATION OBTAINED FROM DEWBERRY.
5. TOPOGRAPHIC INFORMATION SHOWN HEREON BASED ON TOPOGRAPHIC MAPPING PROVIDED BY DEWBERRY.
6. PROPERTY IS PROPOSED TO BE DEVELOPED AS A SINGLE-FAMILY RESIDENTIAL SUBDIVISION IN ACCORDANCE WITH ALL REQUIREMENTS OF THE R-3 (CLUSTER) ZONING DISTRICT:
- |                            |   |
|----------------------------|---|
| TOTAL PROPOSED NO. OF LOTS | 93  |
| PROPOSED DENSITY           | 2.94 DU / AC  |
| MIN. LOT AREA              | 8,000 SQ. FT.   |
| MIN. LOT WIDTH             | 60 FEET   |
| MIN. BUILDING SETBACK      | 20 FEET   |
| MIN. REAR YARD             | 30 FEET ( INTERIOR LOT )<br>45 FEET ( PERIMETER LOT ) |
| MIN. SIDE YARD             | 5 FEET (INTERIOR LOT)<br>6' (PERIMETER LOT)           |
7. TWO LOTS WITHIN THE PROPERTY (SPECIFICALLY LOTS 94 & 95) ARE PROPOSED TO BE DEVELOPED AS OPEN SPACE.



NORTH LAKE LANDING

McALPINE COMPANIES  
MECKLENBURG COUNTY  
CHARLOTTE, NORTH CAROLINA

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES WAS OBTAINED FROM LOCAL UTILITY COMPANIES AND AVAILABLE DRAWINGS SUPPLIED BY THE OWNER AND IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. HOWEVER, DEWBERRY & DAVIS, INC. HAS NO NOTICE OR KNOWLEDGE OF ANY FACTS THAT WOULD LEAD US TO CONCLUDE THAT THE INFORMATION IS NOT ACCURATE. BUT UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS ASSIGNS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT DEWBERRY & DAVIS, INC. IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE UNDERGROUND INFORMATION. INFORMATION WITH RESPECT TO ABOVE GROUND MONUMENTS OF SUCH UTILITIES IS BASED UPON ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS, AND IS SHOWN HEREON.

SHEET INDEX

SHEET NO.	TITLE
C1	COVER SHEET
C2	EXISTING CONDITIONS
C3	GENERAL NOTES
C4	SITE LAYOUT PLAN
C5	SITE LAYOUT PLAN
C6	SITE LAYOUT PLAN
C7	EROSION CONTROL PLAN : INITIAL CLEARING
C8	EROSION CONTROL PLAN : INITIAL CLEARING
C9	EROSION CONTROL PLAN : FINAL
C10	EROSION CONTROL PLAN : FINAL
C11	GRADING and DRAINAGE PLAN
C12	GRADING and DRAINAGE PLAN
C13	GRADING and DRAINAGE PLAN
C14	DRAINAGE AREA MAP
C15	ROADWAY PLAN and PROFILE : McCLURE ROAD
C16	ROADWAY PLAN and PROFILE : McCLURE ROAD
C17	ROADWAY PLAN and PROFILE : McCLURE ROAD
C18	ROADWAY PLAN and PROFILE : POND VISTA COURT
C19	ROADWAY PLAN and PROFILE : POND VISTA COURT
C20	ROADWAY PLAN and PROFILE : AMBLESIDE DRIVE
C21	ROADWAY PLAN and PROFILE : AMBER VIEW COURT & HOECKLAN STREET
C21a	ROADWAY PLAN and PROFILE : HOECKLAN STREET
C22	STORM SEWER PROFILES
C23	STORM SEWER PROFILES
C24	STORM SEWER PROFILES
C25	STORM SEWER PROFILES
C26	BEATTIES FORD ROAD IMPROVEMENTS AND SIGHT DISTANCE PROFILE
C27	BEATTIES FORD ROAD TRAFFIC CONTROL PLAN
C28	BEATTIES FORD ROAD PAVEMENT / STRIPING PLAN
C29	SITE DEVELOPMENT DETAILS
C30	SITE DEVELOPMENT DETAILS
C31	SITE DEVELOPMENT DETAILS
C32	SITE DEVELOPMENT DETAILS
C33	SOILS MAP
C34	WSPE CROSS - SECTIONS
C35	WSPE CROSS - SECTIONS
L1	LANDSCAPE PLAN
L2	LANDSCAPE PLAN
L3	LANDSCAPE DETAILS
L4	EXISTING TREE CANOPY AERIAL PHOTO

APPROVED FOR  
CONSTRUCTION  
CMPC

Signature 12.6.07



Dewberry & Davis, Inc.  
6135 LAKEVIEW ROAD  
SUITE 400  
CHARLOTTE, NC 28269-2609  
PHONE: (704) 509-9916  
FAX: (704) 509-9937

NORTH LAKE LANDING  
BEATTIES FORD ROAD  
ZONED : R-3 (CLUSTER)  
OWNER / DEVELOPER : McALPINE COMPANIES  
1329 MOREHEAD STREET  
CHARLOTTE, NC 28204  
PHONE : (704) 362-2400  
MECKLENBURG COUNTY, CHARLOTTE, NORTH CAROLINA  
CONSTRUCTION PLANS

SEAL

FINAL DRAWING  
NOT FOR  
CONSTRUCTION

SEAL



No.	Date	By	Description
1	10/15/07	MMG	REVISED PER CITY COMMENTS
2	08/17/07	EMH	ADDED LOTS 79 - 94
3	06/01/07	CFC	REVISED SHEET INDEX
4	03/26/07	JTB	REVISED PER CITY COMMENTS
5	01/05/07	CFC	REVISED PER CITY COMMENTS

REVISIONS

DRAWN BY C.F.C.  
APPROVED BY C.N.N.  
CHECKED BY A.R.V.  
DATE 10 / 10 / 2006

TITLE

COVER  
SHEET

PROJECT NO. 10001506

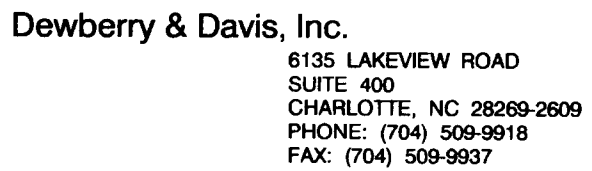
C1

SHEET NO.







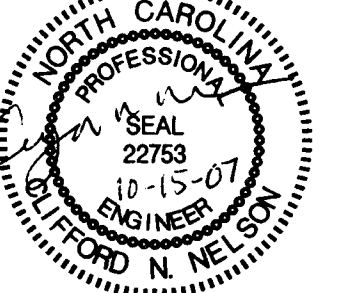


**NORTH LAKE LANDING  
BEATTIES FORD ROAD  
ZONED : R - 3 (CLUSTER )  
OWNER / DEVELOPER : McALPINE COMPANIES  
1329 MOREHEAD STREET  
CHARLOTTE, NC 28204  
PHONE : (704) 362-2400  
MECKLENBURG COUNTY, CHARLOTTE, NORTH CAROLINA  
CONSTRUCTION PLANS**

SEAL

FINAL DRAWING  
NOT FOR  
CONSTRUCTION

SEAL



SCALE : 1 inch = 40 feet

No.	Date	By	Description
1	08 / 17 / 07	EWJH	ADDED LOTS 79 - 94
2	07 / 03 / 07	JTB	SWPE CROSS SECTIONS ADDED
3	06 / 01 / 07	JTB	REVISED PER CITY COMMENTS
4	03 / 26 / 07	JTB	REVISED PER CITY COMMENTS
5	01 / 05 / 07	CFC	REVISED PER CITY COMMENTS

## REVISIONS

DRAWN BY C.F.C.  
APPROVED BY C.N.N.  
CHECKED BY A.R.V.  
DATE 10 / 10 / 2006

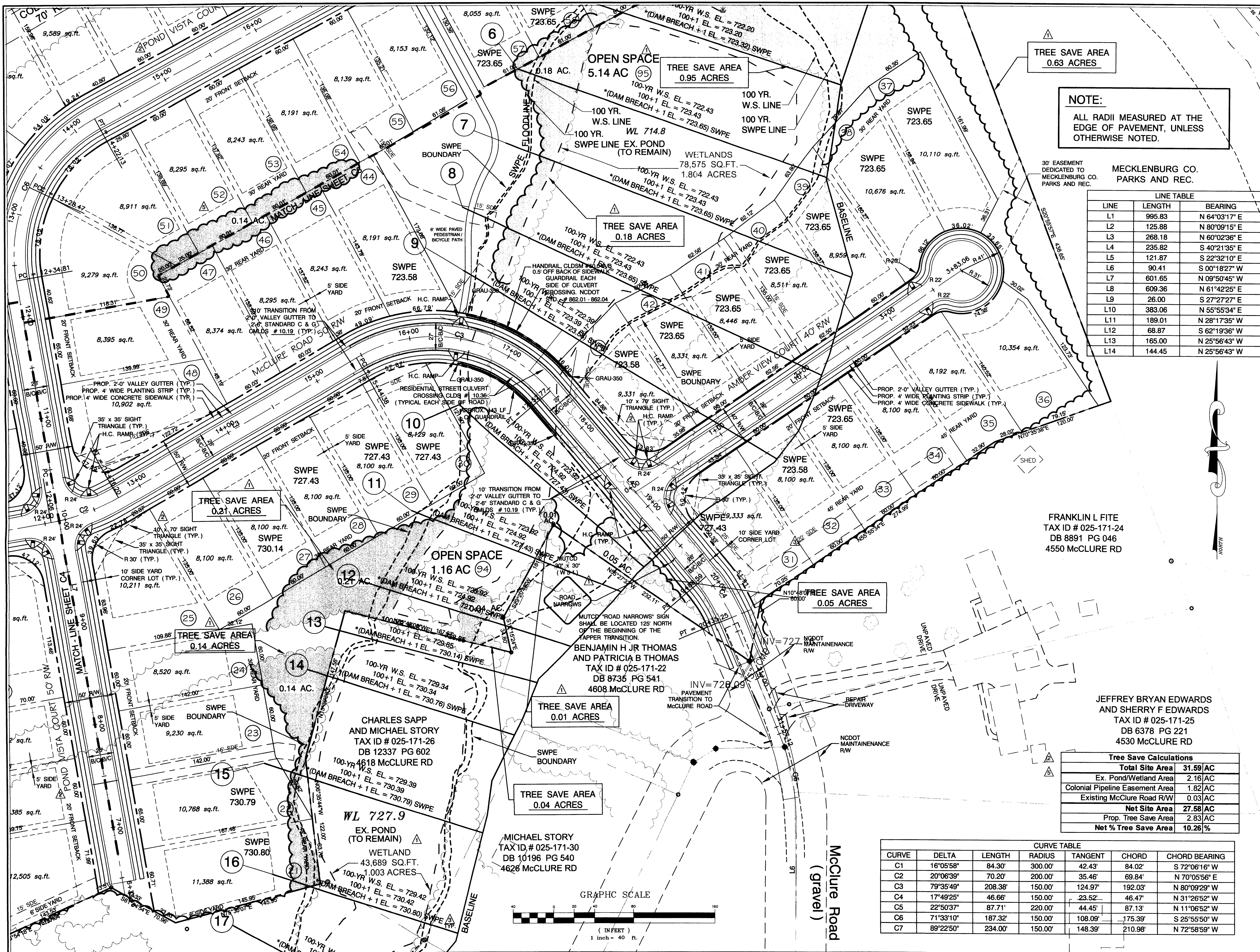
**TITLE**

## SITE LAYOUT PLAN

PROJECT NO. 10001506

C5

SHEET NO.





LINE TABLE		
LINE	LENGTH	BEARING
L1	995.83	N 64°03'17" E
L2	125.88	N 80°09'15" E
L3	268.18	N 60°02'36" E
L4	235.82	S 40°21'35" E
L5	121.87	S 22°32'10" E
L6	90.41	S 00°18'27" W
L7	601.65	N 09°50'45" W
L8	609.36	N 61°42'25" E
L9	26.00	S 27°27'27" E
L10	383.06	N 55°55'34" E
L11	189.01	N 28°17'35" W
L12	68.87	S 62°19'36" W
L13	165.00	N 25°56'43" W
L14	144.45	N 25°56'43" W

TREE SAVE AREA  
0.06 ACRES

